



**Planning and Zoning Commission  
Regular Meeting  
212 Main Street  
City of Lake Dallas, Texas 75065  
Thursday, May 15, 2025, at 6:00 p.m.  
Agenda**

**1. Call to Order and Determination of Quorum**

**2. Pledges of Allegiance**

**3. Citizen Agenda & Public Comment**

An opportunity for citizens to address the Planning & Zoning Commission on matters which are not scheduled for consideration by the Planning & Zoning Commission. Speakers will be limited to five (5) minutes each. The Texas Open Meeting Act prohibits deliberation by the Planning & Zoning Commission of any subject which is not on the posted agenda, therefore the Planning & Zoning Commission will not be able to discuss or take any action on items brought up during the citizen presentations that are not on the agenda.

**4. Consider and take appropriate action on the Amending Plat and associated Construction Plans for Lot 1- A Block 14 of the Town of Garza being 0.427 acres in the Mary R. Wright Survey A-1355 City of Lake Dallas, Denton County, Texas.**

**5. Training on Planning and Zoning Commission members.**

**6. Announcements and requests for future agenda items.**

**7. Adjourn.**

I certify that the above notice of this meeting was posted on the bulletin board at City Hall of the City of Lake Dallas, Texas on or before May 12, 2025, at 5:00 p.m.

*Codi Delcambre*

Codi Delcambre, City Secretary

If you plan to attend this public meeting and you have a disability that requires special arrangements at this meeting, please contact City Secretary's Office at (940) 497-2226 ext. 102 or fax (940) 497-4485 at least two (2) working days prior to the meeting so that appropriate arrangements can be made.



**P&Z COMMISSION  
AGENDA MEMO**

Prepared By: Randi Rivera, AICP, City Planning Consultant

May 15, 2025

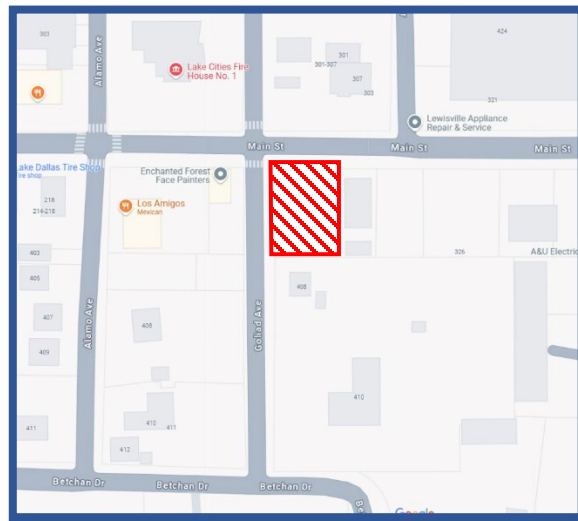
Consider and take appropriate action on the Amending Plat and associated Construction Plans for Lot 1- A Block 14 of the Town of Garza being 0.427 acres in the Mary R. Wright Survey A-1355 City of Lake Dallas, Denton County, Texas.

**DESCRIPTION:**

Planning and Zoning Commission shall consider the Amending Plat and Construction Plans for 312 Velez Mixed Use located at 312 Main Street Lake Dallas, TX 75065, to construct a two story residential/retail building and associated parking.

**BACKGROUND INFORMATION:**

The property at 312 Main St, TX 75065, Lake Dallas, consists of vacant land. The applicant is proposing a two story, 12,336 square-foot, mixed-use building with retail and restaurants on the first floor and four residential lofts on the second floor. The development will have direct access off Main Street and Goliad Avenue. There will be 10 onstreet parking spaces along Main Street and additional parking to the rear of the property. A five foot sidewalk will be extended along the Main Street frontage, between the parking and the building front.



On March 13, 2025, the request to rezone the property from C3 to a Planned Development District with a base zoning of C3 was approved by the City Council for this development. The proposed site plan is in conformance with the standards outlined in the approved PD, as well as other applicable City regulations.

**RECOMMENDED MOTIONS:**

**The P&Z Commission can:**

**RECOMMEND APPROVAL** of the Amending Plat for Lot 1-A Block 14 of Town of Garza Addition, for the Velez Mixed Use project and associated construction plans.

OR

**RECOMMEND APPROVAL WITH CONDITIONS** for the Amending Plat for Lot 1-A, Block 14 of the Town of Garza Addition for the Velez Mixed Use project and associated construction plans, with the following conditions: *[insert requirements of the Code of Ordinances which must be satisfied to approve said plat]*

OR

**RECOMMEND DENIAL** of the Amending Plat for Lot 1-A Block 14 of the Town of Garza Addition for the Velez Mixed Use development and associated construction plans, due to following requirements not being met: *[insert requirements of the Code of Ordinances that were not met]*

**ATTACHMENTS:**

Amending Plat

Site Plan

Landscape Plan

# LAKE DALLAS MIXED-USE

TWO STORY RESIDENTIAL/RETAIL BLDG  
312 MAIN STREET

LOT 1A, BLOCK 14  
LAKE DALLAS, TEXAS

## CIVIL ENGINEERING CONSTRUCTION PLANS NEW BUILDING & SITE IMPROVEMENTS

### PROJECT ADDRESS:

312 MAIN STREET  
LAKE DALLAS, TEXAS 75065

### PROPERTY LEGAL DESCRIPTION:

0.427 ACRE TRACT OF LAND, CALLED LOT 1A,  
BLOCK 14 OLD TOWN OF GARZA ADDITION IN THE  
CITY OF LAKE DALLAS, DENTON COUNTY, TEXAS

### PROPERTY OWNER:

ISABEL & LOUIS VELEZ  
101 BAIZE BOULEVARD  
HICKORY CREEK, TEXAS 75065

### PROJECT ARCHITECT

PECK ARCHITECTS  
105 WEST MAIN STREET  
LEWISVILLE, TEXAS 75057  
(972) 221-1424

### PROJECT CIVIL ENGINEER:

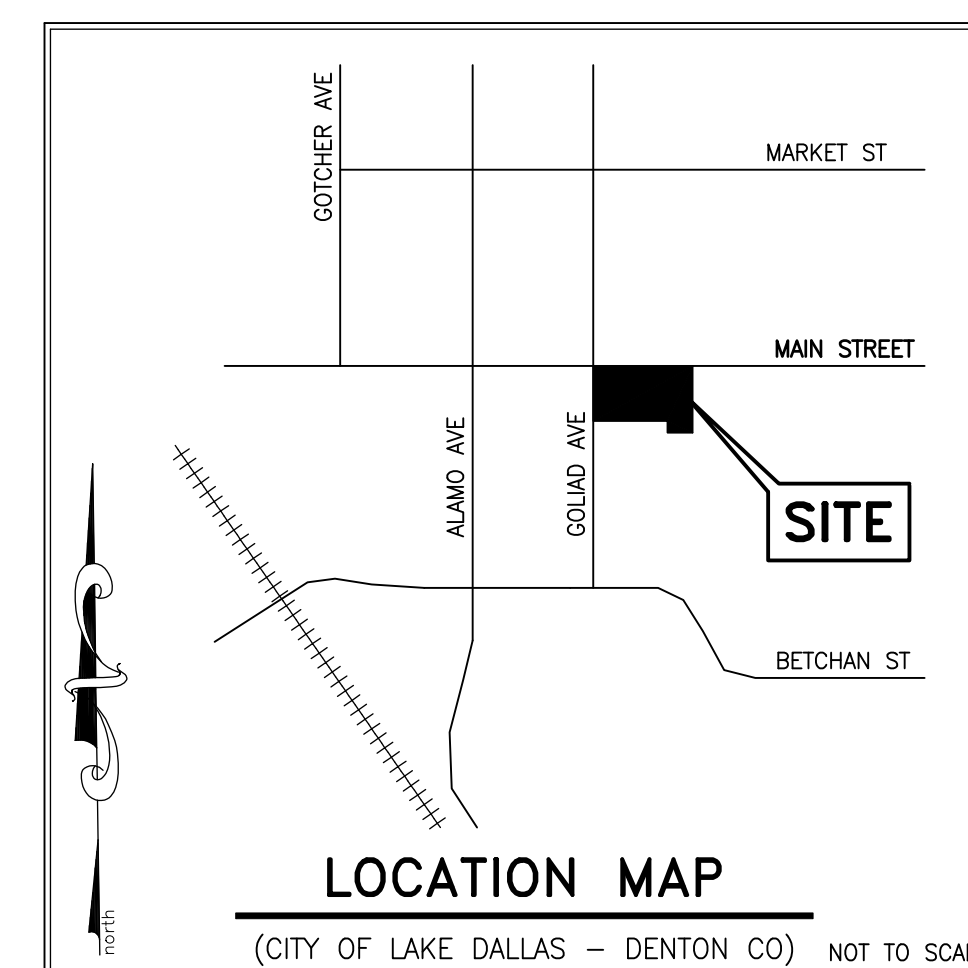
CARRERA CONSULTING ENGINEERS, INC.  
3930 MEREDITH AVENUE  
DALLAS, TEXAS 75211  
(214) 330-4771

SITE DATA SUMMARY CHART <small>project C3034 apr 2024</small>			
<b>GENERAL</b>			
TOTAL SITE GROSS AREA (LOT 1A, BLOCK 14)	18,600 S.F. (0.427 ACRES)		
CURRENT ZONING	C-3 COMMERCIAL		
ALL DEVELOPMENT SHALL COMPLY WITH THE CITY OF LAKE DALLAS DEVELOPMENT CODE.			
** REPLAT TO BE SUBMITTED CREATING A NEW SINGLE LOT 1A, BLOCK 14.			
** PLANNED DEVELOPMENT (PD) APPLICATION TO BE SUBMITTED CREATING ZONING GUIDELINES SPECIFIC TO THIS PROJECT.			
<b>PARKING ANALYSIS (NEW OFFICE/RETAIL/RESIDENTIAL BUILDING)</b>			
GROSS FLOOR AREA (MULTI-USE)	6168 S.F.		
RETAIL/PERSONAL SERVICES (6168sf AREA) - VEHICLE PARKING SPACES REQUIRED: (1/200)			
MULTI-FAMILY (4-UNITS PER LEVEL) - VEHICLE PARKING SPACES REQUIRED: (2.5/UNIT)			
RETAIL: TOTAL OFF-STREET VEHICLE PARKING SPACES REQUIRED:	6168/200 = 31 SPACES		
MULTI-FAMILY: TOTAL OFF-STREET VEHICLE PARKING SPACES REQD: (4) UNITS x 2.5 = 10 SPACES			
TOTAL OFF-STREET VEHICLE PARKING SPACES REQUIRED (20% REDUCTION): 31+10 (0.8) = 33 SPACES			
TOTAL OFF-STREET REGULAR PARKING SPACES PROVIDED:	11 SPACES		
TOTAL OFF-STREET ACCESSIBLE VEHICLE PARKING SPACES PROVIDED:	2 SPACES		
TOTAL "STREET" REGULAR PARKING SPACES PROVIDED (ALONG MAIN STREET):	8 SPACES		
TOTAL "STREET" ACCESSIBLE VEHICLE PARKING SPACES PROVIDED:	2 SPACES		
TOTAL OFF-STREET & "STREET" PARKING SPACES PROVIDED:	23 SPACES		
<b>LOT IMPERVIOUS COVERAGE SUMMARY</b>			
LOT 1A, BLOCK 14 - IMPERVIOUS AREA (NON PENETRABLE) (BUILDINGS, CONCRETE PAVEMENTS & GRAVEL PVMT)	PRE-DEV 0 SF	POST-DEV 18600 SF	
<b>BUILDING SUMMARY - GROSS FLOOR AREA</b>			
LOT 1A, BLOCK 14 - MULTI-USE BUILDING (FOUNDATION AREA)	PRE-DEV 0 SF	POST-DEV 6168 SF	
<b>BUILDING - LOT COVERAGE SUMMARY</b>			
LOT 1A, BLOCK 14 - LOT COVERAGE	PRE-DEV 0.0%	POST-DEV 33.2%	
<b>SITWORK GREEN SPACE &amp; HARDSCAPE IMPROVEMENTS</b>			
GREEN SPACE (PERMEABLE SURFACE)	18600 SF	1428 SF	
CONCRETE PAVEMENT AND SIDEWALKS & GRAVEL PVMT	0 SF	17172 SF	

