



**Planning and Zoning Commission  
Regular Meeting  
212 Main Street  
City of Lake Dallas, Texas 75065  
Thursday, April 16, 2026, at 6:00 p.m.  
Agenda**

**1. Call to Order and Determination of Quorum**

**2. Pledges of Allegiance**

**3. Citizen Agenda & Public Comment**

An opportunity for citizens to address the Planning & Zoning Commission on matters which are not scheduled for consideration by the Planning & Zoning Commission. Speakers will be limited to five (5) minutes each. The Texas Open Meeting Act prohibits deliberation by the Planning & Zoning Commission of any subject which is not on the posted agenda, therefore the Planning & Zoning Commission will not be able to discuss or take any action on items brought up during the citizen presentations that are not on the agenda.

4. Conduct a public hearing and provide recommendation for a Planned Development, on property currently zoned District C-3 in the I35 Business Corridor, to allow for the redevelopment of a gas station building, on approximately 0.6800 acres of land being a part of the Lot 1, Blk A of the Kim Addition situated in the City of Lake Dallas, Denton County, Texas. Also known as 631. S Lake Dallas Drive.

5. Conduct a public hearing and provide recommendation for a Planned Development, on property currently zoned District C-1 and O-17-02 in the Downtown Overlay District, to allow for the construction of a Tiny Home Park use of approximately 0.815 acres of land situated in the M. Wright Survey, Abstract Number 1355, in the City of Lake Dallas, Denton County, Texas, being a part of Lots 9 and 10, Block 1 of Gotcher Addition, an addition to the City of Lake Dallas, Denton County, Texas.

6. Consider and take appropriate action on a Site Plan for a portion of Lot 1, Block A of Swisher Road Industrial Addition for a parking lot expansion, consisting of +/- 3.6 acres situated in the J.W Simmons Survey, Abstract No.1162, of the City of Lake Dallas, Denton County, Texas.

7. Consider and take appropriate action on the Site Plan for Lot 2, Block A of Swisher Road Industrial Addition for a QT Bubble Bath Carwash, consisting of +/- 1.8 acres of land situated in the J.W Simmons Survey, Abstract No.1162, of the City of Lake Dallas, Denton County, Texas.

**8. Announcements and requests for future agenda items.**

## 9. Adjourn.

I certify that the above notice of this meeting was posted on the bulletin board at City Hall of the City of Lake Dallas, Texas on or before April 10, 2026, at 11:30 a.m.



Codi Delcambre  
Codi Delcambre, City Secretary

If you plan to attend this public meeting and you have a disability that requires special arrangements at this meeting, please contact City Secretary's Office at (940) 497-2226 ext. 102 or fax (940) 497-4485 at least two (2) working days prior to the meeting so that appropriate arrangements can be made.



**P&Z COMMISSION  
AGENDA MEMO**

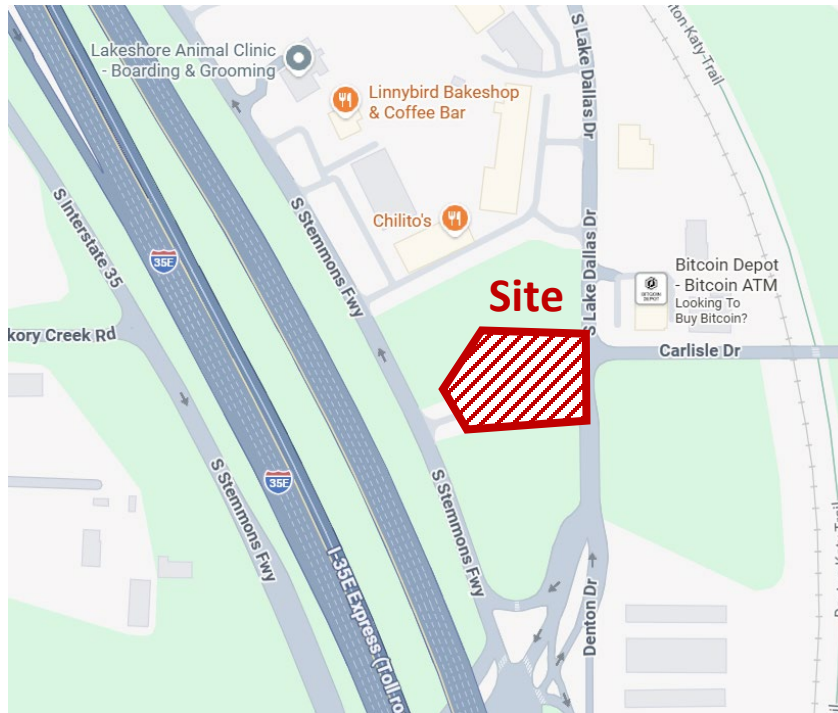
**Prepared By: Marisa Brewer, AICP, City Planning Consultant**

**April 16, 2026**

Conduct a public hearing and provide recommendation for a Planned Development, on property currently zoned District C-3 in the I35 Business Corridor, to allow for the redevelopment of a gas station building, on approximately 0.6800 acres of land being a part of the Lot 1, Blk A of the Kim Addition situated in the City of Lake Dallas, Denton County, Texas. Also known as 631. S Lake Dallas Drive.

**DESCRIPTION:**

Planning and Zoning Commission shall consider the request for Planned Development for the property at 631. S Lake Dallas Drive, City of Lake Dallas, TX 75065 (Lot 1, Blk A of the Kim Addition) to allow for the redevelopment of a convenience store and provide gas pumps.



**BACKGROUND INFORMATION:**

The subject property contains an existing commercial building that is currently operating as a convenience store. The applicant, Fast Track Auto LLC, proposes to continue the existing convenience store use while expanding the development to include a gas station with eight fueling pumps located beneath a 20-foot-tall canopy. Vehicular access to the site is proposed from S. Stemmons Freeway and S. Lake Dallas Drive.

The property is currently zoned C-3 Commercial District with the I-35 Business Corridor Overlay District, which allows the convenience store with gas station as a permitted use. The property was platted in 2024 and the existing structure is nonconforming under the current development

standards. The site was able continue operating as a convenience store as a legal nonconforming use; however, the applicant’s request to expand the building footprint by adding fueling canopies requires the site to be brought into compliance with current zoning and development regulations.

Due to existing constraints, the property is unable to fully comply with several of the applicable development standards. As a result, a Planned Development (PD) is required to address these nonconformities and allow the proposed expansion. Accordingly, a set of proposed development standards has been included in this memo to establish the regulations governing the site.

The proposed landscape plan significantly enhances the site by introducing a total of seven large canopy trees and 157 shrubs, creating a more attractive, pedestrian-friendly environment and softening the overall visual impact of the development. Landscaping is strategically concentrated along S. Lake Dallas Drive to strengthen the streetscape, provide visual interest, and reinforce the public frontage, rather than presenting a continuous expanse of asphalt. Enhanced planting areas help define and frame the primary access points, clearly guiding vehicles and pedestrians into and through the site. As well as achieving one of the goals in the Comprehensive plan to create a more enhances entrance into the City of Lake Dallas.

With Planned Development, the property must be in conformance with the Lake Dallas Code of Ordinance. Below is a list of proposed development standards that deviate from the current Code.

**DEVELOPMENT STANDARDS:**

**1. Site Standards**

	<b>Requirement</b>	<b>PD Standard</b>	<b>Reason</b>
<b>1</b>	<b>Sec. 122-667. - Lot area.</b> The minimum lot size shall be 40,000 square feet	The minimum lot area shall be 8,000 square feet	The site area is defined by the existing property boundaries. Due to the established lot configuration, the property is unable to meet the minimum 40,000-square-foot lot area requirement. As such, the proposed development standards mirror those of the underlying base zoning district.
<b>2</b>	<b>Sec. 122-408. - Rear yards.</b> <b>(a)</b> The minimum rear yard setback shall be 25 feet.	<b>(a)</b> The minimum rear setback shall be zero (0) feet.	Due to the presence of the existing structure on the property, there

	<p>(b) There shall be no parking or storage of motor vehicles, boats or trailers within ten feet of the property line. Fire lanes and driveways may cross rear yard setbacks as a means of vehicular access</p>	<p>(b) One parking space shall be allowed within the rear setback on the norther edge of the property as shown on the Site plan</p>	<p>is insufficient area to provide the required rear setback. The site is further constrained by limited space, and in order to meet the required number of parking spaces, portions of the parking must be accommodated within the setback area</p>
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**2. Landscaping**

	<b>Requirement</b>	<b>PD Standard</b>	<b>Reason</b>
<b>1</b>	<p><b>Sec. 122-1228 (2.b)</b> Whenever an off-street parking or vehicular use area abuts an adjacent property line, a perimeter landscape area at least ten feet in width shall be maintained between the edge of the parking area and the adjacent property line. Landscaping shall be designed to visually screen the parking area. Whenever such property is zoned or used for residential purposes, the landscape buffer shall include a wall, hedge or berm not greater than eight feet in height nor less than three feet in height</p>	<p>For off-street parking and vehicular use areas abutting adjacent property lines, a minimum perimeter landscape buffer area is not required.</p>	<p>Due to limited space, buffer can not be provide along rear property line.</p>

**ADJACENT ZONING AND LAND USE:**

<b>DIRECTION</b>	<b>ZONING</b>	<b>EXISTING USE</b>
<i>Subject Property</i>	<b>C-3</b>	<b>Convenience Store</b>
<i>North</i>	C-3	<i>Retail</i>
<i>South</i>	C-3	<i>Vacant</i>
<i>West</i>	C-3	<i>I-35</i>
<i>East</i>	C-3	<i>Retail</i>

**FEEDBACK:**

Correspondence:

The City Code requires notification of the property owners within 200 feet of the subject property. For this application, 6 Property Owner Notifications were mailed at least 10 days prior to the public hearing. The following map shows properties within 200' of the subject site.



**RECOMMENDED MOTIONS:**

Following the public hearing, the City P&Z Commission can:

**RECOMMEND TO APPROVE/DENY** the rezoning of the Planned Development request as stated above.

OR

**RECOMMEND TO APPROVE/DENY** the Planned Development with modifications or additions to the listed variances. (Said modifications or additions would need to be listed in the motion.)

**ATTACHMENTS:**

Draft Ordinance

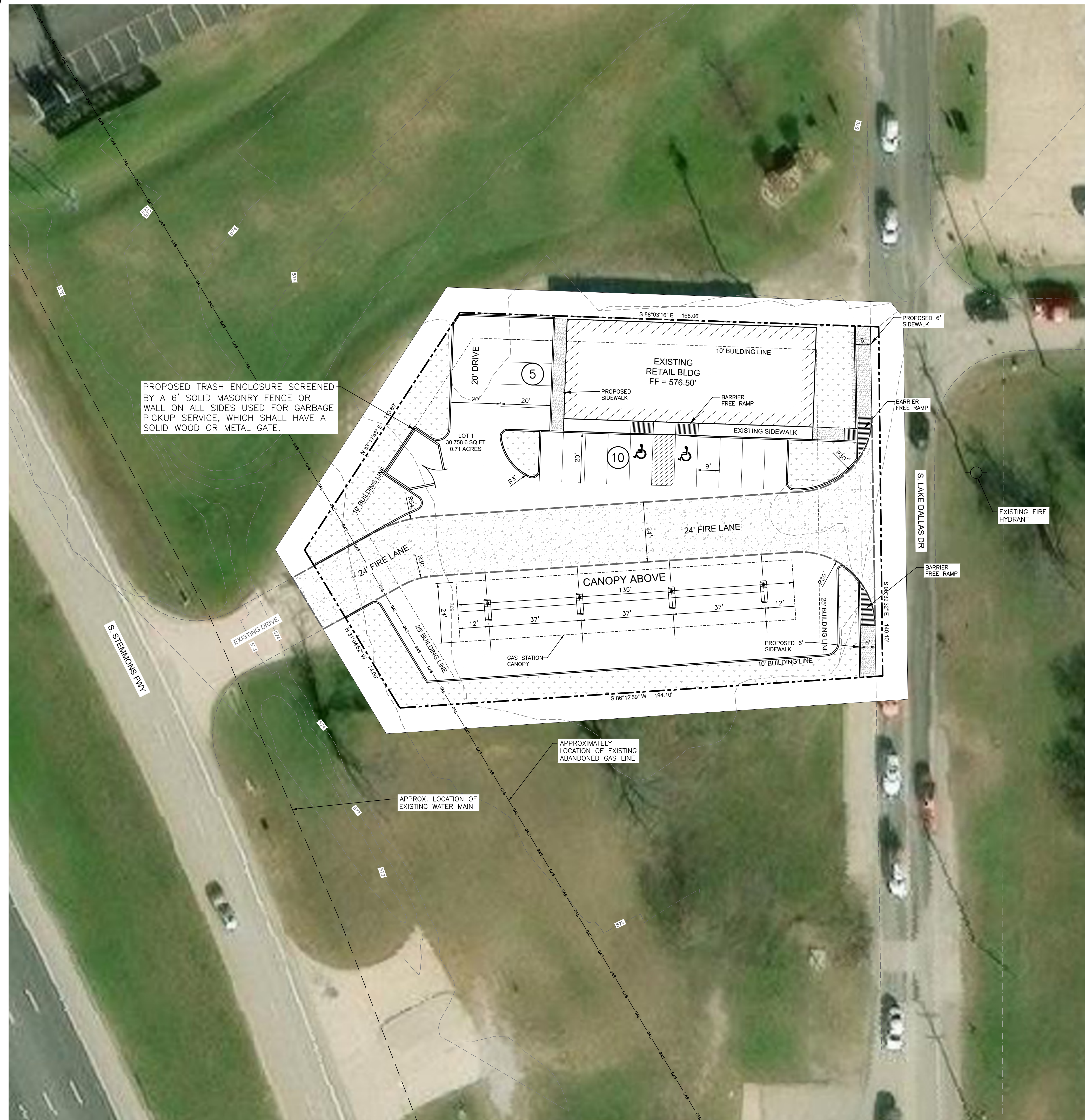
Site Plan

Landscape Plan

Elevations

FILE: SITE PLANDWG

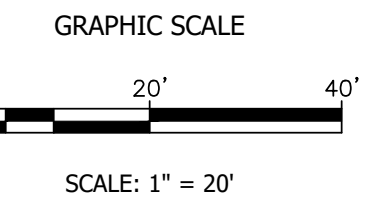
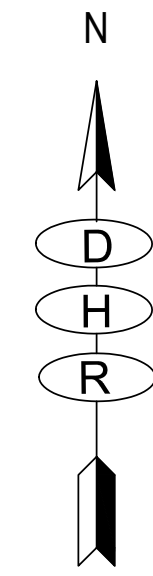
PLOTTED: 4/12/2026 3:33:36 AM



PROPOSED TRASH ENCLOSURE SCREENED BY A 6' SOLID MASONRY FENCE OR WALL ON ALL SIDES USED FOR GARBAGE PICKUP SERVICE, WHICH SHALL HAVE A SOLID WOOD OR METAL GATE.