### SCOPE OF WORK

#### LOT 1A, BLOCK 14 - OLD TOWN OF GARZA ADDITION

SCOPE OF WORK CONSISTS OF CONSTRUCTING A NEW 6111sf 2-STORY RESIDENTIAL/RETAIL BUILDING WITH SITE IMPROVEMENTS SITUATED ON A PLATTED LOT (0.427 ACRE). THE TOTAL LAND AREA DISTURBED FOR THIS PROJECT WILL NOT EXCEED MORE THAN 1 ACRE OF LAND.



### INDEX OF DRAWINGS

SHEET No.	SHEET TITLE
C000	COVER SHEET - CIVIL ENGINEERING CONSTRUCTION PLANS
C001	PLAT (LOT 1A, BLOCK 14)
C100	EXISTING CONDITIONS AND SITE DEMOLITION PLAN
C101	SITE PLAN
C102	UTILITY SITE PLAN
C103	PAVING PLAN
C104	DRIVEWAY VISIBILITY TRIANGLES & OVERALL CONCRETE PAVEMENT PLAN
C200	DIMENSION CONTROL PLAN
C300	EROSION CONTROL PLAN & DETAILS
C400	GRADING PLAN
C500	PRE-DEVELOPED DRAINAGE AREA PLAN & CALCULATIONS
C501	POST-DEVELOPED DRAINAGE AREA PLAN & CALCULATIONS
C600	CIVIL ENGINEERING SITWORK NOTES AND DETAILS
C601	SITWORK AND PAVING DETAILS
LS1	LANDSCAPE PLAN
LS2	LANDSCAPE DETAILS
IR1	IRRIGATION METERS & SLEEVES EXHIBIT
IR-SD1	IRRIGATION DETAILS
IR-SD2	IRRIGATION DETAILS
n/a	LCMUA SANITARY SEWER DETAILS - SHEET 1
n/a	LCMUA SANITARY SEWER DETAILS - SHEET 2
n/a	LCMUA EMBEDMENT DETAILS
n/a	LCMUA WATER DETAILS - SHEET 1
n/a	LCMUA WATER DETAILS - SHEET 2

### NOTE:

THE CIVIL ENGINEERING DESIGN SHOWN HEREIN THESE PLANS FOR THIS PROJECT IS BASED ON ISSUANCE OF A CITY OF LAKE DALLAS PLANNED DEVELOPMENT (PD) APPROVING ALL CURRENT ZONING (C-3 COMMERCIAL) NON-COMPLIANT ITEMS SHOWN ON THESE PLANS.

CARRERA consulting engineers, inc.  
Structural, Civil, & Construction Engineering  
Texas Board of Professional Engineers Firm Registration No. F-8354  
3930 Meredith Avenue Dallas, Texas 75211 o (214) 330-4771 f (214) 330-2167



CIVIL ENGINEERING CONSTRUCTION PLANS  
LAKE DALLAS MIXED-USE  
LOT 1A, BLOCK 14  
312 Main Street Lake Dallas, Texas 75065

DATE	REVISION	DESCRIPTION
24oct2024	Revision A	Per City Review Comments
21mar2025	Revision B	Per City Review Comments
25apr2025	Revision C	Per City Review Comments

DATE: mar 2024  
PROJECT No: C-3034  
DRAWN BY: CCEI

SHEET No.  
C000  
REVISION C

april 2024

PUBLIC SQUARE  
TOWN OF GARZA  
VOL. 75, PG. 130  
D.R.D.C.T.

LOT 6, BLOCK 10  
TOWN OF GARZA  
VOL. 75, PG. 130  
D.R.D.C.T.

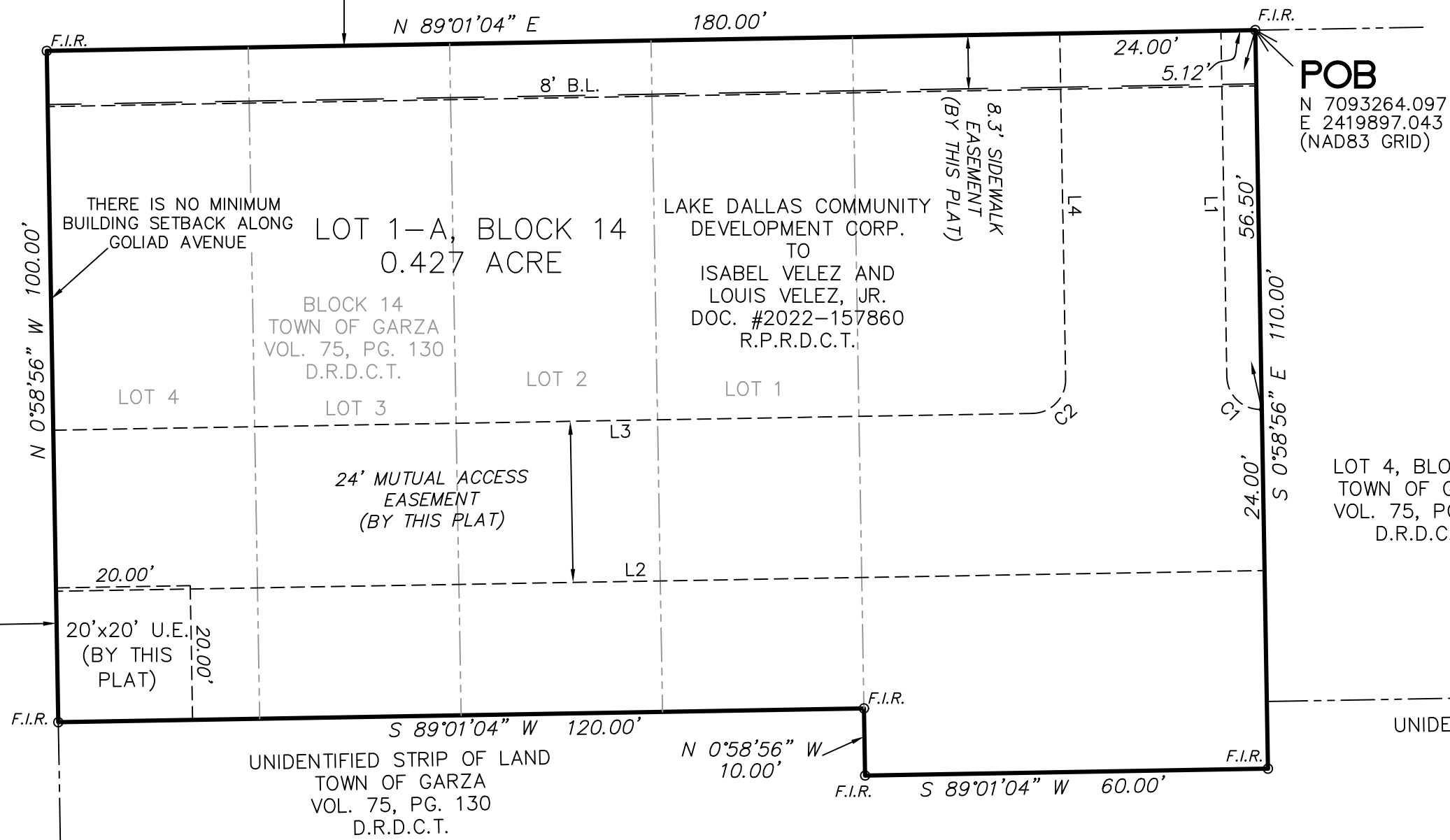
LOT 4, BLOCK 9  
TOWN OF GARZA  
VOL. 75, PG. 130  
D.R.D.C.T.

FALCON DRIVE  
(60' R.O.W.)  
PLAT CALLS SAN  
JACINTO AVENUE  
VOL. 75, PG. 130  
D.R.D.C.T.

MAIN STREET  
(60' R.O.W.)  
VOL. 75, PG. 130  
D.R.D.C.T.

LOT 1, BLOCK 13  
TOWN OF GARZA  
VOL. 75, PG. 130  
D.R.D.C.T.

GOLIAD AVENUE  
(60' R.O.W.)  
VOL. 75, PG. 130  
D.R.D.C.T.