APPROXIMATELY LOCATION OF EXISTING ABANDONED GAS LINE

APPROX. LOCATION OF EXISTING WATER MAIN



**LEGEND**

	PROPOSED 6" FIRE LANE (24' WIDE) CONCRETE PAVEMENT SHALL BE A MINIMUM 5 INCHES THICK, 3600 PSI, 5 SACK MIX WITH #4 REBAR ON 18-INCH CENTER EACH WAY WITH CHAIRS
	PROPOSED 5" THICK CONCRETE PAVEMENT
	EXISTING BUILDING
	PROPOSED PARKING
	PROPOSED FIRELANE AND ACCESS ESMT.

**LAKE DALLAS GAS STATION SUP**

GENERAL SITE DATA	
LAND USE	GAS STATION
LOT AREA	30,758.6 S.F. (0.71 Ac.)
BUILDING AREA	3,000 S.F.
BUILDING HEIGHT	1-STORY
PAVING AREA	19,165 S.F. (62.3% OF SITE)
LANDSCAPE AREA	5,015 S.F. (16.3% OF SITE)
PARKING	
PARKING REQUIRED	15 SPACES
PARKING PROVIDED	15 SPACES
ADA PARKING REQUIRED	1 SPACE
ADA PARKING PROPOSED	2 SPACES

- GENERAL NOTES**
- CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING AND FAMILIARIZING HIMSELF WITH CURRENT CITY OF LAKE DALLAS STANDARDS AND SPECIFICATIONS.
  - ALL UTILITIES THAT LIE WITHIN THE STREET RIGHT-OF-WAY OR ALLEY RIGHT-OF-WAY MUST BE INSTALLED PRIOR TO ANY STREET SUB-GRADE PREPARATION.
  - ALL WATER LINES TO BE PLACED WITH 4" OF COVER FROM TOP OF CURB TO TOP OF PIPE.
  - ANY STREET, ALLEYS, RIGHTS-OF-WAY, OR OTHER PROPERTY DAMAGED BY THE CONTRACTOR OR HIS SUB-CONTRACTOR SHALL BE REPAIRED PROPERLY AT THEIR EXPENSE.
  - NO BORES SHALL BE MADE IN THE STATE HIGHWAY DEPARTMENTS RIGHT-OF-WAY WITHOUT FIRST EXECUTING AN AGREEMENT WITH THE CITY OF LAKE DALLAS.
  - THE PRESENCE OR ABSENCE OF A REPRESENTATIVE OF THE CITY ON THE CONSTRUCTION SITE WILL NOT RELIEVE THE CONTRACTOR OF FULL RESPONSIBILITY FOR THE PROPER PERFORMANCE OF HIS WORK ON THE PROJECT. WHETHER A PROBLEM IS CALLED TO THE CONTRACTOR'S ATTENTION OR NOT, SHALL IN NO WAY RELIEVE THE CONTRACTOR FROM HIS RESPONSIBILITY TO COMPLETE ALL WORK IN ACCORDANCE WITH CITY STANDARDS AND GOOD CONSTRUCTION PRACTICES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES OR SERVICE LINES CROSSED OR EXPOSED BY HIS WORK. WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN, OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE SAME WITH THE SAME TYPE OF ORIGINAL MATERIAL OR BETTER AT HIS OWN EXPENSE. FAILURE TO SHOW UTILITY OR SERVICE LINES ON THE PLANS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PREVENT DAMAGE TO SAID LINES.
  - ALL DISTURBED GRASS AREAS, SHOULD BE REPAIRED BY THE DEVELOPER/CONTRACTOR WITH BERMUDA SOO OR SAN AUGUSTINE SOO, OR AS OTHERWISE DIRECTED BY THE DIRECTOR OF PUBLIC WORKS.
  - ALL WATER MAINS WILL HAVE A BLUE COLORED TRACER WIRE, # 14 SOLID COPPER STRAND ATTACHED TO THE TOP CENTER OF PIPE. TRACER WIRE WILL BE PULLED UP AT ALL VALVE LOCATIONS AND WIRE WILL BE PULLED UP ON THE OUTSIDE OF BASE AND INSIDE OF SCREW TOP AS TO NOT GET TANGLED UP ON VALVE KEYS.
  - A PRECONSTRUCTION MEETING IS REQUIRED.
  - MYLAR AS-BUILT AND A ONE YEAR MAINTENANCE BOND AND A COPY OF THE CONTRACT IS REQUIRED.
  - NO SCREENING WALL WILL BE REQUIRED AS THE SITE DOES NOT BORDER A RESIDENTIAL PROPERTY.

**GAS LINE NOTE:**  
EXISTING GAS LINE SHOWN PER RRC RECORDS- REPORTED ABANDONED. CONTRACTOR TO FIELD VERIFY EXACT LOCATION. COORDINATION WITH OPERATOR GOLDFIELD GATHERING, LTD TIED TO P5 #313142 / T4 PERMIT REQUIRED.

No.	Revision/Issue	Date

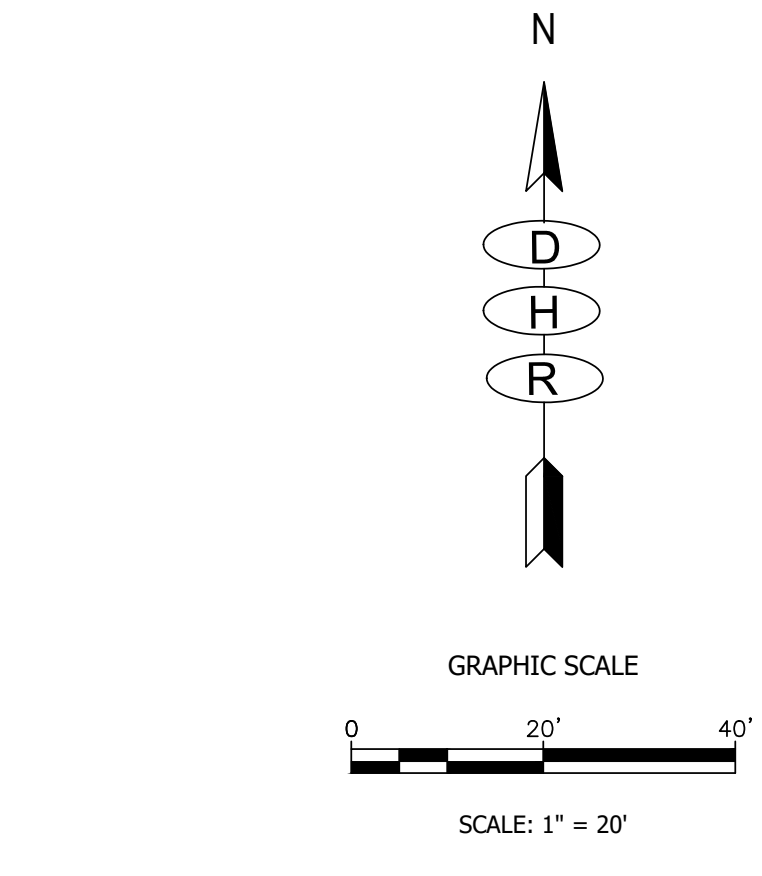
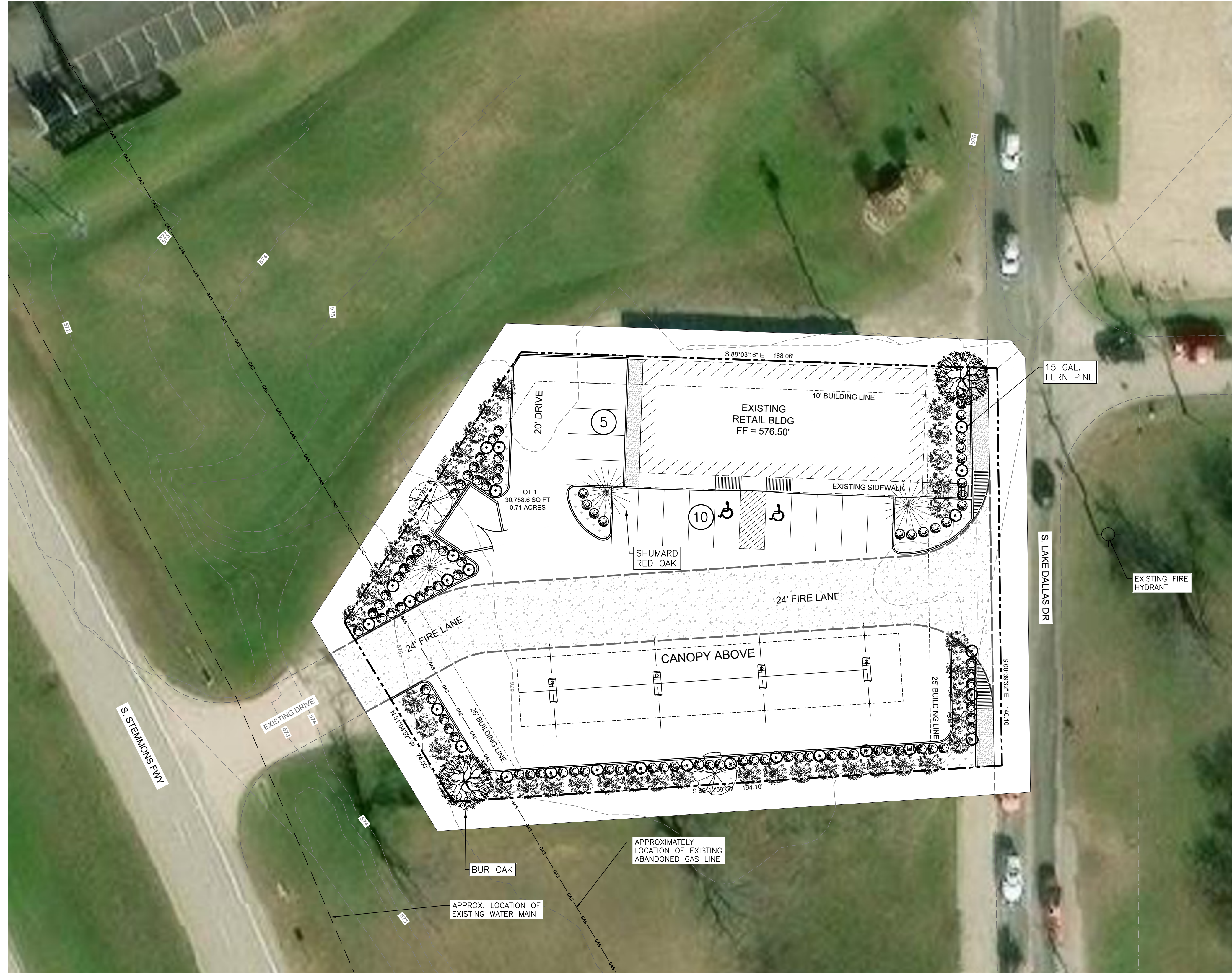
CLIENT ADDRESS  
FAST TRACK AUTO, LLC  
631 S LAKE DALLAS DR  
LAKE DALLAS, TX 75065  
CONTACT: ASH NOORANI  
PH: (832) 455-6686  
EMAIL: Fatrat@atad2@gmail.com

**D H R ENGINEERING, INC.**  
Civil Engineers  
511 E JOHN CARPENTER Fwy, SUITE 500  
IRVING, TEXAS 75062  
TEL (972) 777-0000 FAX (972) 777-0111  
TBPE No. : F-9184

**631 S LAKE DALLAS DR.**  
**GAS STATION**  
CITY OF LAKE DALLAS, DENTON COUNTY, TX  
**SITE PLAN**

STATE OF TEXAS  
DAVID H. RECHT  
91962  
LICENSED PROFESSIONAL ENGINEER  
April 2, 2026  
*David H. Recht*

CHECKED BY DR	11/17/2025
DHR JOB No. 25796	
ISSUE DATE:	
SHEET	
<b>C-3.0</b>	



**LEGEND**

- PROPOSED 6" FIRE LANE (24' WIDE) CONCRETE PAVEMENT SHALL BE A MINIMUM 5 INCHES THICK, 3600 PSI, 5 SACK MIX WITH #4 REBAR ON 18-INCH CENTER EACH WAY WITH CHAIRS
- EXISTING BUILDING
- PROPOSED PARKING
- PROPOSED FIRELANE AND ACCESS ESMT.

**PLANTING SCHEDULE (SHRUBS)**

SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE/CAL.	HEIGHT	SPACING
(IH QTY)	90	INDIAN HAWTHORN	Raphiolepis indica	5 GAL.	30"	5' O.C.
(BR QTY)	40	BARBERRY	Barberry spp	5 GAL.	30"	5' O.C.
(FP QTY)	27	FERN PINE	Podocarpus gracilior	15 GAL.	60"	15' O.C.

**PLANTING SCHEDULE (LARGE TREES)**

SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE/CAL.	HEIGHT	SPACING
(BO QTY)	2	BUR OAK	Quercus macrocarpa	4"	12' MIN.	AS-SHOWN' MIN.
(RO QTY)	3	SHUMARD RED OAK	Quercus shumardii	4"	12' MIN.	AS-SHOWN' MIN.
(CP QTY)	2	CHINESE PISTACHE (MALE)	Pistacia chinensis	4"	12' MIN.	AS-SHOWN' MIN.

No.	Revision/Issue	Date

CLIENT ADDRESS  
 FAST TRACK AUTO, LLC  
 631 S LAKE DALLAS DR  
 LAKE DALLAS, TX 75065  
 CONTACT: ASH NOORANI  
 PH: (832) 455-6868  
 EMAIL: Fatratradco2@gmail.com

OWNER NAME AND ADDRESS  
  
**ENGINEERING, INC.**  
 Civil Engineers  
 511 E JOHN CARPENTER Fwy, SUITE 500  
 IRVING, TEXAS 75062  
 TEL (972) 777-0000 FAX (972) 777-0111  
 TBPE No. : F-9184

631 S LAKE DALLAS DR.  
 GAS STATION  
 CITY OF LAKE DALLAS, DENTON COUNTY, TX  
**LANDSCAPE PLAN**

April 2, 2026  
*David H. Reicht*

CHECKED BY  
 DR  
 DHR JOB No.  
 25796  
 ISSUE DATE: 11/17/2025  
 SHEET  
**C-4.0**

**NOTE:**  
WARNING SIGNS IN ACCORDANCE WITH 118 IFC SHALL BE POSTED.  
- NO SMOKING  
- SHUT OFF MOTOR  
- DISCHARGE YOUR STATIC ELECTRICITY BEFORE FUELING BY TOUCHING A METAL SURFACE AWAY FROM NOZZLE. TO PREVENT STATIC CHARGE, DO NOT REENTER YOUR VEHICLE WHILE GASOLINE IS PUMPING.  
- IF A FIRE STARTS, DO NOT REMOVE NOZZLE  
- BACK AWAY IMMEDIATELY  
- IT IS UNLAWFUL AND GENEROUS TO DISPENSE GASOLINE INTO UNAPPROVED CONTAINERS.  
- NO FILLING OF PORTABLE CONTAINERS IN OR ON A MOTOR VEHICLE. PLACE CONTAINER ON GROUND BEFORE FILLING.

**NOTE:**  
CANOPY CONTRACTOR REFER TO SHEET F1.0 FOR SIZE AND OVERALL SCOPE OF WORK  
CANOPY CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR OWNER APPROVAL BEFORE COMMENCEMENT OF WORK  
VERIFY WITH OWNER ALL ITEMS WHICH ARE APPLICABLE

228 AND 309 ENSURE T.A.S. COMPLIANCE:  
ALL FUEL DISPENSERS TO BE IN COMPLIANCE W/ THE LATEST TEXAS ACCESSIBILITY STANDARDS.

308.1 GENERAL:  
REACH RANGES SHALL COMPLY WITH 308.

**NOTE:**  
VEHICLE PROTECTION: IN COMPLIANCE WITH SECTIONS 312 AND 2206.7.3

DISPENSER HOSE: HOSES SHALL BE A MAXIMUM OF 18 FEET LENGTH PER SECTION 2206.7.5

BREAKAWAY DEVICES: TO COMPLY WITH UL LISTED BREAKAWAY DEVICE FOR EACH HOSE PER SECTION 2206.7.5.1

FIRE EXTINGUISHERS: TO COMPLY WITH SECTION 205.

WARNING SIGNS: TO COMPLY WITH PER SECTION 2205.6

IN EARLY 2011, THE DEPARTMENT OF JUSTICE PUBLISHED FINAL REGULATIONS WHICH REQUIRE CHANGES TO CURRENT ADA ACCESSIBILITY GUIDELINES. THESE CHANGES WENT INTO EFFECT ON 3/15/2012.

**OVERVIEW OF NEW REGULATION**

- ANY NEW CONSTRUCTION IN WHICH THE LAST BUILDING PERMIT IS ISSUED OR CERTIFIED (DEPENDING UPON THE JURISDICTION) AFTER MARCH 15, 2012, OR ANY ALTERATIONS COMMENCED AFTER MARCH 15, 2012 WILL HAVE TO COMPLY WITH THE 2010 STANDARDS.
- NEW CONSTRUCTION OR ALTERATIONS COMMENCED AFTER THE EFFECTIVE DATE OF THE RULE, BUT BEFORE THE EFFECTIVE DATE OF THE 2010 STANDARDS, CAN EITHER BE DONE IN CONFORMANCE WITH THE OLD OR THE 2010 STANDARDS.
- IMPORTANTLY, ELEMENTS THAT WERE IN COMPLIANCE WITH THE 1991 ADA GUIDELINES AS OF THE EFFECTIVE DATE OF THE 2010 STANDARDS, DO NOT HAVE TO BE BROUGHT UP TO COMPLIANCE WITH THE 2010 STANDARDS UNLESS THEY ARE SUBSEQUENTLY ALTERED.

**1991 ADA REGULATION: FUEL DISPENSERS**  
- 1991 STANDARDS REQUIRE ALL CONTROLS BE WITHIN 54" OF THE SURFACE WHERE A WHEELCHAIR USER WOULD SIT SIDEWAYS TO OPERATE THE CONTROLS.  
- TEN PERCENT OF FUELING POSITIONS MUST COMPLY WITH THE 1991 STANDARDS.

**2010 ADA REGULATION: FUEL DISPENSERS**  
- 2010 REGULATION LIMITS THE SAME REACH MAXIMUM TO 48" ABOVE THE DRIVE SURFACE. THERE IS AN EXCEPTION TO THIS STANDARD FOR FUEL DISPENSERS LOCATED ON EXISTING CURBS. FOR FUEL DISPENSERS LOCATED ON EXISTING CURBS, THE MAXIMUM REACH HEIGHT REMAINS 54" FROM THE DRIVE SURFACE.  
- 2010 REGULATION CLARIFIES THAT ONE OF EACH TYPE OF FUEL DISPENSER AT A LOCATION MUST BE ADA-COMPLIANT  
- ALL NEW CONSTRUCTION AFTER 3/15/2012 MUST FOLLOW THE 2010 STANDARD  
- IF THE SITE IS IN COMPLIANCE OF THE 1991 STANDARD, THE SITE WILL NOT HAVE TO BE BROUGHT TO COMPLIANCE WITH THE 2010 STANDARD UNLESS THE CURBS OR DISPENSER MOUNTING PADS ARE ALTERED

**NOTE:**  
CANOPY CONTRACTOR REFER TO SHEET F1.0 FOR SIZE AND OVERALL SCOPE OF WORK  
CANOPY CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR OWNER APPROVAL BEFORE COMMENCEMENT OF WORK  
VERIFY WITH OWNER ALL ITEMS WHICH ARE APPLICABLE