POB  
N 7093264.097  
E 2419897.043  
(NAD83 GRID)

NUM	BEARING	DISTANCE
L1	S 0°58'56" E	51.50'
L2	S 89°01'04" W	180.00'
L3	N 89°01'04" E	145.87'
L4	N 0°58'56" W	51.50'

NUM	DELTA	ARC	RADIUS	BEARING	DISTANCE
C1	90°00'00"	7.85'	5.00'	S 45°58'56" E	7.07'
C2	90°00'00"	7.85'	5.00'	N 44°01'04" E	7.07'

OWNER'S CERTIFICATE AND DEDICATION

STATE OF TEXAS  
COUNTY OF DENTON; WHEREAS WE, Isabel Velez and Louis Velez, Jr. are the owners of that certain lot, tract, or parcel of land situated in the M. Wright Survey Abstract Number 1355 in the City of Lake Dallas, Denton County, Texas, being all of Lots 1, 2, 3 and 4, Block 14 of the Town of Garza, an addition to the City of Lake Dallas, Denton County, Texas, according to the plat thereof recorded in Volume 75, Page 130, Deed Records, Denton County, Texas, and being all that certain tract of land conveyed by deed from Lake Dallas Community Development Corporation to Isabel Velez and Louis Velez, Jr. recorded under Document Number 2022-157860, Real Property Records, Denton County, Texas and being more particularly described as follows:  
BEGINNING at a capped iron rod marked RPLS 4561 found for corner in the south line of Main Street, a public roadway having a right-of-way of 60.0 feet, said point being the northwest corner of Lot 4 in Block 15 of said Town of Garza;  
THENCE S 00° 58' 56" E, 110.00 feet with the west line of said Lot 4, Block 15 to a capped iron rod marked RPLS 4561 set for corner in an unidentified strip of land shown on the plat of said Town of Garza;  
THENCE S 89° 01' 04" W, 60.00 feet with said unidentified strip of land to a capped iron rod marked RPLS 4561 set for corner;  
THENCE N 00° 58' 56" W, 10.00 feet with said unidentified strip to a capped iron rod marked RPLS 4561 set for corner in the north line of said unidentified strip of land;  
THENCE S 89° 01' 04" W, 120.00 feet with said north line of said unidentified strip of land to an iron rod found for corner in the east line of Goliad Avenue, a public roadway having a right-of-way of 60.0 feet;  
THENCE N 00° 58' 56" W, 100.00 feet with said east line of said Goliad Avenue to a capped iron rod marked RPLS 4561 set for corner in said south line of said Main Street;  
THENCE N 89° 01' 04" E, 180.00 feet with said south line of said Main Street to the PLACE OF BEGINNING and containing 0.427 acre of land.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS THAT WE, the aforesaid do hereby adopt this plat designating the herein above tract as LOT 1-A, BLOCK 14, TOWN OF GARZA, Amending Lots 1 through 4, Block 14 of The Town of Garza, being 0.427 acre in the Mary R. Wright Survey Abstract Number 1355, an addition to the City of Lake Dallas, Denton County, Texas, and do hereby dedicate to the public use forever all utility easements, drainage easements, and streets as shown hereon. All and any public utilities shall have the full right to remove and keep removed all growths which may endanger or interfere with the construction, maintenance, or efficiency of its respective system on the utility easement for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, adding to, or removing all or part of its respective systems without the necessity at any time of procuring the permission of anyone.

WITNESS MY HAND this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Isabel Velez

BEFORE ME, the undersigned authority, on this day personally appeared Isabel Velez, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged that she executed the same for the purposes and considerations and in the capacity therein stated.  
Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

NOTARY PUBLIC, Denton County, Texas

WITNESS MY HAND this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Louis Velez, Jr.

BEFORE ME, the undersigned authority, on this day personally appeared Louis Velez, Jr., known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged that she executed the same for the purposes and considerations and in the capacity therein stated.  
Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

NOTARY PUBLIC, Denton County, Texas

APPROVED AND ACCEPTED

The City hereby approves this Plat for recording.  
Approved this \_\_\_\_\_ day of \_\_\_\_\_, A. D. 2024.

Director of Development Services  
City of Lake Dallas

City Secretary

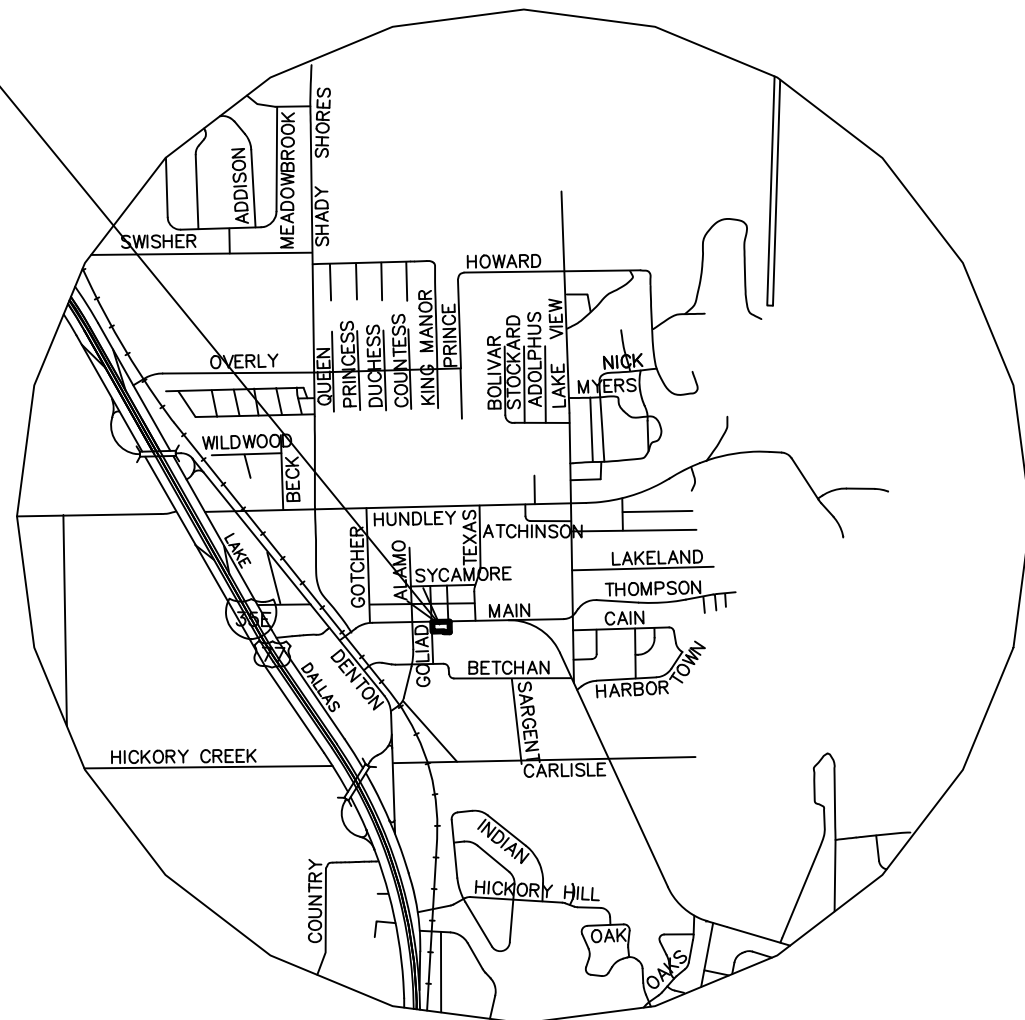
City Manager

CERTIFICATE OF SURVEYOR

I, the undersigned, a registered professional land surveyor in the State of Texas, do hereby certify that this plat is true and correct and was prepared from an actual survey of the property made under my supervision on the ground.

Jerald D. Yensan  
Registered Professional Land Surveyor No. 4561

PROJECT LOCATION



VICINITY MAP  
SCALE 1" = 2000'



NOTES:

- The purpose of this Plat is to combine multiple platted lots into a single platted lot.
- All monuments are capped 1/2" steel rods unless otherwise noted and are tied to the existing lots of record as noted in the legal description of the dedication of this plat.
- All building setbacks and public open space easements shall conform to current City Subdivision Ordinances and Zoning Regulations if new construction is applied for.
- Basis of bearings is the State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983, as determined from GPS observations.
- There are no existing or proposed public utility easements or storm drain easements.
- Any franchised or authorized public utility, including the City of Lake Dallas, shall have the right to move and keep moved all or part of any building, fences, trees, shrub, other growth or improvements which in any way endangers or interferes with the construction, maintenance, or efficiency of its respective systems in any of the easements shown on a plat. Any public utility, including the City of Lake Dallas, shall have the right at all times of ingress and egress to and from and upon such easements for the purpose of construction, reconstruction, inspection, patrolling, maintaining and adding to or removing all or part of its respective systems without the necessity at any time, of procuring the permission of anyone.
- All tree removal must abide by the tree preservation and mitigation plan on file with the City of Lake Dallas Planning Department if such plan exists.

LEGEND  
B.L. = BUILDING LINE  
D.E. = DRAINAGE EASEMENT  
F.I.R. = FOUND IRON ROD  
S.I.R. = SET CAPPED 1/2" RPLS 4561 IRON ROD  
P.U.E. = PUBLIC UTILITY EASEMENT  
P.A.E. = PUBLIC ACCESS EASEMENT  
U.E. = UTILITY EASEMENT  
W.E. = WATER EASEMENT  
P.O.S.E. = PUBLIC OPEN SPACE EASEMENT

OWNER/DEVELOPER  
VELEZ LD INVESTMENTS, LLC.  
ISABEL VELEZ  
4405 TREE HOUSE LANE  
CORINTH, TX 76208

SURVEYOR  
LANDMARK SURVEYORS  
4238 I-35 N  
DENTON, TEXAS 76207  
(940) 382-4016

AMENDING PLAT  
LOT 1-A, BLOCK 14 OF THE TOWN OF GARZA  
AMENDING LOTS 1-4, BLOCK 14  
OF THE TOWN OF GARZA  
BEING 0.427 ACRE IN THE  
MARY R. WRIGHT SURVEY A-1355  
CITY OF LAKE DALLAS  
DENTON COUNTY, TEXAS

4238 I-35 NORTH  
DENTON, TEXAS 76207  
(940) 382-4016  
(940) 382-9784  
TX FIRM REGISTRATION NO. 10098600  
REVISED: 17 DECEMBER, 2024

**LANDMARK SURVEYORS, L.L.C.**

DRAWN BY: BTH SCALE: 1"=20' DATE: 01 APRIL, 2024 JOB NO: 247343

0.52 ACRE BLOCK  
CITY LAKE DALLAS  
OLD TOWN OF GARZA  
VOL 75, PG 130  
D.R.D.C.T.

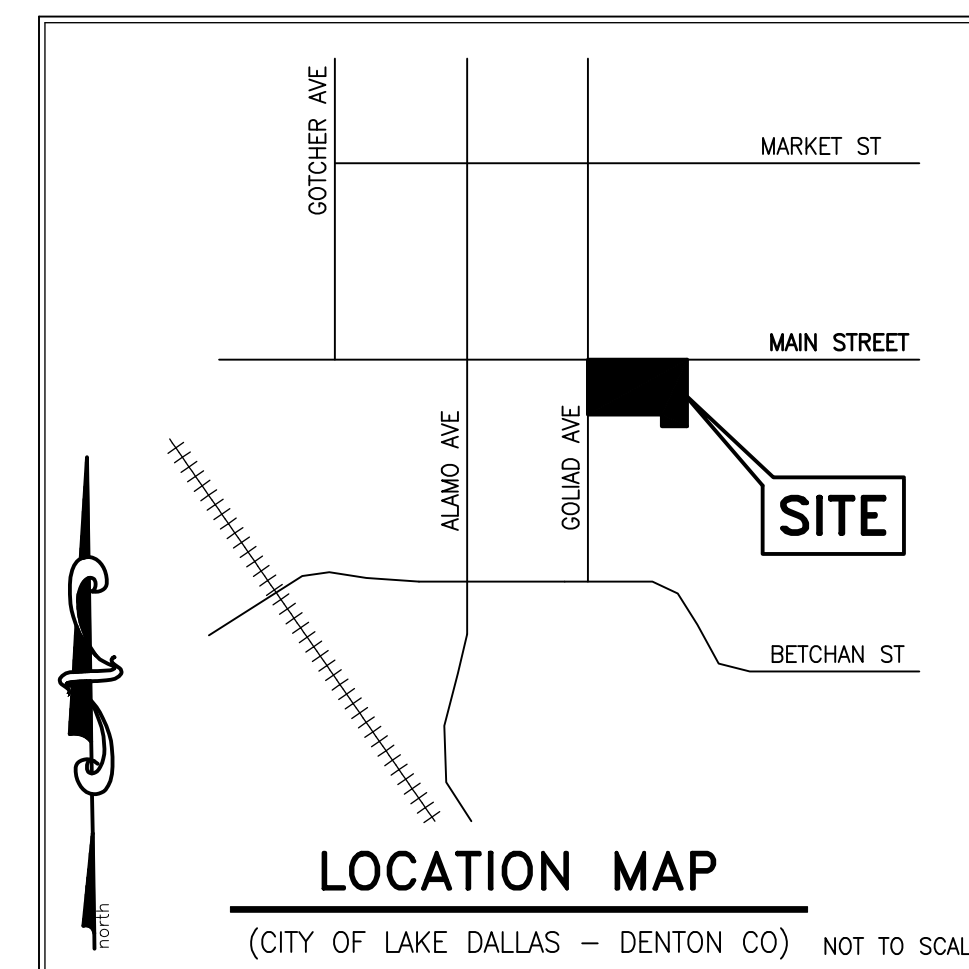
LOTS 1-6, BLOCK 10  
301 MAIN STREET LAKE DALLAS LLC  
OLD TOWN OF GARZA  
VOL 75, PG 130  
D.R.D.C.T.

LOTS 4-6, BLOCK 9  
LAKE DALLAS ISD  
OLD TOWN OF GARZA  
VOL 75, PG 130  
D.R.D.C.T.

LOTS 1-2, BLOCK 13  
EARL WAYBURN WILSON ESTATE  
OLD TOWN OF GARZA  
VOL 75, PG 130  
D.R.D.C.T.

LOTS 1-4, BLOCK 14  
ISABEL & LOUIS VELEZ  
OLD TOWN OF GARZA  
VOL 75, PG 130  
D.R.D.C.T.

2.0 ACRE TRACT  
MAXINE DYSON  
OLD TOWN OF GARZA  
VOL 75, PG 130  
D.R.D.C.T.



DESCRIPTION	EXISTING	NEW (by this project)
STORM WATER DRAINAGE FLOW	→	→
GRADING CONTOUR	--- 620 ---	--- 625 ---
PAVING CONTOUR	---	--- 630 ---
SPOT ELEVATION	620.0 +	PV 620.0 •
STORM WATER DRAINAGE DIVIDE	---	---
WATER MAIN	EX. 8" WTR	NEW 8" WTR
FIRE HYDRANT	○ FH	● FH
FIRE DEPARTMENT CONNECTION (FDC)	⊕ FDC	⊕ FDC
WASTEWATER MAIN	EX. 8" WW	---
WASTEWATER MANHOLE	○ MH	○ MH
STORM WATER SEWER PIPE	---	LINE "11" - 18" RCP
STORM WATER MANHOLE	○ MH	○ MH
STORM WATER CURB INLET	---	---
TREE	---	---
POWER POLE WITH OVERHEAD ELEC LINE (OHE)	PP OHE	PP OHE

MARK	DESCRIPTION	ELEV.	NORTHING-Y	EASTING-X
TBM1	CHISELED SQUARE IN CORNER OF STORMWATER SEWER CURB INLET AT THE NORTH SIDE OF MAIN STREET, WEST OF FALCON DRIVE	578.74		
CM1	1/2" CAPPED IRON ROD FOUND AT NORTHWEST PROP CORNER			

- GENERAL PLAN NOTES - C100**
- SEE SHEET C600 FOR GENERAL CIVIL ENGINEERING NOTES & SHEET C601 FOR SITEMARK DETAILS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY AND MARK THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY.
  - ALL WORK SHALL BE DONE TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THESE DRAWINGS. BASIC HORIZONTAL AND VERTICAL CONTROL POINTS, ESTABLISHED BY THE ENGINEER ARE SHOWN ON THESE PLANS. THESE POINTS SHALL BE USED AS DATUM FOR WORK UNDER THIS PROJECT. ALL ADDITIONAL SURVEY, LAYOUT, OR MEASUREMENT WORK SHALL BE PERFORMED BY THE CONTRACTOR AS A PART OF THE WORK UNDER THIS CONTRACT.
  - THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITY LINES, PAVING, DRIVEWAYS, CURBS, WALKS, STEPS, RETAINING WALLS, FENCES, IRRIGATION SYSTEMS, AND OTHER SURFACE AND SUBSURFACE STRUCTURES, TOGETHER WITH ALL SOIL AND SHRUBS AFFECTED BY HIS CONSTRUCTION OPERATIONS. RESTORATION OF ALL DAMAGED PROPERTY TO ITS ORIGINAL CONDITION SHALL BE PERFORMED BY AND AT THE EXPENSE OF THE CONTRACTOR.
  - THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE JOB SITE AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY OMISSIONS, DISCREPANCIES, OR DIMENSIONAL ERRORS PRIOR TO BEGINNING OR FABRICATING ANY WORK, OTHERWISE THE CORRECTIONS (AND ASSOCIATED COSTS) WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - ALL DEMOLITION AND EXCAVATED MATERIALS SHALL BE LEGALLY DISPOSED OFF THE SITE BY THE GENERAL CONTRACTOR.
  - IN THE EVENT THAT UNHARNED UTILITIES OR OTHER UNFORESEEN FIELD CONDITIONS REQUIRE MODIFICATIONS OF THE DRAWINGS, THE CONTRACTOR SHALL OBTAIN THE APPROVAL OF THE OWNER'S REP BEFORE PROCEEDING WITH THE WORK.
  - CONSTRUCTION ACTIVITY SHALL CONFORM TO ALL CITY OF LAKE DALLAS AND LCMUA REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL APPLICABLE PERMITS FOR THIS PROJECT (INCLUDING R.O.W.).
  - ROUGH GRADING SHALL BE PERFORMED PRIOR TO CONSTRUCTION OF UTILITIES.

**NOTE**  
ADJUST ALL TOP OF MANHOLE COVERS, VALVE COVERS, AND METER CAN COVERS AS REQUIRED FOR NEW PAVEMENT

REMOVE 126'± OF EXISTING CONCRETE PAVEMENT, CURB/GUTTER & SIDEWALK (CROSS HATCHED) BY THRU SAWCUT FOR NEW CONC CURB/SIDEWALK (SEE SHT C101)

REMOVE & REPLACE AS REQUIRED EXISTING BRICKWORK FOR NEW CONC PAVEMENT INCLUDING DRIVE APPROACH. REPLACE WITH EXISTING COLOR & STYLE.

REMOVE 50'± EX. CONC PAVEMENT BY THRU SAWCUT FOR NEW CONC CURB/APPROACH. (SEE SHT C101)

REMOVE 0.5'± EX. CONC CURB BY THRU SAWCUT FOR NEW CONC CURB/GUTTER. (SEE SHT C101)

SEE DETAIL B/C103 FOR NEW PAVEMENT CONNECTION TO EXISTING ASPHALT PAVEMENT

REMOVE 100'± OF EXISTING ASPHALT PAVEMENT (CROSS HATCHED) BY THRU SAWCUT FOR NEW CONC CURB/GUTTER AND CONC APPROACH (SEE SHT C101)

**BUILDING SETBACK LINES**  
FRONT SETBACK LINE ALONG MAIN STREET: 8.0'  
SIDE SETBACK LINES: 0.0'  
REAR SETBACK LINE: 0.0'

**NOTE**  
SEE SHEET C104 FOR OVERALL CONC PAVEMENT PLAN SHOWING LIMITS OF VARIOUS PAVEMENT SECTIONS

NOTE:  
NEW EASEMENTS SHOWN ARE PROPOSED BY PLAT.  
NOTED BUILDING SETBACK LINES ARE PROPOSED UNDER THIS PROJECT'S (PD) PLANNED DEVELOPMENT DISTRICT

- ATTENTION**
- PROVIDE ALL NECESSARY PVC PIPE SLEEVES FOR ALL IRRIGATION LINES TO INCLUDE WIRING TO CONTROL BOX IN THE BLDG ELECTRIC ROOM.
  - PROVIDE ALL NECESSARY PVC PIPE SLEEVES FOR ALL PARKING LOT LIGHT POLES TO HARD WIRE TO THE BUILDING ELECTRIC ROOM

**NOTE**  
PUBLIC RIGHT-OF-WAY, EASEMENTS, AND COMMON AREAS MUST BE STABILIZED WITH PERENNIAL VEGETATION COVER, FULLY ESTABLISHED WITH 100% COVERAGE, OR OTHER APPROVED STABILIZATION METHOD

**WARNING TO CONTRACTOR**  
UNDERGROUND UTILITIES IN THE AREA OF CONSTRUCTION. THE CONTRACTOR SHALL CALL TEXAS811 AT (811) AND DIG-TESS AT (800.395.0440) AND/OR OTHER UTILITY LOCATING SERVICES AT LEAST 48-HOURS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY.

**NOTE:**  
APPLICABLE CONTRACTORS SHALL EACH COORDINATE WITH ELECTRIC, GAS, AND TELEPHONE UTILITY COMPANIES FOR REQUIRED SERVICE TO THE BUILDING. REFERENCE ARCHITECTURAL & MEP PLANS. COORDINATE WITH OWNER'S REP.

**NOTE:**  
THE CIVIL ENGINEERING DESIGN SHOWN HEREIN THESE PLANS FOR THIS PROJECT IS BASED ON ISSUANCE OF A CITY OF LAKE DALLAS PLANNED DEVELOPMENT (PD) APPROVING ALL CURRENT ZONING (C-3 COMMERCIAL) NON-COMPLIANT ITEMS SHOWN ON THESE PLANS.