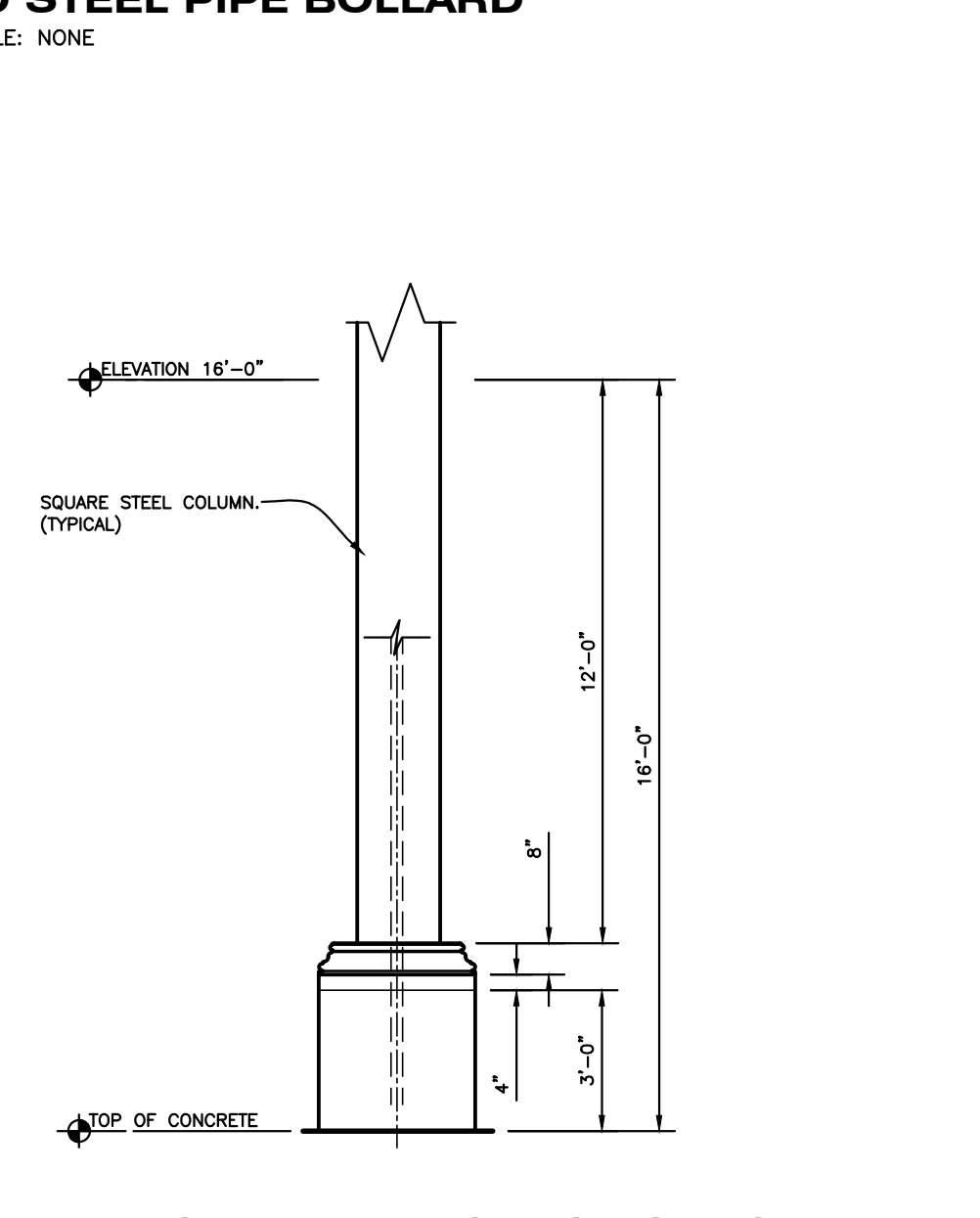
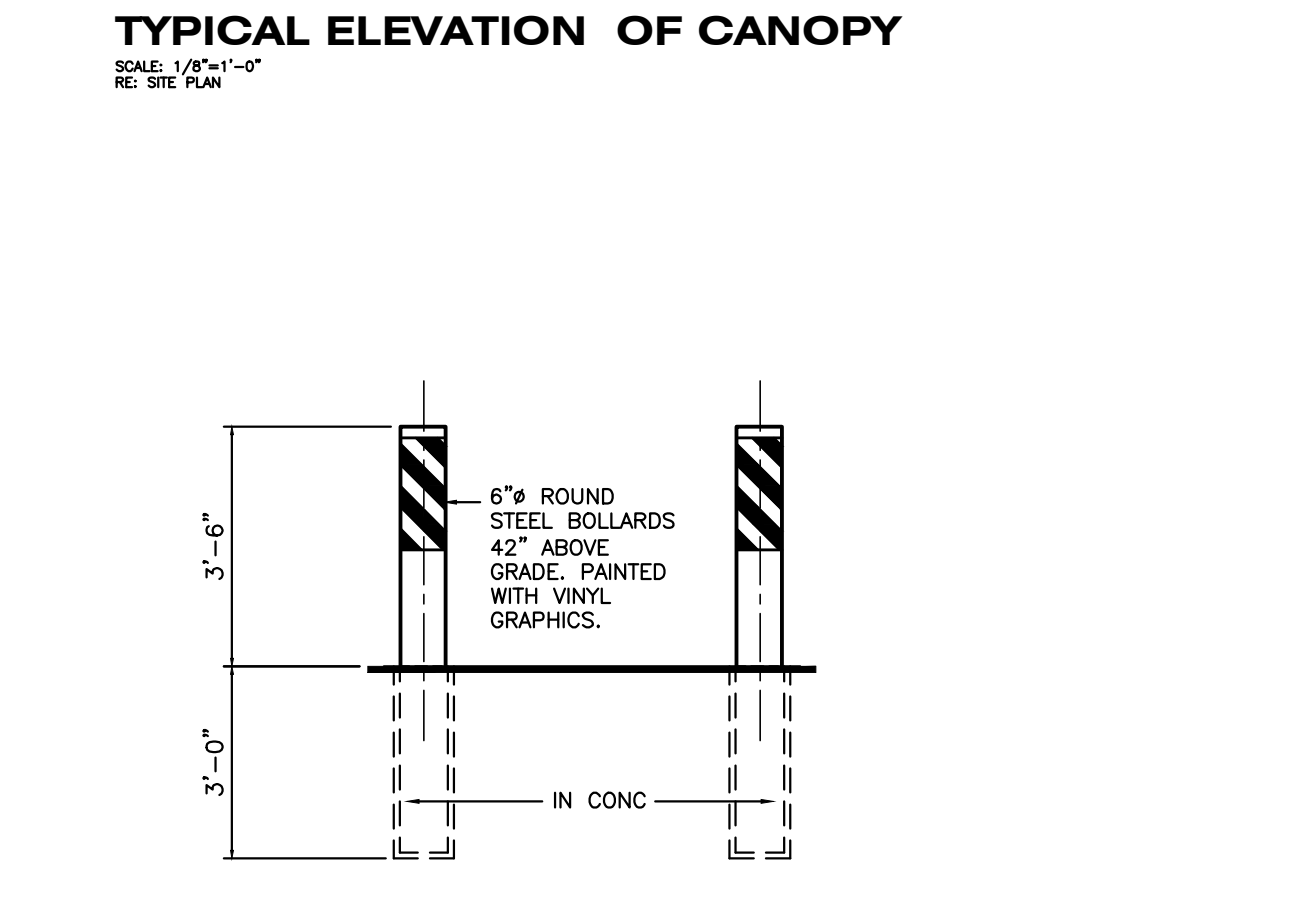
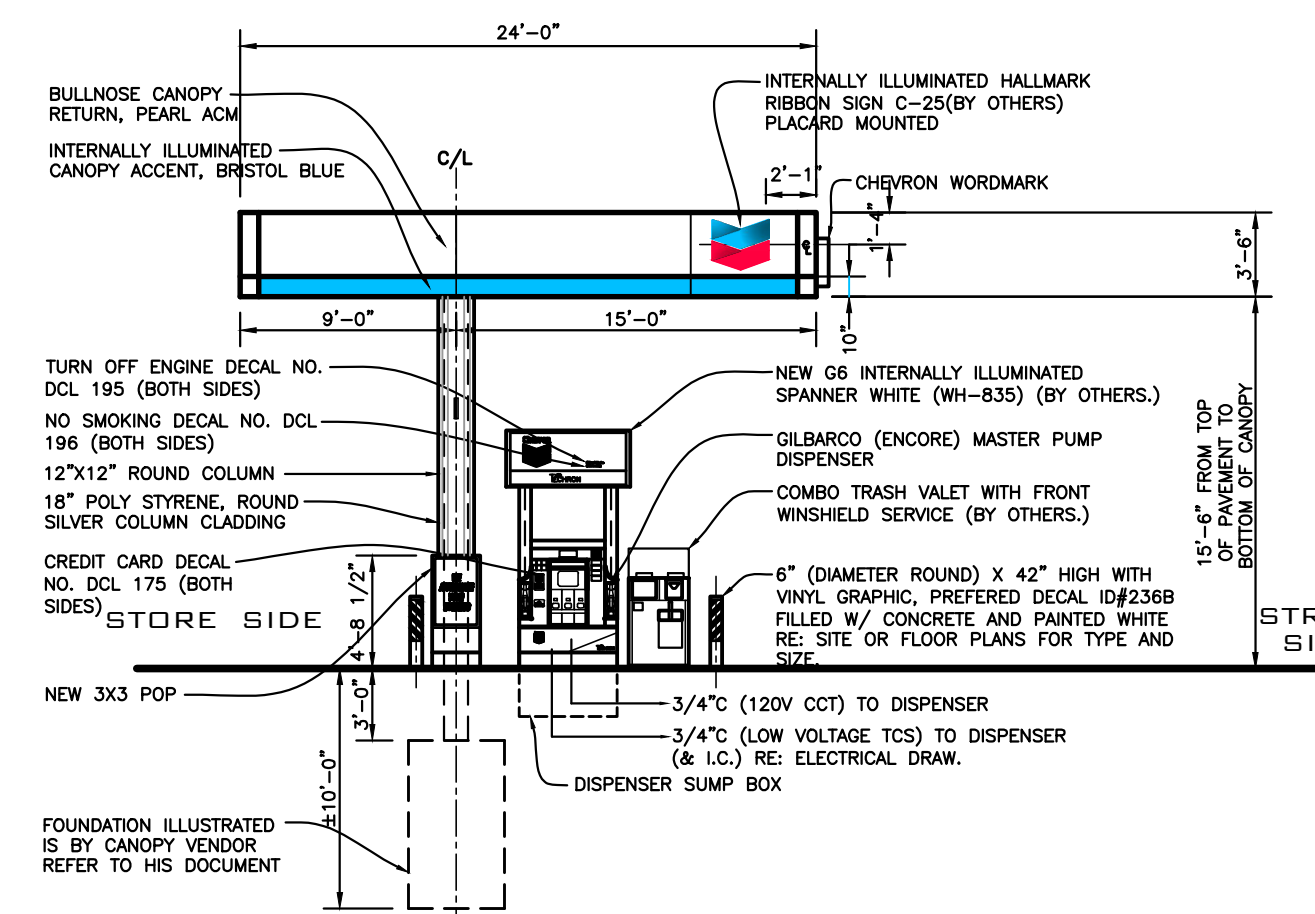
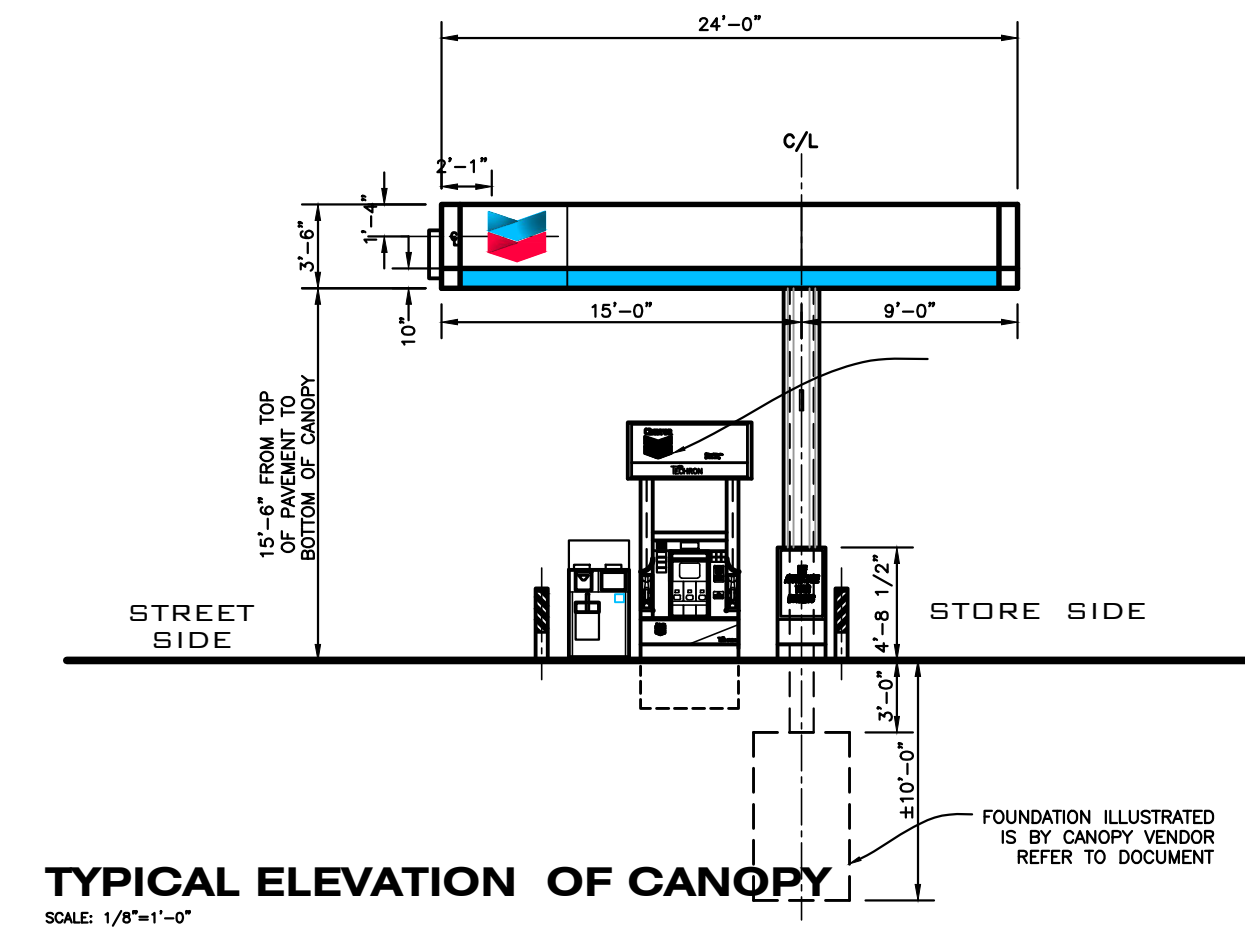
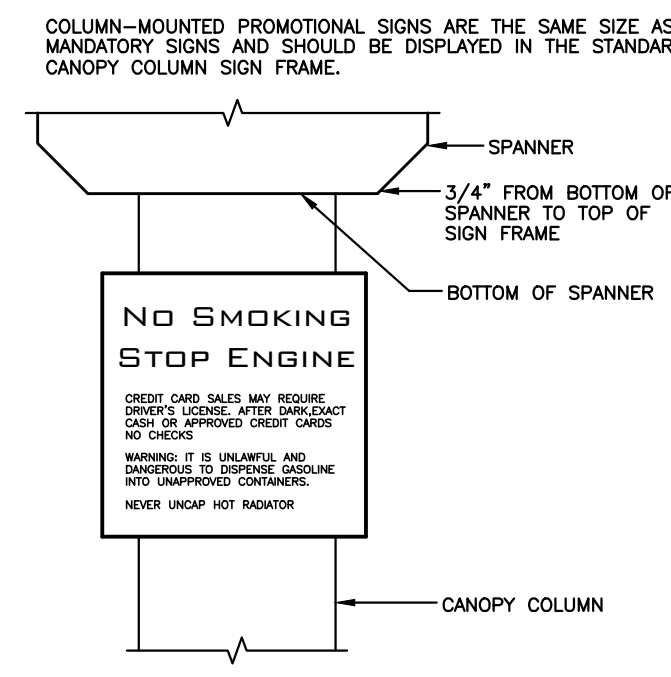
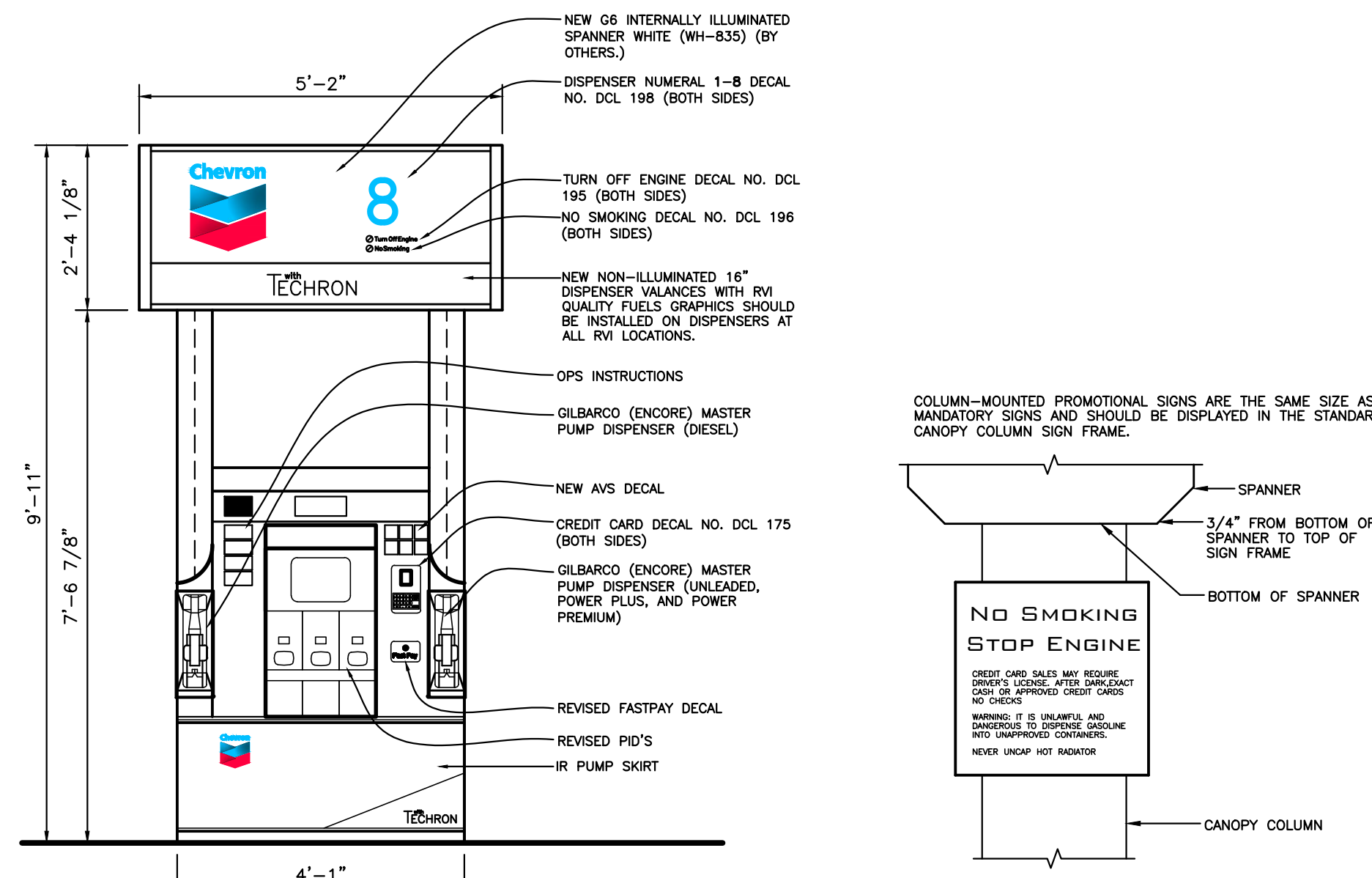
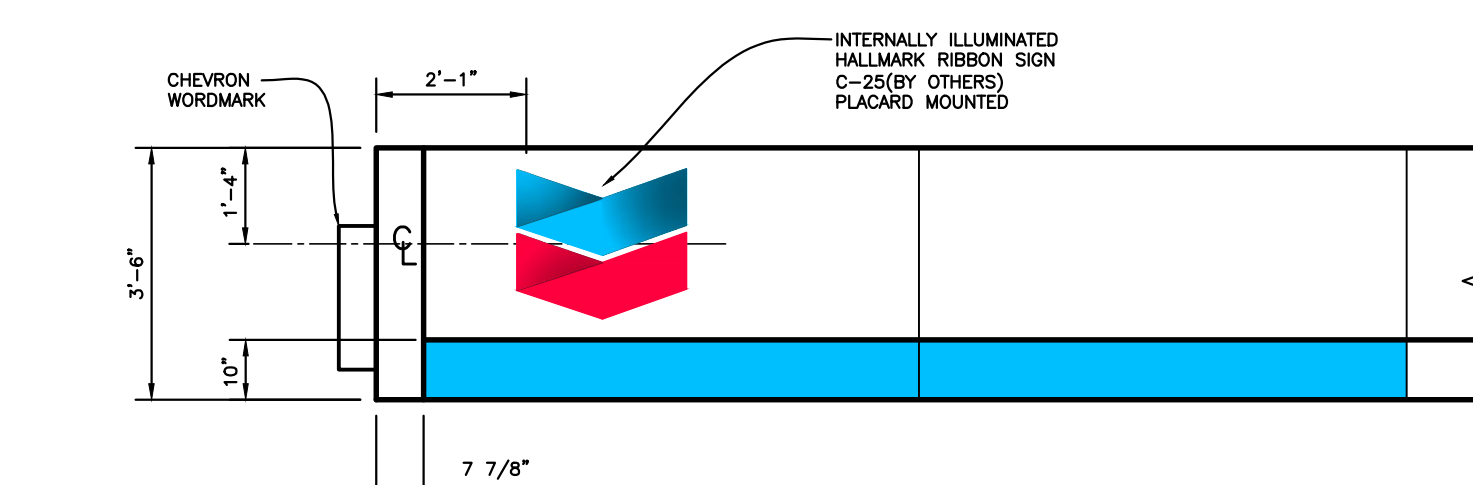