**EXISTING PAVEMENT LEGEND**

---	EXISTING CONCRETE SIDEWALK TO REMAIN
---	EXISTING ASPHALT PAVEMENT
---	EXISTING CONCRETE CURB

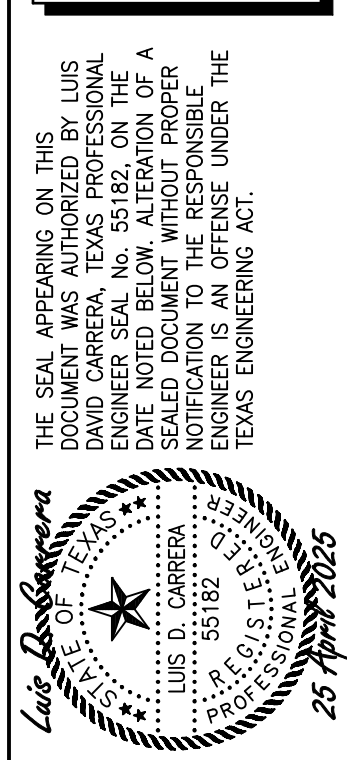
**UTILITY SYMBOLS**

⊗	GAS METER	○	STREET LAMP/POLE
⊕	WATER METER	⊕	WATER MAIN VALVE
⊗	AUTOMATIC FLUSH POINT		

**01 EXISTING CONDITIONS AND SITE DEMOLITION PLAN**

SCALE: 1" = 20'

**CARRERA consulting engineers, inc.**  
Structural, Civil, & Construction Engineering  
Texas Board of Professional Engineers Firm Registration No. F-8354  
3920 Meredith Avenue Dallas, Texas 75211 o (214) 330-4771 f (214) 330-2167



**CIVIL ENGINEERING CONSTRUCTION PLANS**  
**LAKE DALLAS MIXED-USE**  
**LOT 1R, BLOCK 14**  
Lake Dallas, Texas 75065  
312 Main Street

**EXISTING CONDITIONS AND SITE DEMOLITION PLAN**

DATE:	24oct2024	REVISION:	A - Per City Review Comments
DATE:	21mar2025	REVISION:	B - Per City Review Comments
DATE:	25apr2025	REVISION:	C - Per City Review Comments
PROJECT No:	C-3034	DRAWN BY:	CCEI
SHEET TITLE:	EXISTING CONDITIONS AND SITE DEMOLITION PLAN		

**SHEET No.**  
**C100**  
REVISION C

0.52 ACRE BLOCK  
CITY LAKE DALLAS  
OLD TOWN OF GARZA  
VOL 75, PG 130  
D.R.D.C.T.

**WARNING TO CONTRACTOR**  
UNDERGROUND UTILITIES IN THE AREA OF CONSTRUCTION.  
THE CONTRACTOR SHALL CALL TEXAS811 AT (811) AND DIG-TESS AT (800.395.0440) AND/OR OTHER UTILITY LOCATING SERVICES AT LEAST 48-HOURS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY.

LOTS 1-6, BLOCK 10  
301 MAIN STREET LAKE DALLAS LLC  
OLD TOWN OF GARZA  
VOL 75, PG 130  
D.R.D.C.T.

LOTS 4-6, BLOCK 9  
LAKE DALLAS ISD  
OLD TOWN OF GARZA  
VOL 75, PG 130  
D.R.D.C.T.

**BUILDING SETBACK LINES**  
FRONT SETBACK LINE ALONG MAIN STREET: 8.0'  
SIDE SETBACK LINES: 0.0'  
REAR SETBACK LINE: 0.0'

**NOTE**  
ADJUST ALL TOP OF MANHOLE COVERS, VALVE COVERS, AND METER CAN COVERS AS REQUIRED FOR NEW PAVEMENT

**NOTE**  
SEE SHEET C104 FOR SITE TRIANGLE AT EACH DRIVEWAY INTERSECTING GOLIAD AVE & MAIN STREET

**ATTENTION**  
1. PROVIDE ALL NECESSARY PVC PIPE SLEEVES FOR ALL IRRIGATION LINES TO INCLUDE WIRING TO CONTROL BOX IN THE BLDG ELECTRIC ROOM.  
2. PROVIDE ALL NECESSARY PVC PIPE SLEEVES FOR ALL PARKING LOT LIGHT POLES TO HARD WIRE TO THE BUILDING ELECTRIC ROOM

**NOTE**  
PUBLIC RIGHT-OF-WAY, EASEMENTS, AND COMMON AREAS MUST BE STABILIZED WITH PERENNIAL VEGETATION COVER, FULLY ESTABLISHED WITH 100% COVERAGE, OR OTHER APPROVED STABILIZATION METHOD

GENERAL PLAN LEGEND		
DESCRIPTION	EXISTING	NEW (by this project)
STORM WATER DRAINAGE FLOW		
GRADING CONTOUR		
PAVING CONTOUR		
SPOT ELEVATION	620.0 +	PV 620.0 •
STORM WATER DRAINAGE DIVIDE		
WATER MAIN	EX. 8" WTR	NEW 8" WTR
FIRE HYDRANT		
FIRE DEPARTMENT CONNECTION (FDC)	EX. 8" WW	
WASTEWATER MAIN		
WASTEWATER MANHOLE		
STORM WATER SEWER PIPE		
STORM WATER MANHOLE		
STORM WATER CURB INLET		
TREE		
POWER POLE WITH OVERHEAD ELEC LINE (OHE)		

BENCHMARKS			
MARK	DESCRIPTION	ELEV.	PROJECT C3034
TBM1	CHISELED SQUARE IN CORNER OF STORMWATER SEWER CURB INLET AT THE NORTH SIDE OF MAIN STREET, WEST OF FALCON DRIVE	578.74	
CM1	1/2" CAPPED IRON ROD FOUND AT NORTHWEST PROP CORNER		

**GENERAL PLAN NOTES - C101**

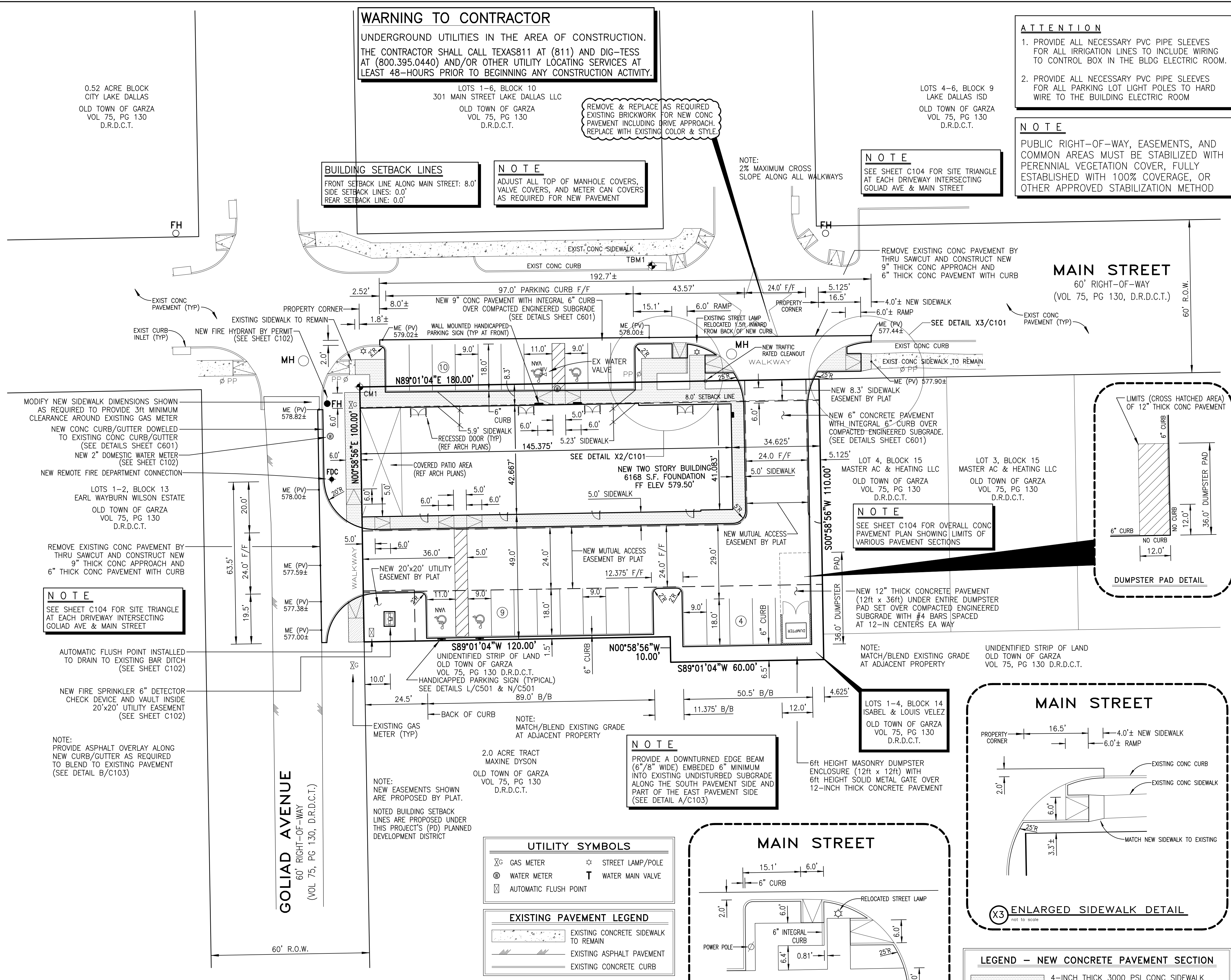
- SEE SHEET C600 FOR GENERAL CIVIL ENGINEERING NOTES, AND SHEET C601 FOR SITEWORK & PAVING DETAILS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY AND MARK THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY.
- ALL WORK SHALL BE DONE TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THESE DRAWINGS. BASIC HORIZONTAL AND VERTICAL CONTROL POINTS, ESTABLISHED BY THE ENGINEER ARE SHOWN ON THESE PLANS. THESE POINTS SHALL BE USED AS DATUM FOR WORK UNDER THIS PROJECT. ALL ADDITIONAL SURVEY, LAYOUT, OR MEASUREMENT WORK SHALL BE PERFORMED BY THE CONTRACTOR AS A PART OF THE WORK UNDER THIS CONTRACT.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITY LINES, PAVING, DRIVEWAYS, CURBS, WALKS, STEPS, RETAINING WALLS, FENCES, IRRIGATION SYSTEMS, AND OTHER SURFACE AND SUBSURFACE STRUCTURES, TOGETHER WITH ALL SOIL AND SHRUBS AFFECTED BY HIS CONSTRUCTION OPERATIONS. RESTORATION OF ALL DAMAGED PROPERTY TO ITS ORIGINAL CONDITION SHALL BE PERFORMED BY AND AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE JOB SITE AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY OMISSIONS, DISCREPANCIES, OR DIMENSIONAL ERRORS PRIOR TO BEGINNING OR FABRICATING ANY WORK, OTHERWISE THE CORRECTIONS (AND ASSOCIATED COSTS) WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL DEMOLITION AND EXCAVATED MATERIALS SHALL BE LEGALLY DISPOSED OF THE SITE BY THE GENERAL CONTRACTOR.
- IN THE EVENT THAT UNCHARTED UTILITIES OR OTHER UNFORSEEN FIELD CONDITIONS REQUIRE MODIFICATIONS TO THE DRAWINGS, THE CONTRACTOR SHALL OBTAIN THE APPROVAL OF THE OWNER'S REP BEFORE PROCEEDING WITH THE WORK.
- CONSTRUCTION ACTIVITY SHALL CONFORM TO ALL CITY OF LAKE DALLAS AND LOCAL REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL APPLICABLE PERMITS FOR THIS PROJECT (INCLUDING R.O.W.).
- ROUGH GRADING SHALL BE PERFORMED PRIOR TO CONSTRUCTION OF UTILITIES.