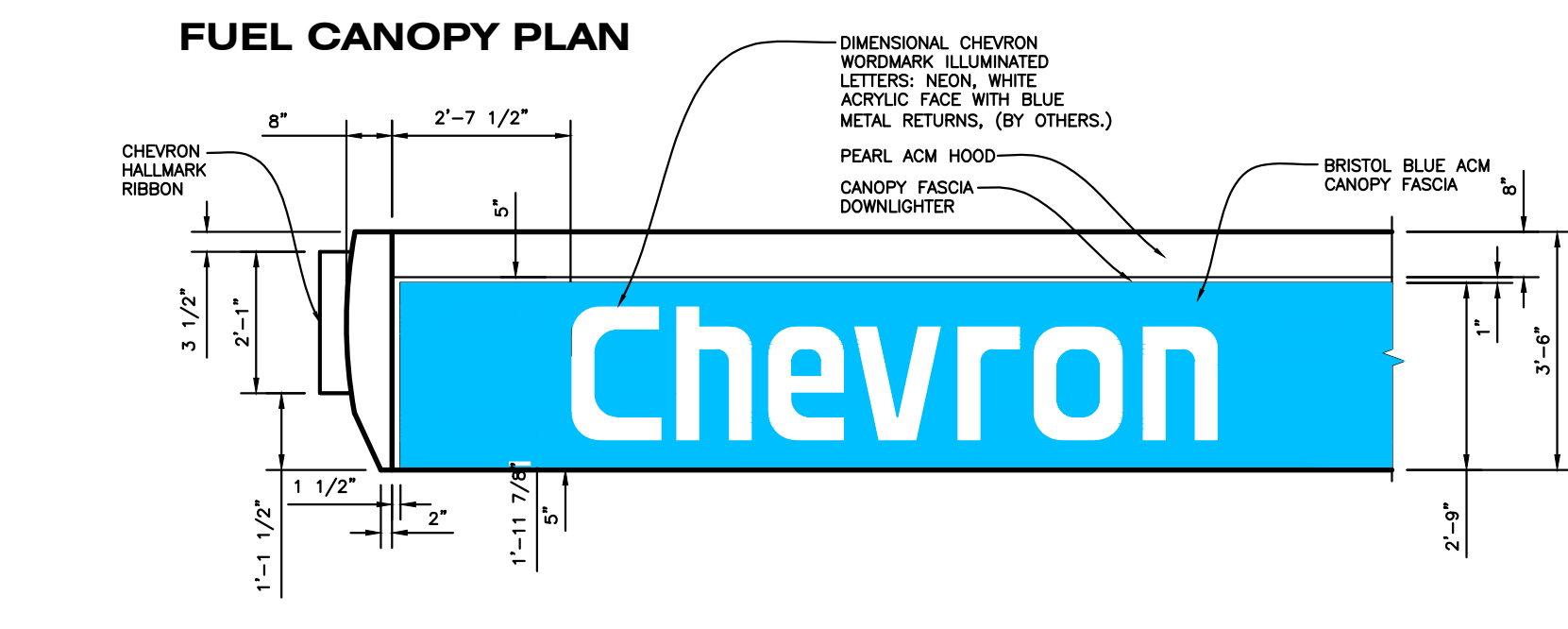
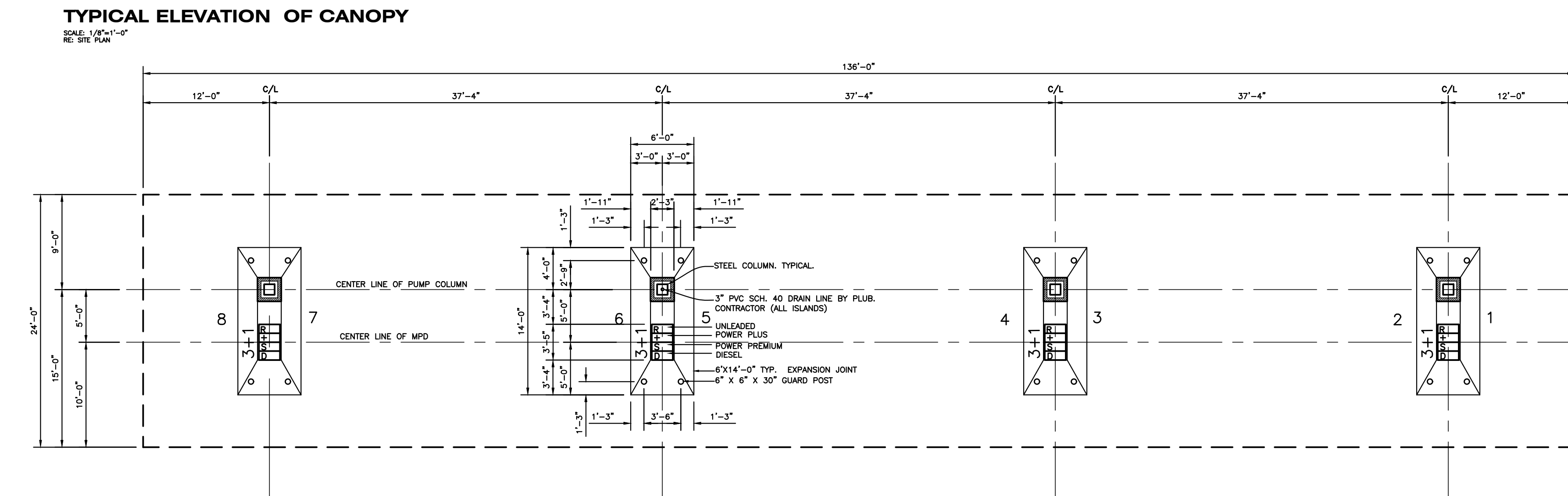
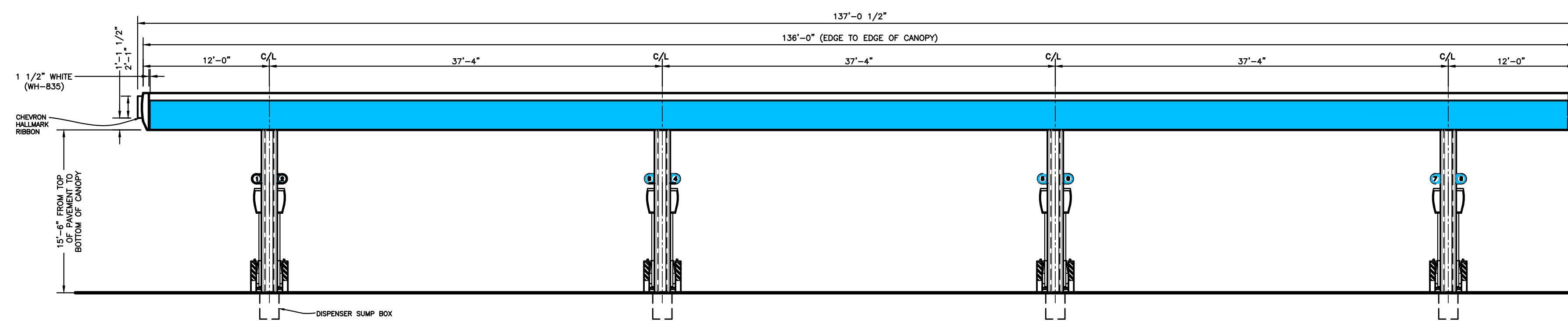
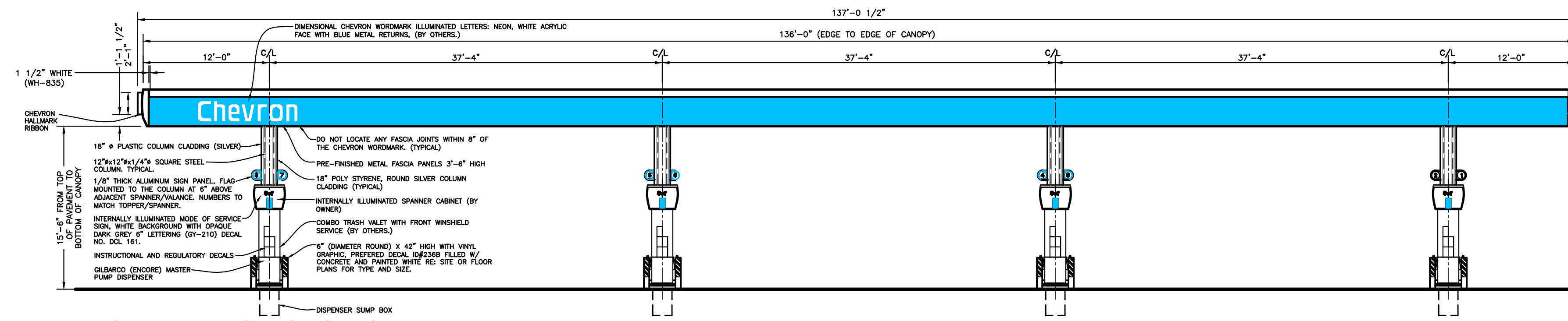
**SIGNAGE NOTE**  
ALL SIGNAGE (INDOOR AND OUTDOOR) WILL BE SUBMITTED FOR APPROVAL THROUGH THE SIGN PERMIT APPLICATION.

**NOTE:** VERIFY WITH SITE PLAN THE LOCATION OF PRODUCT DISPENSER UNITS

**NOTE:** CANOPIES LOCATION ON THIS DOCUMENT ARE FOR ILLUSTRATION ONLY. REF: F1.0/SITE PLAN FOR THE EXACT LOCATION.

RE: REFER TO THE CHEVRON INSTALLATION INSTRUCTION GUIDE FOR THE FUEL PROGRAM KEY COMPONENTS INSTALLATION.

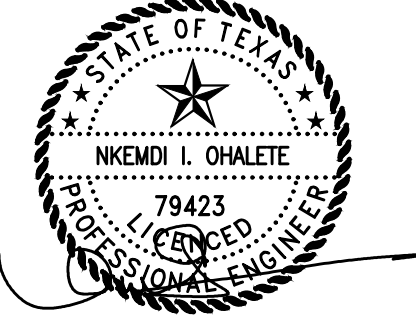
RE: SITE AND/OR FLOOR PLANS VERIFY WITH OWNER ALL ITEMS WHICH ARE APPLICABLE. CANOPY CONTRACTOR REFER TO SHEET F1.0 FOR SIZE AND OVERALL SCOPE OF WORK.



**EBEN DESIGN**  
P. O. BOX 293  
MISSOURI CITY, TX 77459  
832-496-6207  
WWW.EBENDESIGN.COM  
DESIGN@EBENDESIGN.COM

CONSULTING ENGINEER

TBPE No. F-8029



04-14-25

**SUBMISSIONS & REVISIONS**

NO.	DATE	DESCRIPTION
04-07-25		PROGRESS PRINT
04-14-25		ISSUED FOR CITY OF LAKE DALLAS PERMIT

**COPYRIGHT 2025**  
These drawings & specifications are the proprietary property of EBEN DESIGN and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on this specific site in conjunction with its issue date and are not authorized for use on a different site or at a later time. EBEN DESIGN is not responsible for any structural, construction, fabrication, electrical and plumbing failures and for confirming and correlating dimensions of the job site and for the safety procedures and programs concerning this project, but rather is the sole responsibility of the engineers and general contractor authorized by the owner(s) on this project.  
This drawing indicates the general scope of the project in terms of architectural design concepts, the dimensions of the building, the major architectural elements and the type of structural, mechanical and electrical systems. As scope documents, the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for the proper execution and completion of the work.



**PROPOSED INSTALLATION OF UNDERGROUND FUEL TANK AND FUEL CANOPY**

631 S LAKE DALLAS DR.,  
LAKE DALLAS, TX 75065

**FAST TRACK AUTO, LLC.**

DRAWN BY: ELA APPROVED BY: CHECKED BY:

PROJECT NO. DATE:  
MLB.E02-0425

DRAWING TITLE

**FUEL CANOPY FOR REFERENCE ONLY**

DRAWING NO.

**F6.0**



**P&Z COMMISSION  
AGENDA MEMO**

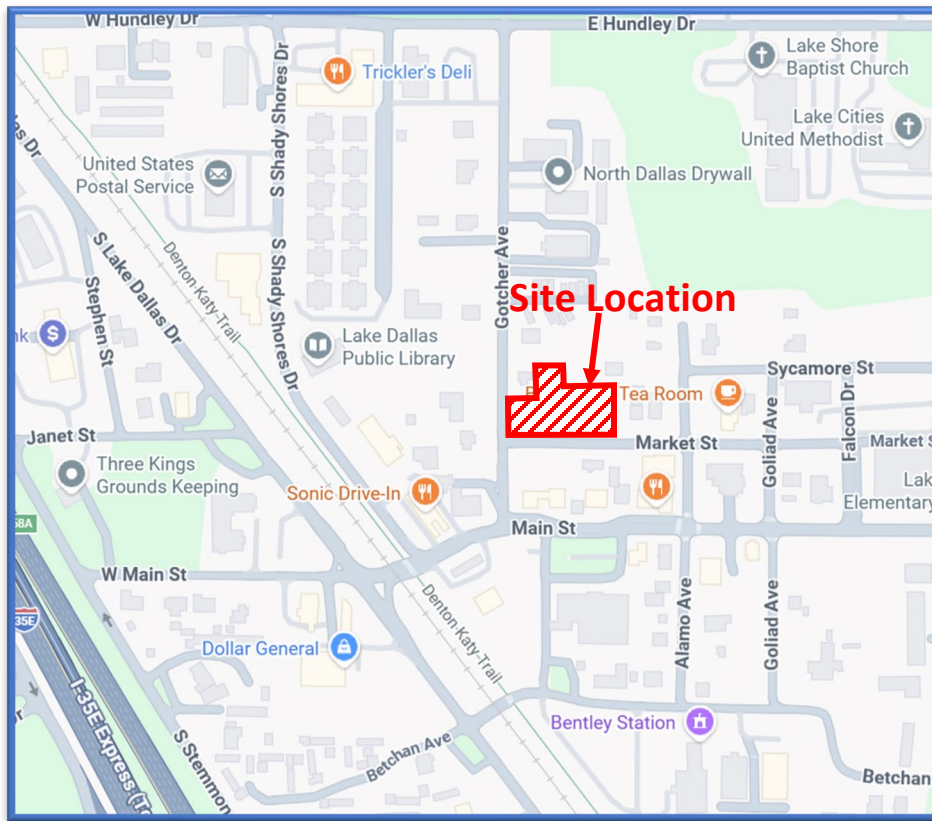
**Prepared By: Marisa Brewer, AICP, City Planning Consultant**

**April 16, 2026**

Conduct a public hearing and provide recommendation for a Planned Development, on property currently zoned District C-1 and O-17-02 in the Downtown Overlay District, to allow for the construction of a Tiny Home Park use of approximately 0.815 acres of land situated in the M. Wright Survey, Abstract Number 1355, in the City of Lake Dallas, Denton County, Texas, being a part of Lots 9 and 10, Block 1 of Gotcher Addition, an addition to the City of Lake Dallas, Denton County, Texas.

**DESCRIPTION:**

Planning and Zoning Commission shall consider the request for Planned Development for the property at 101, 103, 105, 107 Market St, Lake Dallas, TX 75065 (located on Lots 9 and 10, Block 1 of Gotcher Addition and in the M. Wright Survey, Abstract Number 1355 in the City of Lake Dallas, Denton County, Texas,) to allow the for the construction of a Tiny Home Park.



## **BACKGROUND INFORMATION:**

In 2017, Terry Lantrip, built a Tiny Home Park located at 206 Gotcher Road which included 13 Tiny Home Pads, common open space areas, and shared amenities for residents. This developer is requesting a second phase of the tiny home park by proposing 14 additional Tiny Homes Pads on .815 acres of land per the description above.

The property is currently zoned C-1 (Retail) and O-17-2 (Bungalows) within the Downtown Overlay District, neither of which permit tiny home development. Therefore, the applicant is requesting a zoning change to a Planned Development (PD) utilizing the R-1-6000 base zoning district and remaining within the Downtown Overlay District. The City of Lake Dallas Code of Ordinances does not include specific standards for tiny home developments, which previously resulted in the adoption of a PD for a similar project in 2017, using R-1-6000 as the base zoning district. The proposed development generally mirrors the development standards adopted with Ordinance No. 2017-14. However, the proposed development is unable to comply with several regulations applicable to the base zoning district. Therefore, a Planned Development is required. As a result, a list of development standards has been included in this report.

The site currently contains three existing structures that, in accordance with the proposed development standards and plan notes, must be demolished or relocated prior to the commencement of construction.

The plan is proposing landscaping along Gotcher Avenue and Market Street by proposing seven new trees and a continuous five-foot-wide sidewalk along those same roads. Along with the trees the site will also have a courtyard in between where the Tiny Homes back up and a community garden that is currently existing today.

The property will be screened along the north, south, and west property lines through the installation of a white vinyl fence to provide screening from adjacent properties. In addition, seven Live Oak trees are proposed along Gotcher Avenue and Market Street to provide a buffer from the public right-of-way.

Section 122-632 requires that a proposed PD should have uses that are compatible with adjacent uses and the Comprehensive Plan. Single family residential uses, including Tiny Home Village Phase I, are located directly adjacent to the north of the subject property. To the east are two-family duplexes and to the south of Market are townhomes, live/work units, and offices. The Comprehensive Plan indicates a future land use designation of Lifestyle Residential for the subject property. Mixed Use is designated to the south and east, while Lifestyle Residential is designated to the north. The subject property is also located within the Downtown Overlay and identified as a Lifestyle Housing Priority Area according to the Downtown Concept Plan.

With a Planned Development, the property must be in conformance with the Lake Dallas Code of Ordinances. Below is a list of proposed development standards that deviate from the current Code.

**PROPOSED DEVELOPMENT STANDARDS:**

**1. Landscaping**

	<b>Requirement</b>	<b>PD Standard</b>	<b>Reason</b>
<b>1</b>	<b>Section 122-1228 (1.c)</b> : Interior areas of parking lots shall contain planting islands located so as to best relieve the expanse of paving. Planter islands must be located no further apart than every 12 parking spaces and at the terminus of all rows of parking.	Planting islands located at the end of designated parking areas shall not be required to contain trees.	Planting trees in those locations would prevent Tiny Homes from being placed or removed.
<b>2</b>	<b>Section 122-1228 (2.c):</b> Perimeter landscape areas shall contain at least one tree for each 50 lineal feet or fraction thereof of perimeter area.	Seven (7) live oak trees, with a minimum caliper diameter of 3 inches (3”) and a minimum height of eight feet (8.0’), shall be planted and maintained within the perimeter landscape area adjacent to a public right-of way	Plan is proposing 7 Trees: 1 along Gotcher and 6 are along Market Street.
<b>3</b>	<b>Section 122-1228 (2.a):</b> Whenever an off-street parking or vehicular use area abuts a public right-of-way, a perimeter landscape area at least 15 feet in depth shall be maintained between the abutting right-of-way and the off-street parking or vehicular use area.	A perimeter landscape area with a minimum depth of five feet (5.0’) shall be maintained between all abutting rights-of-way and include the following.	Due to the limited amount of horizontal space available for a development of this size, a landscape area with a measurement of 15’ in depth was not provided.
<b>4</b>	<b>Section 122-1228 (2.b):</b> Whenever an off-street parking or vehicular use area abuts an adjacent property line, a perimeter landscape area at least ten feet in width shall be maintained between the edge of the parking area and the adjacent property line.	A perimeter landscape area with a minimum depth of three feet shall be maintained between designated parking and vehicular use areas and abutting properties.	Due to the limited amount of horizontal space available for a development of this size, a perimeter landscape area with a measurement of at least 10’ in width was not provided.

5a	<b>Section 122-1229:</b> Landscaping requirement for nonvehicular open space. (3.a) - In all residential zoning districts, a minimum of 15 percent of the landscaping shall be located in the required front yard.	A minimum of fifteen percent (15%) of the total area of the Property shall be devoted to feature landscaping.	This is not a conventional residential subdivision with individual lots and typical front yard configurations, the development has limited opportunity to provide the full 15 percent of required open space within front yard areas.
5b	(b) Landscaping plans shall be prepared by a landscape architect, landscape contractor or landscape designer, knowledgeable in plants, materials and landscape design. Landscape plans shall contain the following information	That the property owner shall serve as the landscape contractor for the design and maintenance of all landscaping substantially as shown on the Development Plan; maintenance is subject to section 122-1226	The applicant has requested to waive this requirement.
6	Section 122-1228 (1) (b): There shall be a minimum of one tree planted for each 400 square feet or fraction thereof of required interior landscape area.	Trees shall not be required within interior landscape areas of the site	Applicant is not proposing any trees within the interior site.

**2. Site Standards**

	<b>Requirement</b>	<b>PD Standard</b>	<b>Reason</b>
1	<b>Section 2.06 Sidewalk Location and Design:</b> Sidewalks to be 4" thick, 3,600 psi in 28 days, reinforced with No. 3 bars 14" O.C.E.W	A brick sidewalk with a minimum width of five feet (5.0') shall be located along the perimeter of the	There is an existing (5') five-foot brick sidewalk to the east that this proposed sidewalk can tie into.

<p>A concrete sidewalk, a minimum of five feet (5') in width, shall be located along all Collector or Local thoroughfares. The sidewalk shall be located within the street ROW unless pre-existing physical encroachments (e.g., utility infrastructure or trees) dictate otherwise. The outside edge of the sidewalk shall be located two feet (2') inside the ROW line on Commercial or Residential Collector thoroughfares. On Local thoroughfares, the outside edge of the sidewalk may be on the ROW line and a two foot (2') sidewalk easement shall be provided adjacent to the ROW line</p>	<p>Property when adjacent to a public right-of-way.</p>	
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**3. Tiny House Pad Requirement:** A Tiny House Pad is an individual lease pad where a privately owned Tiny House may be placed.

Requirement	Proposed
Area	Min:800 Sq Ft Max:1,000 Sq Ft
Coverage	Tiny House shall not exceed 45% of Pad Area
Width	Min: 20 Feet Max: 30 Feet
Depth	Min:40 Feet Max: 50 Feet

**4. Foundation Platform Requirements:** Tiny Houses located on the Property shall be constructed with a foundation platform subject to the following dimensions.