**ACCESSIBILITY STANDARDS**

- CONCRETE RAMPS, PARKING SIGNAGE, & RAMP HANDRAILS SHALL CONFORM WITH TEXAS ACCESSIBILITY STANDARDS ADOPTED BY THE TEXAS DEPARTMENT OF LICENSING AND REGULATION IN COMPLIANCE WITH THE TEXAS ARCHITECTURAL BARRIERS ACT, ARTICLE 9102, TEXAS CIVIL STATUTES.
- ALL ACCESSIBILITY ROUTES FOR THIS PROJECT SHALL HAVE A SLOPE NOT GREATER THAN 1:20 (5%). ACCESSIBILITY ROUTES HAVING A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP AND SHALL CONFORM WITH THE TEXAS ACCESSIBILITY STANDARDS.
- SIDEWALK CROSS SLOPE AND PATHWAY ACROSS A DRIVEWAY APPROACH SHALL NOT EXCEED 2.0% AT TIME OF ACCEPTANCE.

SITE DATA SUMMARY CHART	
<b>GENERAL</b>	TOTAL SITE GROSS AREA (LOT 1A, BLOCK 14) 18,600 S.F. (0.427 ACRES)
	CURRENT ZONING C-3 COMMERCIAL
	ALL DEVELOPMENT SHALL COMPLY WITH THE CITY OF LAKE DALLAS DEVELOPMENT CODE.
	** REPLANT TO BE SUBMITTED CREATING A NEW SINGLE LOT 1A, BLOCK 14.
	** PLANNED DEVELOPMENT (PD) APPLICATION TO BE SUBMITTED CREATING ZONING GUIDELINES SPECIFIC TO THIS PROJECT.
<b>PARKING ANALYSIS (NEW OFFICE/RETAIL/RESIDENTIAL BUILDING)</b>	GROSS FLOOR AREA (MULTI-USE) 6168 S.F.
	RETAIL/PERSONAL SERVICES (6168sf AREA) - VEHICLE PARKING SPACES REQUIRED: (1/200)
	MULTI-FAMILY (4-UNITS PER LEVEL) - VEHICLE PARKING SPACES REQUIRED: (2.5/UNIT)
	RETAIL: TOTAL OFF-STREET VEHICLE PARKING SPACES REQUIRED: 6168/200 = 31 SPACES
	MULTI-FAMILY: TOTAL OFF-STREET VEHICLE PARKING SPACES REQD: (4) UNITS x 2.5 = 10 SPACES
	TOTAL OFF-STREET VEHICLE PARKING SPACES REQUIRED (20% REDUCTION): 31+10 (0.8) = 33 SPACES
	TOTAL OFF-STREET REGULAR PARKING SPACES PROVIDED: 11 SPACES
	TOTAL OFF-STREET ACCESSIBLE VEHICLE PARKING SPACES PROVIDED: 2 SPACES
	TOTAL "STREET" REGULAR PARKING SPACES PROVIDED (ALONG MAIN STREET): 8 SPACES
	TOTAL "STREET" ACCESSIBLE VEHICLE PARKING SPACES PROVIDED: 2 SPACES
	TOTAL OFF-STREET & "STREET" PARKING SPACES PROVIDED: 23 SPACES
<b>LOT IMPERVIOUS COVERAGE SUMMARY</b>	PRE-DEV POST-DEV
LOT 1A, BLOCK 14 - IMPERVIOUS AREA (NON PENETRABLE) (BUILDINGS, CONCRETE PAVEMENTS & GRAVEL PVMT)	0 SF 18600 SF
<b>BUILDING SUMMARY - GROSS FLOOR AREA</b>	PRE-DEV POST-DEV
LOT 1A, BLOCK 14 - MULTI-USE BUILDING (FOUNDATION AREA)	0 SF 6168 SF
<b>BUILDING - LOT COVERAGE SUMMARY</b>	PRE-DEV POST-DEV
LOT 1A, BLOCK 14 - LOT COVERAGE	0.0% 33.2%
<b>SITWORK GREEN SPACE &amp; HARDSCAPE IMPROVEMENTS</b>	PRE-DEV POST-DEV
GREEN SPACE (PERMEABLE SURFACE) CONCRETE PAVEMENT AND SIDEWALKS & GRAVEL PVMT	18600 SF 1428 SF
	0 SF 17172 SF

LOT IMPERVIOUS COVERAGE SUMMARY		
	PRE-DEV	POST-DEV
LOT 1A, BLOCK 14 - IMPERVIOUS AREA (NON PENETRABLE) (BUILDINGS, CONCRETE PAVEMENTS & GRAVEL PVMT)	0 SF	18600 SF
BUILDING SUMMARY - GROSS FLOOR AREA		
	PRE-DEV	POST-DEV
LOT 1A, BLOCK 14 - MULTI-USE BUILDING (FOUNDATION AREA)	0 SF	6168 SF
BUILDING - LOT COVERAGE SUMMARY		
	PRE-DEV	POST-DEV
LOT 1A, BLOCK 14 - LOT COVERAGE	0.0%	33.2%
SITWORK GREEN SPACE & HARDSCAPE IMPROVEMENTS		
	PRE-DEV	POST-DEV
GREEN SPACE (PERMEABLE SURFACE) CONCRETE PAVEMENT AND SIDEWALKS & GRAVEL PVMT	18600 SF	1428 SF
	0 SF	17172 SF

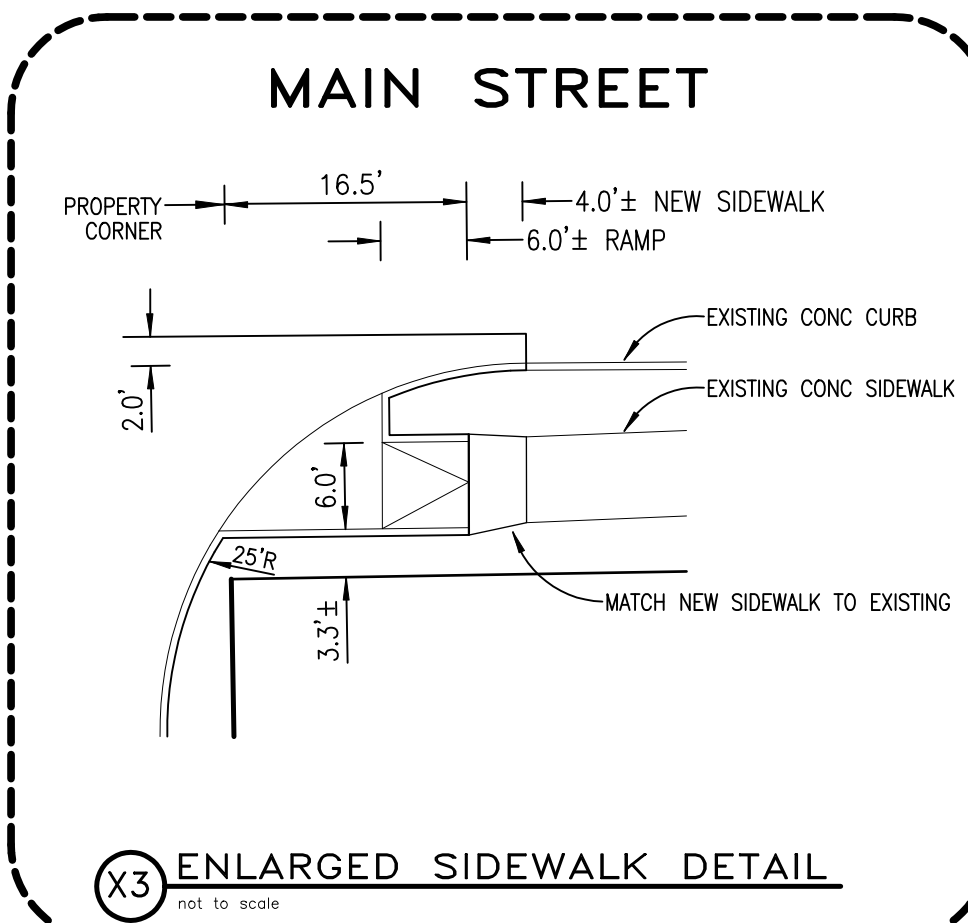
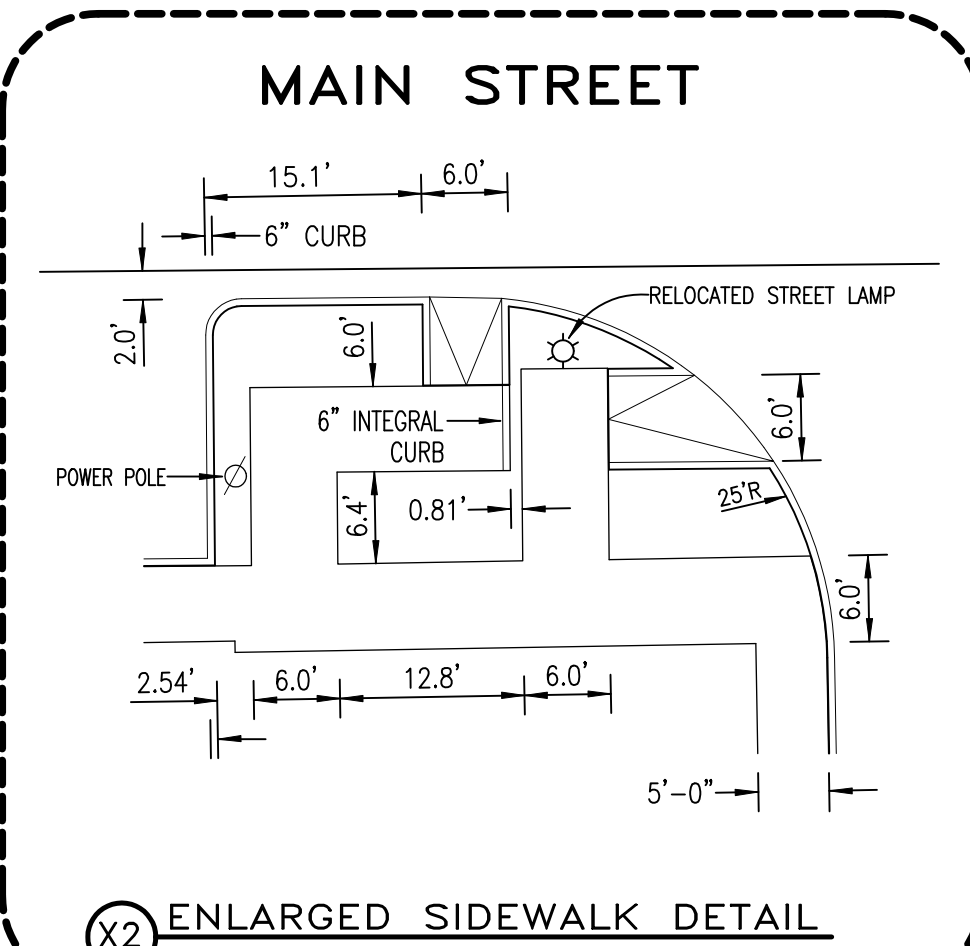


**NOTE:**  
THE CIVIL ENGINEERING DESIGN SHOWN HEREIN THESE PLANS FOR THIS PROJECT IS BASED ON ISSUANCE OF A CITY OF LAKE DALLAS PLANNED DEVELOPMENT (PD) APPROVING ALL CURRENT ZONING (C-3 COMMERCIAL) NON-COMPLIANT ITEMS SHOWN ON THESE PLANS.