Requirement	Proposed
Width	Min: 7 Feet Max: 8.5 Feet
Depth	Min:12 Feet Max: 40 Feet

**5. Tiny House:** For purposes of this Ordinance, a “Tiny House” is defined as a principal residential dwelling that has a square footage of no less than one hundred fifty (150) square feet and no greater than four hundred (400) square feet, with said dwelling being structurally attached to a transportable chassis, with or without a permanent foundation,

capable of being connected to available utilities including plumbing (water and sewer service), mechanical, natural gas, communications, and electrical systems. Tiny Houses shall be constructed on a tiny house pad and shall be subject to the following.

Requirement	Proposed
Minimum Unit size	Min: 150 Sq Ft Max: 400 Sq Ft
Width	Min: 7 Feet Max:8.5 Feet
Depth	Min: 12 Feet Max:40 Feet

**ADJACENT ZONING AND LAND USE:**

<b>DIRECTION</b>	<b>ZONING</b>	<b>EXISTING USE</b>
<b><i>Subject Property</i></b>	<b><i>C-1 and O-17-02</i></b>	<b><i>Retail</i></b>
<i>North</i>	C-1	<i>Single Family</i>
<i>South</i>	C-3	<i>Townhomes</i>
<i>West</i>	C-1	<i>Single Family</i>
<i>East</i>	C-1 and O-17-02	<i>Duplex</i>

**FEEDBACK:**

Correspondence:

The City Code requires notification of the property owners within 200 feet of the subject property. For this application, 21 Property Owner Notifications were mailed at least 10 days prior to the public hearing. The following map shows properties within 200’ of the subject site.



Draft Ordinance

Site Plan

Landscape Plan



**Tiny Home Village, Phase 2**  
 101 Market Street, Lake Dallas, TX, 75065

PROJECT #: 2410002  
 LOTS 9 & 10: BLOCK 1  
 Denton County

SHEET  
**C2**  
 1 OF 1 SHEETS

DRAWN BY:  
 SCALE: N/A  
 DATE:  
 REVISION:

**LANDSCAPE & TREE PLAN**

**LMM**  
 ENGINEERING

4414 TERRAVIEW DRIVE,  
 ARLINGTON, TX, 76001  
 TELE: (214) 794-4436  
 EMAIL: Lmiano142@gmail.com

Site Data Table			
Item	Provided	Caliber	Min.Height
Proposed Live Oak Trees	7	3 Inch	8 Feet
Existing Trees	1	-	-







**P&Z COMMISSION  
AGENDA MEMO**

**Prepared By: Marisa Brewer, AICP, City Planning Consultant**

**April 16, 2026**

Consider and take appropriate action on a Site Plan for a portion of Lot 1, Block A of Swisher Road Industrial Addition for a parking lot expansion, consisting of +/- 3.6 acres situated in the J.W Simmons Survey, Abstract No.1162, of the City of Lake Dallas, Denton County, Texas.

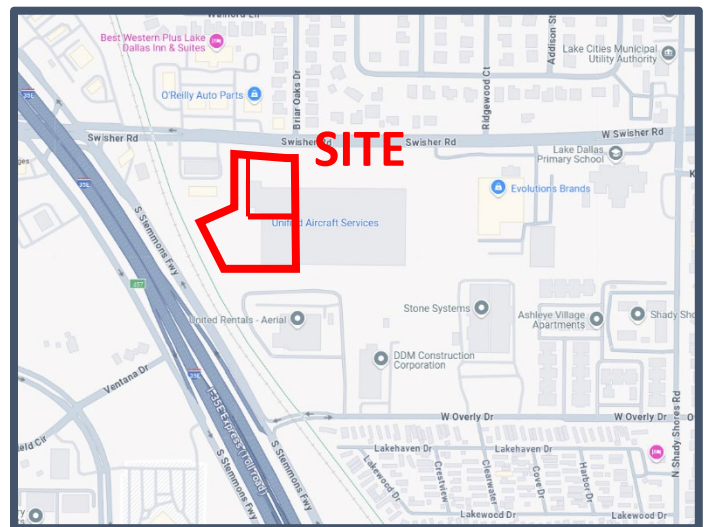
**DESCRIPTION:**

Planning and Zoning Commission shall consider the Site Plan for a proposed parking expansion for QT on a portion of Lot 1, Block A of Swisher Road Industrial Addition, consisting of +/- 3.6 acres of land located at 250 Swisher Road Lake Dallas, TX 75065.

**BACKGROUND INFORMATION:**

The subject property has an existing zoning of C-2, in which a parking lot for convenience store is a permitted use. The applicant QT South LLC, is proposing an additional 18 parking spaces adjacent to the QT gas station, bringing the total number of parking spaces provided on-site to 46.

The proposed parking area will occupy only a portion of Lot 1. To ensure continued access to the remainder of the lot, the applicant has provided an access easement along the rear portion of the lot. At this time, there is no development proposed for the remaining area of the tract.



The proposed site plan meets the development standards of the Code of Ordinances.

**RECOMMENDED MOTIONS:**

**The City P&Z Commission can:**

**RECOMMEND APPROVAL** the Site Plan for a portion of Lot 1, Block A of Swisher Industrial Addition for the expansion of QT parking lot.

OR

**RECOMMEND APPROVAL WITH CONDITIONS** the Site Plan for a portion of Lot 1, Block A of Swisher Industrial Addition for the expansion of QT parking lot, with the following conditions: *[list requirements of the Code of Ordinances which must be satisfied]*

OR

**RECOMMEND DENIAL** the Site Plan for a portion of Lot 1, Block A of Swisher Industrial Addition for the expansion of QT parking lot, due to noncompliance with City's Code of Ordinances: *[list requirements of the Code of Ordinances that were not met]*

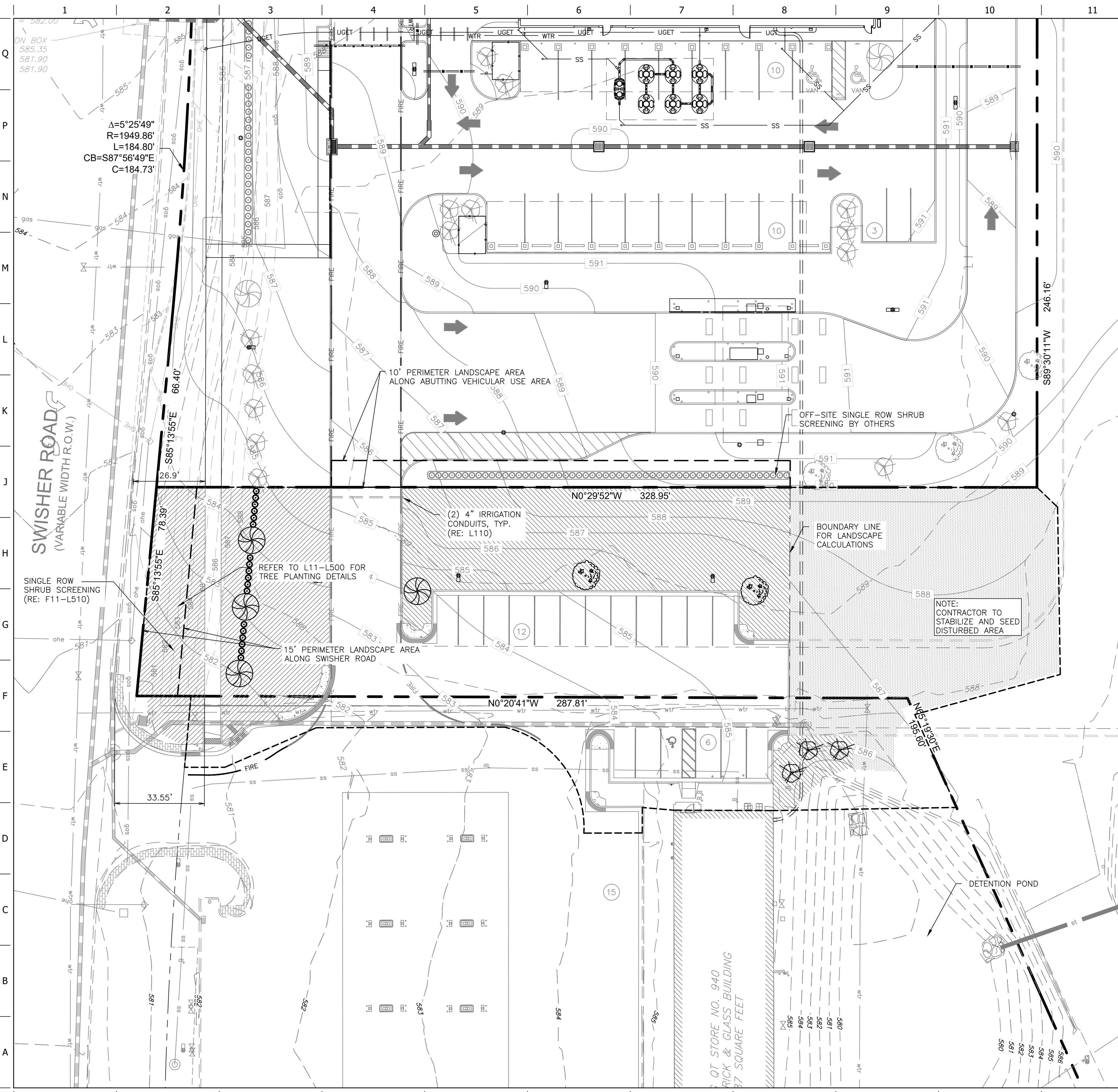
**ATTACHMENTS:**

Site Plan

Landscape Plan



FILE LOCATION: \\2016-X-QuikTrip\2016-21 01-0940 Lake Dallas TX\Civil\Production\QT-940 Store Improvements - Civil.dwg USER: july SAVVED: 3/5/2026 9:03 AM PLOTTED: 3/5/2026 9:24 AM



**Landscape Schedule**

USE	SYMBOL	COMMON NAME Botanical Name	MINIMUM SIZE/ HEIGHT/SPREAD	QUANTITIES	COMMENTS
SHRUBS	○	NEEDLE POINT HOLLY <i>Ilex Cornuta "Needle Point"</i>	HEIGHT/SPREAD RATIO = 3:2 24" X 30" HT MIN	18	SEE LANDSCAPE PLAN AND ASSOCIATED DETAILS FOR LANDSCAPE BED LOCATIONS AND SHRUB SPACING
FRONTAGE TREES	⊗	CRAPE MYRTLE <i>Lagerstroemia Indica</i>	3" CALIPER (TOTAL) 7' HT MIN	3	SEE LANDSCAPE PLAN AND ASSOCIATED DETAILS FOR TREE PLACEMENT, AND PLANTING SPECIFICATIONS
	⊗	SHUMARD RED OAK <i>Quercus shumardii (SOUTHERN VARIETY)</i>	2" CALIPER 7' HT MIN	4	CONTRACTOR TO VERIFY TREE TYPE, LOCATION, SIZE, HEIGHT, AND SPREAD WITH QT REPRESENTATIVE PRIOR TO INSTALLATION
FILL TREES	⊗	TEXAS ASH <i>Fraxinus Texensis</i>	2" CALIPER 7' HT MIN	2	
MISC		TIFWAY 419 BERMUDA SOD		12,107 S.F.	
		BERMUDA SEED		±8,522 S.F.	

**LANDSCAPE REQUIREMENTS**

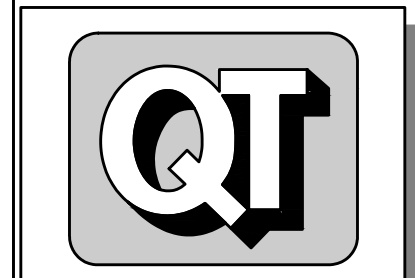
	REQUIRED ORDINANCE	PROVIDED
122-1228. MINIMUM REQUIREMENTS FOR OFF-STREET PARKING AND VEHICULAR USE AREAS	(1) INTERIOR LANDSCAPING A minimum of ten percent of the gross parking areas shall be devoted to living landscaping which includes grass, ground cover, plants, shrubs and trees. Gross parking area is to be measured from the edge of the parking and/or driveway paving and sidewalks.	GROSS PARKING AREA = 7,942 SF REQUIRED LANDSCAPING = 794 SF = 10% PROVIDED LANDSCAPING = 5,010 SF = 25.39%
	a. Interior landscape areas shall be protected from vehicular encroachment of overhanging through appropriate wheel stop or curbs.	PROVIDED CURBS
	b. There shall be a minimum of one tree planted for each 400 square feet or fraction thereof of required interior landscape area.	TREES REQUIRED = 5 TREES PROVIDED = 6
122-1229. MINIMUM REQUIREMENTS FOR NONVEHICULAR OPEN SPACE	c. Interior areas of parking lots shall contain planting islands located so as to best relieve the expense of paving. Planter islands must be located no further apart than every 12 parking spaces and at the terminus of all rows of parking. Such islands shall contain at least one tree. The remainder shall be landscaped with shrubs, lawn, ground cover and other appropriate material not to exceed three feet in height. Interior planter islands shall have a minimum size of 10 by 20 feet.	PROVIDED MAXIMUM ROW LENGTH = 12 SPACES PROVIDED 2 ROWS OF PARKING TREES REQUIRED IN PARKING ISLANDS = 4 TREES PROVIDED IN PARKING ISLANDS = 6
	(2) PERIMETER LANDSCAPING	
	a. Whenever an off-street parking or vehicular use area abuts a public right-of-way, a perimeter landscape area of at least 15 feet in depth shall be maintained between the abutting right-of-way and the off-street parking or vehicular use area. An appropriate landscape screen or barrier shall be installed in this area, and the remaining area shall be landscaped with at least grass or other ground cover.	PROVIDED 15' LANDSCAPE BUFFER ALONG SWISHER ROAD
122-1229. FOR NONVEHICULAR OPEN SPACE	b. Whenever an off-street parking or vehicular use area abuts an adjacent property line, a perimeter landscape area of at least ten feet in width shall be maintained between the edge of the parking area and the adjacent property line. Landscaping shall be designed to visually screen the parking area.	OTHERS TO PROVIDE 10' LANDSCAPE BUFFER ALONG NEIGHBORING PROPERTY
	c. Perimeter landscape areas shall contain at least one tree for each 50 lineal feet or fraction thereof of perimeter area.	78 LF OF BUFFER PERIMETER = 2 TREES REQ. PROVIDED 3 TREES TOTAL IN BUFFER
	(1) Grass, ground cover, shrubs and other landscape materials shall be used to cover all open ground within 20 feet of any building or paving or other use such as storage.	PROVIDED
122-1229. FOR NONVEHICULAR OPEN SPACE	(2) All structures shall be treated with landscaping so as to enhance the appearance of the structure and to screen any detractive or unsightly appearance.	NO UNSIGHTLY FEATURES PROPOSED
	(3) Landscaping shall be provided on each developed lot in accordance with the following standards: a. In all residential zoning districts, a minimum of 15 percent of the total site area shall be devoted to feature landscaping, with not less than 50 percent of the landscaping being located in the required front yard.	TOTAL SITE AREA = 18,824 SF LANDSCAPING REQUIRED = 2,824 SF = 15% LANDSCAPING PROVIDED = 10,882 SF = 57.81% LANDSCAPING REQUIRED IN FRONT = 1,672 SF LANDSCAPING PROVIDED IN FRONT = 4,833 SF ALL REQUIRED LANDSCAPING IN FRONT YARD
	(4) Trees shall be planted in non-vehicular open space to meet the following requirements.	10,882 SF/2,500 SF/TREE = 3 TREES REQUIRED
	% OF SITE IN NONVEHICULAR OPEN SPACE: 57.81% TREE RATIO PER OPEN SPACE: 1 TREE / 4,000 SF	PROVIDED 7 TREES IN NON-VEHICULAR OPEN AREAS, 3 TREES OFF-SITE



Vilbig and Associates PLLC  
 Consulting Engineers and Surveyors  
 Texas Engineering Firm # F-5614  
 Texas Surveying Firm # 10033000  
 www.vilbig.com  
 PROJECT NO.: 2016-21

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DIVISION:	
VERSION:	001
DESIGNED BY:	
DRAWN BY:	
REVIEWED BY:	

REV	DATE	DESCRIPTION

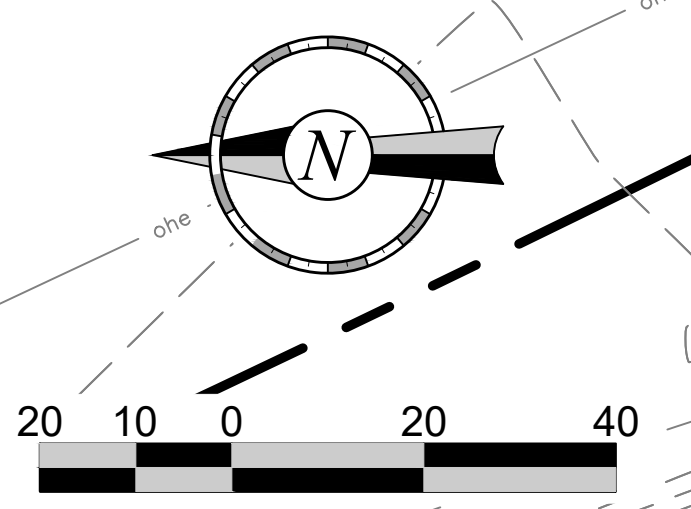
SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

L100

ORIGINAL ISSUE DATE:





**P&Z COMMISSION  
AGENDA MEMO**

**Prepared By: Marisa Brewer, AICP, City Planning Consultant**

**April 16, 2026**

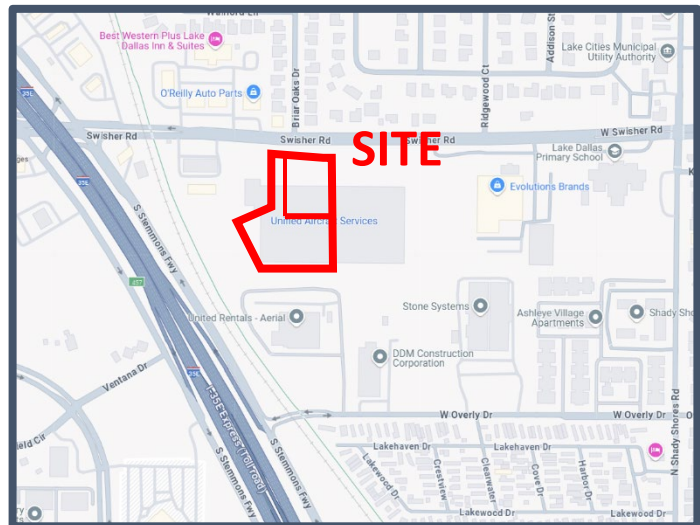
Consider and take appropriate action on the Site Plan for Lot 2, Block A of Swisher Road Industrial Addition for a QT Bubble Bath Carwash, consisting of +/- 1.8 acres of land situated in the J.W Simmons Survey, Abstract No.1162, of the City of Lake Dallas, Denton County, Texas.

**DESCRIPTION:**

Planning and Zoning Commission shall consider the Site Plan for a proposed car wash on Lot 2, Block A of Swisher Road Industrial Addition, consisting of +/- 1.8 acres of land located at 250 Swisher Road Lake Dallas, TX 75065.

**BACKGROUND INFORMATION:**

The subject property has an existing zoning of C-2, which allows for Car Washes as a permitted use. The applicant proposes the development of a 4,326 square-foot QT Bubble Bath Car Wash, with an approximate building height of 40 feet and a tunnel length of 120 feet, to be located off Swisher Road. Vehicular access to the site will be provided from Swisher Road. The adjacent Swisher Industrial property, which is currently under construction, will include a deceleration lane that will serve both developments and facilitate safe access to each site.



The car wash will feature three inbound stacking lanes at the point of entry, which merge into a single lane before entering the wash tunnel. The site will also provide 19 vacuum-equipped parking bays for customer use.

Cross-access will be provided between the subject site, the Swisher Industrial development, and the adjacent QT gas station via a shared access easement. Along the front property line, the development includes a six-foot-wide sidewalk and a 15-foot perimeter landscape buffer to enhance pedestrian connectivity and site screening.

The proposed site plan meets the development standards of the Code of Ordinances.

**RECOMMENDED MOTIONS:**

**The City P&Z Commission can:**

**RECOMMEND APPROVAL** the Site Plan for Lot 2, Block A of Swisher Industrial Addition for a QT Bubble Bath Carwash.

OR

**RECOMMEND APPROVAL WITH CONDITIONS** the Site Plan for Lot 2, Block A of Swisher Industrial Addition for a QT Bubble Bath Carwash, with the following conditions: *[list requirements of the Code of Ordinances which must be satisfied]*

OR

**RECOMMEND DENIAL** the Site Plan for Lot 2, Block A of Swisher Industrial Addition for a QT Bubble Bath Carwash, due to noncompliance with City's Code of Ordinances: *[list requirements of the Code of Ordinances that were not met]*

**ATTACHMENTS:**

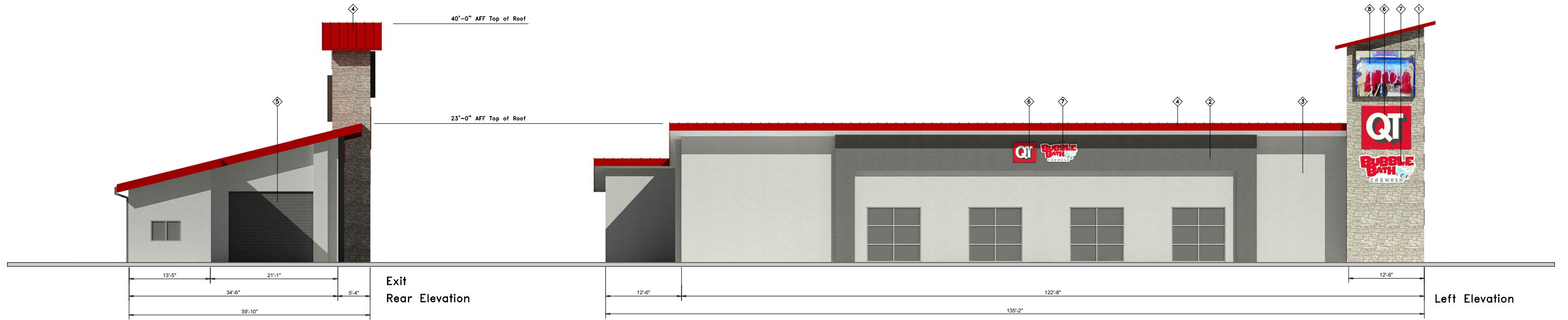
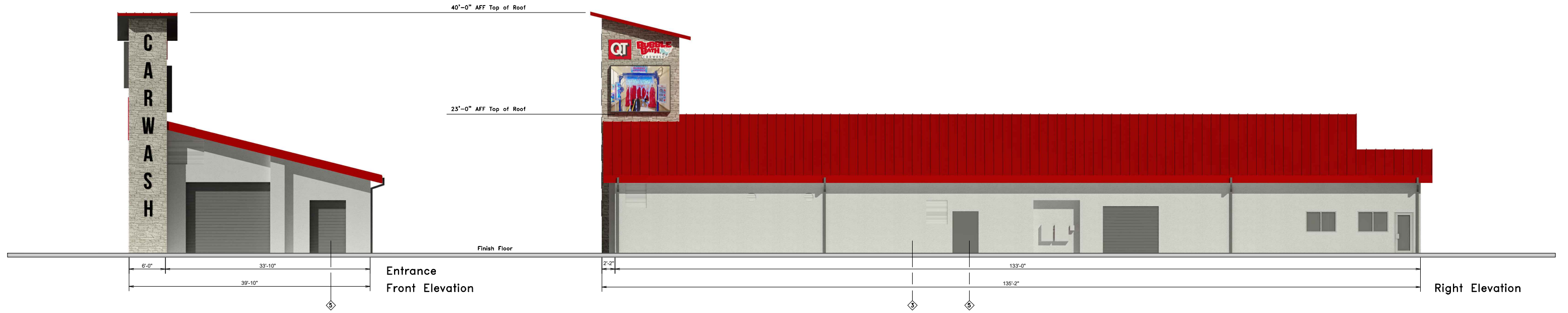
Site Plan

Landscape Plan

Elevations







Store # 00000	Bubble Bath Car Wash	Address: Address	City, State: City, State
Serial # 0000-00000-BB	Scale: 1/16"=1'-0"	Issue Date: 01.31.25	Drawn By: JK

Rev/Notes:

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FINISH	MANUFACTURER	SPECIFICATION
1 ALMOND TAUPE	QUALITY STONE VENEER	STONE VENEER
2 AFRICAN GRAY	STO	A100G EIFS
3 ICICLE	STO	A100G EIFS
4 QT RED	SHERWIN-WILLIAMS	STANDING SEAM AWNING
5 GRAY	SHERWIN-WILLIAMS	METAL PAINT
6 QT BUTTON	ALLEN INDUSTRIES	NON-ILLUMINATED SIGNAGE
7 BUBBLE BATH SIGN	AETNA	NON-ILLUMINATED SIGNAGE
8 DIGITAL SIGN		



**Aluminum** - Tubelite  
Entry Door/Window Frame



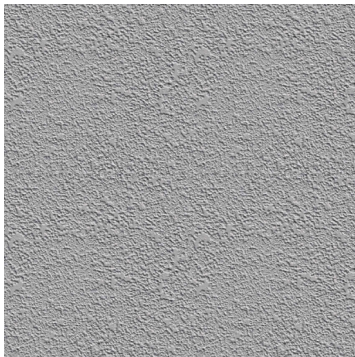
**GRAY Metal Paint** -  
Bay Doors/Service Doors/Downspouts



QT BubbleBath  
Material Samples  
Prepared by: QuikTrip



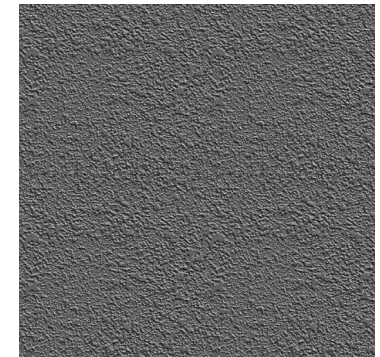
**RED Metal Paint** -  
Roof



**EIFS - ICICLE**  
STO - A100G - Building



**Stacked Stone** - Almond Taupe -  
Quality Stone Veneer - Building Tower  
Physical Sample to be provided by Manufacturer



**EIFS - AFRICAN GRAY**  
STO - A100G - Building