**NOTE:**  
APPLICABLE CONTRACTORS SHALL EACH COORDINATE WITH ELECTRIC, GAS, AND TELEPHONE UTILITY COMPANIES FOR REQUIRED SERVICE TO THE BUILDING. REFERENCE ARCHITECTURAL & MEP PLANS. COORDINATE WITH OWNER'S REP.

UTILITY SYMBOLS	
	GAS METER
	WATER METER
	AUTOMATIC FLUSH POINT
	STREET LAMP/POLE
	WATER MAIN VALVE

EXISTING PAVEMENT LEGEND	
	EXISTING CONCRETE SIDEWALK TO REMAIN
	EXISTING ASPHALT PAVEMENT
	EXISTING CONCRETE CURB



**LEGEND - NEW CONCRETE PAVEMENT SECTION**

- 4-INCH THICK 3000 PSI CONC SIDEWALK WITH #3 BARS AT 18" CENTER EACH WAY OVER COMPACTED ENGINEERED SUBGRADE
- 4500 PSI CONCRETE PAVEMENT, THICKNESS AS SPECIFIED ON PLANS REINFORCED WITH #4 BARS AT 18" CENTER EACH WAY OVER COMPACTED ENGINEERED SUBGRADE

SEE SHEET C103 FOR TOP OF CONCRETE PAVING ELEVATIONS SEE SHEET C104 FOR LIMITS OF CONCRETE PAVING THICKNESS REFER TO SHEET C400 FOR PAVEMENT SUBGRADE PREPARATION

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**CIVIL ENGINEERING CONSTRUCTION PLANS**  
LAKE DALLAS MIXED-USE  
LOT 1R, BLOCK 14  
312 Main Street  
Lake Dallas, Texas 75065

**SHEET TITLE: SITE PLAN**

PROJECT No:	C-3034
DATE:	mar 2024
REVISION:	24oct2024 Revision A - Per City Review Comments
REVISION:	21mar2025 Revision B - Per City Review Comments
REVISION:	25apr2025 Revision C - Per City Review Comments
DRAWN BY:	CCEI
CHECKED BY:	CCEI

**SHEET No. C101**

REVISION C

0.52 ACRE BLOCK  
CITY LAKE DALLAS

**WARNING TO CONTRACTOR**  
UNDERGROUND UTILITIES IN THE AREA OF CONSTRUCTION.  
THE CONTRACTOR SHALL CALL TEXAS811 AT (811) AND DIG-TESS AT (800.395.0440) AND/OR OTHER UTILITY LOCATING SERVICES AT LEAST 48-HOURS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY.

**NOTE**  
ADJUST ALL TOP OF MANHOLE COVERS, VALVE COVERS, AND METER CAN COVERS AS REQUIRED FOR NEW PAVEMENT

REMOVE & REPLACE AS REQUIRED EXISTING BRICKWORK FOR NEW CONC PAVEMENT INCLUDING DRIVE APPROACH. REPLACE WITH EXISTING COLOR & STYLE.

**NOTE**  
PUBLIC RIGHT-OF-WAY, EASEMENTS, AND COMMON AREAS MUST BE STABILIZED WITH PERENNIAL VEGETATION COVER, FULLY ESTABLISHED WITH 100% COVERAGE, OR OTHER APPROVED STABILIZATION METHOD

**NOTE:**  
APPLICABLE CONTRACTORS SHALL EACH COORDINATE WITH ELECTRIC, GAS, AND TELEPHONE UTILITY COMPANIES FOR REQUIRED SERVICE TO THE BUILDING. REFERENCE ARCHITECTURAL & MEP PLANS. COORDINATE WITH OWNER'S REP.

GENERAL PLAN LEGEND		
DESCRIPTION	EXISTING	NEW (by this project)
STORM WATER DRAINAGE FLOW	⇒	⇒
GRADING CONTOUR	— 620 —	— 625 —
PAVING CONTOUR		— 630 —
SPOT ELEVATION	620.0 +	PV 620.0 •
STORM WATER DRAINAGE DIVIDE	---	---
WATER MAIN	EX. 8" WTR	NEW 8" WTR
FIRE HYDRANT	○ FH	● FH
FIRE DEPARTMENT CONNECTION (FDC)	⊕ FDC	⊕ FDC
WASTEWATER MAIN	EX. 8" WW	---
WASTEWATER MANHOLE	○ MH	○ MH
STORM WATER SEWER PIPE	EX. 20" RCP	LINE "A1" - 18" RCP
STORM WATER MANHOLE	○	○
STORM WATER CURB INLET	○	○
TREE	○	○
POWER POLE WITH OVERHEAD ELEC LINE (OHE)	PP ○ OHE	PP ○ OHE

CM = CONTROL MONUMENT	TGR = TOP OF GRATE (ELEV)	B/B = BACK TO BACK (CURB)	PP = POWER POLE
CP = CONTROL POINT	GT = TOP OF GUTTER (ELEV)	CSP = CORRUGATED STL PIPE	FH = FIRE HYDRANT
IRF = IRON ROD FOUND	PV = TOP OF CONC PVMT (EL)	RCP = REINF. CONC PIPE	WV = WATER VALVE
TBM = TEMP. BENCHMARK	EA = EDGE OF ASPHALT (ELEV)	HP = HIGH POINT	MH = MANHOLE
NG = NATURAL GRADE	TC = TOP OF CURB (ELEV)	LP = LOW POINT	WW = WASTEWATER
ME = MATCH EXISTING (ELEV)	TW = TOP OF WALL (ELEV)	FF = FINISH FLOOR	FL = FLOWLINE

- GENERAL PLAN NOTES - C102**
- SEE SHEET C600 FOR GENERAL CIVIL ENGINEERING NOTES, AND SHEET C601 FOR TYPICAL PAVING DETAILS.
  - ALL WATER PIPE SHALL CONFORM TO ANSI/AWWA C-909-98 FOR MOLECULARLY ORIENTED PVC PRESSURE PIPE FOR WATER DISTRIBUTION. PIPE SHALL BE 150 PSI MINIMUM CLASS RATING FOR DOMESTIC USE, AND 200 PSI MINIMUM CLASS RATING FOR FIRE LINE AND HYDRANT LINE APPLICATIONS.
  - ALL 8"-12" SANITARY SEWER PIPE SHALL BE PVC SDR-35. ALL SEWER SERVICE LATERAL PIPE SHALL BE PVC SDR-26.
  - THE LOCATION OF UNDERGROUND FACILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND FACILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY AND MARK THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY.
  - CAUTION! CONTACT TEXAS811 AT 811 OR DIG TESS AT (800) 395-0440 AND/OR OTHER UTILITY LOCATING SERVICES AT LEAST 48-HOURS PRIOR TO ANY CONSTRUCTION ACTIVITY.
  - CONSTRUCTION ACTIVITY SHALL CONFORM TO ALL CITY OF LAKE DALLAS AND LCMUA REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL APPLICABLE PERMITS FOR THIS PROJECT, UNLESS OTHERWISE AGREED.
  - ALL WATER SERVICE TAPS, VALVES, METERS, BACKFLOW PREVENTION ASSEMBLY, METER BOXES, FIRE HYDRANTS, PIPE, AND ALL OTHER APPURTENANCES SHALL CONFORM WITH APPROVED SPECIFICATIONS. INSTALLATION OF THESE MATERIALS SHALL BE IN ACCORDANCE WITH APPROVED PROCEDURES. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE TO INSURE COMPLIANCE WITH ALL APPLICABLE SPECIFICATIONS AND PROCEDURES.
  - THE PROPOSED SANITARY SEWER TAP TO THE EXISTING WASTEWATER MANHOLE IS BASED ON EXISTING UTILITY PLANS. CONTRACTOR SHALL VERIFY EXISTING WW FLOWLINE ELEVATION PRIOR TO INSTALLATION OF THE NEW PVC SANITARY SEWER SERVICE LATERAL TO THE BUILDING AS SHOWN ON THESE PLANS.
  - THE CONTRACTOR SHALL COORDINATE THE ELECTRICAL, TELEPHONE, & COMPUTER RELATED SERVICES WITH THE APPLICABLE UTILITY COMPANIES. ALL THESE SERVICES SHALL BE UNDERGROUND, UNLESS OTHERWISE DIRECTED BY THE OWNER'S REP.
  - ALL UNDERGROUND (U.G.) GAS PIPE SHALL BE ENCASED IN A PVC PIPE SLEEVE THROUGHOUT.
  - FIRE HYDRANTS MUST BE LOCATED NO LESS THAN 2'-0" NOR MORE THAN 3'-0" FROM BACK OF CURB.
  - ALL MANHOLE, METER BOX, AND WATER VALVE COVERS SHALL BE ADJUSTED AS REQUIRED TO GRADE FOR NEW PAVEMENT.

WATER SERVICE (WITH ALL APPURTENANCES FOR COMPLETE JOB)	
LOCATION	DESCRIPTION (BY LCMUA PERMIT)
A	STA 0+00 DOMESTIC WATER SERVICE LINE "A" - SEPARATE TAP TO EXIST 6" WATER MAIN INSTALL: 1 - 2" DOM. WTR MTR W/ DBL CHECK VALVE ASSEMBLY 1 - 30 LF OF 2" DOM. WATER & PLUG LINE 5.0' FROM BLDG AT NORTH SIDE
B	STA 0+00 IRRIGATION WATER SERVICE - USE EXISTING 1" WATER METER INSTALL: 1 - TRAFFIC RATED METER BOX 1 - DBL CHECK VALVE ASSEMBLY
C	STA 0+00 6-INCH FIRELINE SERVICE LINE - SEPARATE TAP TO 6" WATER MAIN INSTALL BY PERMIT: 1 - (6"x6") MUELLER H-304 STAINLESS STEEL TAP SLEEVE WITH MUELLER 6" TAPPING VALVE MEETING CITY SPECIFICATIONS 1 - 100 LF OF 6" PVC PIPE (200 PSI) MEETING ANSI/AWWA C-909-98 1 - STD 90° BEND (MxFL) 1 - MUELLER 6" GATE VALVE (FLxFL) 1 - CITY APPROVED 6" DETECTOR CHECK DEVISE & PRECASE VAULT
D	STA 1+00 END 6-INCH FIRELINE SERVICE LINE INSTALL: 1 - 6" PLUG 5.0' FROM BUILDING AT SOUTH SIDE
E	STA 0+00 6" FIRE HYDRANT LINE - SEPARATE TAP TO 8" WATER MAIN INSTALL BY PERMIT: 1 - (8"x6") MUELLER H-304 STAINLESS STEEL TAP SLEEVE WITH MUELLER 6" TAPPING VALVE MEETING CITY SPECIFICATIONS 1 - 20 LF OF 6" PVC PIPE (200 PSI) MEETING ANSI/AWWA C-909-98 1 - MUELLER 6" GATE VALVE (FLxFL) 1 - CITY APPROVED FIRE HYDRANT (FL)

WASTEWATER SERVICE (WITH ALL APPURTENANCES FOR COMPLETE JOB)	
LOCATION	DESCRIPTION (BY LCMUA PERMIT)
1	STA 0+00 WASTEWATER SERVICE LINE "D" CONNECT NEW 6" WW SERVICE LINE TO EXISTING MANHOLE NEW 6" WW FLOWLINE ELEV AT MH = 573.00± INSTALL: 1 - 64 LINEAL FEET 6" PVC PIPE (SDR 26) AT 2.0% WITH 45° BENDS
2	STA 0+64 END WASTEWATER SERVICE LINE "D" INSTALL: 1 - 6" STUBOUT & (1) DOUBLE CLEANOUT TO SERVE NEW BLDG 6" WW FLOWLINE ELEV = 574.25±
3	STA 0+00 NEW GREASE INTERCEPTOR WASTE LINE CONNECT NEW 4" WASTE SERVICE LINE TO NEW 6" SANITARY SEWER LINE BY WYE CONNECTION NEW 4" WASTE FLOWLINE ELEV AT 6" SANITARY SEWER LINE CONNECTION = 575.75± INSTALL: 1 - UNDERGROUND GREASE INTERCEPTOR (TRAFFIC RATED) - REF MEP PLANS 1 - SAMPLING WELL PER CITY OF LAKE DALLAS REQUIREMENTS
4	STA 0+40 END WASTE SERVICE LINE (GREASE INTERCEPTOR) INSTALL: 1 - 4" STUBOUT & (1) DOUBLE CLEANOUT TO SERVE NEW GREASE INTERCEPTOR 4" WASTE LINE FLOWLINE ELEV = 576.50±
5	STA 0+00 NEW HYDRAULIC OIL INTERCEPTOR WASTE LINE CONNECT NEW 4" WASTE SERVICE LINE TO NEW 6" SANITARY SEWER LINE BY WYE CONNECTION NEW 4" WASTE FLOWLINE ELEV AT 6" SANITARY SEWER LINE CONNECTION = 575.75± INSTALL: 1 - HYDRAULIC OIL INTERCEPTOR (TRAFFIC RATED) - REF MEP PLANS
6	STA 0+40 END WASTE SERVICE LINE (OIL INTERCEPTOR) INSTALL: 1 - 4" STUBOUT & (1) DOUBLE CLEANOUT TO SERVE NEW OIL INTERCEPTOR 4" WASTE LINE FLOWLINE ELEV = 576.50±

SITE UTILITIES SCHEDULE	
LOCATION	DESCRIPTION
1	EXIST ELECT POWER POLE TO REMAIN. COORDINATE TRANSFORMER REQUIREMENT WITH POWER CO.
2	NEW UNDERGROUND ELECTRICAL SERVICE TO NEW BUILDING. (REF MEP PLANS)
3	NEW ELECTRICAL SERVICE TRANSOCKET, METER & SWITCH (COORDINATE WITH POWER CO)
4	COORDINATE TELEPHONE SERVICE (NOT SHOWN) WITH UTILITY CO AND OWNER
5A	EXISTING WATER METER USED FOR IRRIGATION WATER (COORDINATE WITH LCMUA - REPLACE WITH TRAFFIC RATED).
5B	NEW 2" DOMESTIC WATER METER. (COORDINATE WITH LCMUA)
6A	NEW UNDERGROUND IRRIGATION WATER MAIN BY LANDSCAPE CONTRACTOR (REF LANDSCAPE PLANS).
6B	NEW UNDERGROUND 2" WATER SERVICE TO BUILDING BY PLUMBING CONTRACTOR.
7A	NEW UNDERGROUND 6" PVC WASTEWATER SERVICE LINE TO BLDG BY PLUMBING CONTRACTOR.
7B	NEW UNDERGROUND 6" PVC SANITARY SEWER LINE UNDER BUILDING BY PLUMBING CONTRACTOR.
8	NEW UNDERGROUND 4" PVC WASTE LINE TO SANITARY SEWER LINE BY PLUMBING CONTRACTOR.
9	NEW TRAFFIC RATED GREASE INTERCEPTOR (REF MEP PLANS).
9A	NEW SAMPLING WELL FOR GREASE INTERCEPTOR PER CITY OF LAKE DALLAS STDS (REF MEP PLANS).
10	EXISTING GAS METER (REPLACE AS REQUIRED - COORDINATE WITH GAS CO - REF MEP PLANS).
11	NEW UNDERGROUND 2" GAS SERVICE LINE TO BUILDING BY PLUMBING CONTRACTOR.
12	NEW 6" DETECTOR CHECK DEVISE AND PRECASE VAULT
13	NEW 6" CLOSED FIRELINE SERVICE
13A	NEW UNDERGROUND 6" FIRELINE TO RISER ROOM PER FIRE DEPARTMENT STANDARDS
14	NEW REMOTE FIRE DEPARTMENT CONNECTION (FDC) & CHECK VALVE WITH KNOX LOCKING CAPS & REQUIRED SIGNAGE
15	NEW UNDERGROUND 4" PVC WASTE LINE TO SANITARY SEWER LINE BY PLUMBING CONTRACTOR.
16	NEW TRAFFIC RATED OIL SEPARATOR FOR ELEVATOR (REF MEP PLANS).
17	NEW AUTOMATIC FLUSH POINT - INSTALLED TO DRAIN TO EXISTING BAR DITCH ALONG GOLIAD AVENUE
18	EXISTING STREET LAMP RELOCATED 1.5ft INWARD FROM BACK OF NEW CONCRETE CURB
19	NEW TRAFFIC RATED PROPERTY LINE CLEANOUT
20	WASTE LINE FROM BUILDING PLUMBING TO NEW GREASE INTERCEPTOR (REF MEP PLANS)

LEGEND - NEW CONCRETE PAVEMENT SECTION	
	4-INCH THICK 3000 PSI CONC SIDEWALK WITH #3 BARS AT 18" CENTER EACH WAY OVER COMPACTED ENGINEERED SUBGRADE
	4500 PSI CONCRETE PAVEMENT, THICKNESS AS SPECIFIED ON PLANS REINFORCED WITH #4 BARS AT 18" CENTER EACH WAY OVER COMPACTED ENGINEERED SUBGRADE

SEE SHEET C103 FOR TOP OF CONCRETE PAVING ELEVATIONS  
SEE SHEET C104 FOR LIMITS OF CONCRETE PAVING THICKNESS  
REFER TO SHEET C400 FOR PAVEMENT SUBGRADE PREPARATION

BENCHMARKS				
MARK	DESCRIPTION	ELEV.	NORTHING-Y	EASTING-X
TBM1	CHISELED SQUARE IN CORNER OF STORMWATER SEWER CURB INLET AT THE NORTH SIDE OF MAIN STREET, WEST OF FALCON DRIVE.	578.74		
CM1	1/2" CAPPED IRON ROD FOUND AT NORTHWEST PROP CORNER			

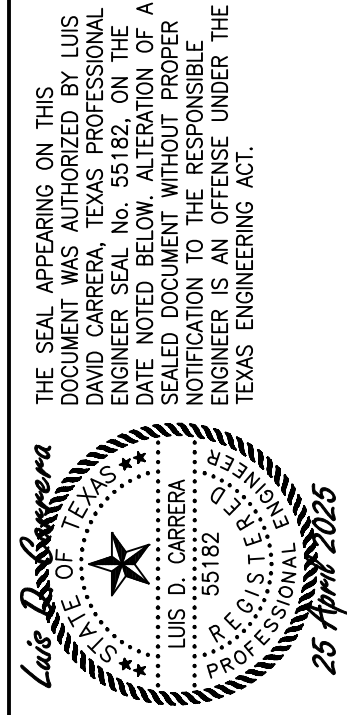
EXISTING PAVEMENT LEGEND		UTILITY SYMBOLS	
	EXISTING CONCRETE SIDEWALK TO REMAIN		GAS METER
	EXISTING ASPHALT PAVEMENT		STREET LAMP/POLE
	EXISTING CONCRETE CURB		WATER METER
			WATER MAIN VALVE
			AUTOMATIC FLUSH POINT

- ATTENTION**
- PROVIDE ALL NECESSARY PVC PIPE SLEEVES FOR ALL IRRIGATION LINES TO INCLUDE WIRING TO CONTROL BOX IN THE BLDG ELECTRIC ROOM.
  - PROVIDE ALL NECESSARY PVC PIPE SLEEVES FOR ALL PARKING LOT LIGHT POLES TO HARD WIRE TO THE BUILDING ELECTRIC ROOM

**UTILITY SITE PLAN**

SCALE: 1" = 20'

**CAREERA consulting engineers, inc.**  
Structural, Civil, & Construction Engineering  
Texas Board of Professional Engineers Firm Registration No. F-8354  
3320 Meredith Avenue Dallas, Texas 75211 o (214) 330-4771 f (214) 330-2167



**CIVIL ENGINEERING CONSTRUCTION PLANS**  
LAKE DALLAS MIXED-USE  
LOT 1A, BLOCK 14  
312 Main Street  
Lake Dallas, Texas 75085

UTILITY SITE PLAN	
DATE	DESCRIPTION
24oct2024	Revision A - Per City Review Comments
21mar2025	Revision B - Per City Review Comments
25apr2025	Revision C - Per City Review Comments

PROJECT No: C-3034  
DRAWN BY: CCEI

**SHEET No.**  
C102  
REVISION C

0.52 ACRE BLOCK  
CITY LAKE DALLAS  
OLD TOWN OF GARZA  
VOL 75, PG 130  
D.R.D.C.T.

**WARNING TO CONTRACTOR**

UNDERGROUND UTILITIES IN THE AREA OF CONSTRUCTION.  
THE CONTRACTOR SHALL CALL TEXAS811 AT (811) AND DIG-TESS  
AT (800.395.0440) AND/OR OTHER UTILITY LOCATING SERVICES AT  
LEAST 48-HOURS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY.

LOTS 1-6, BLOCK 10  
301 MAIN STREET LAKE DALLAS LLC  
OLD TOWN OF GARZA  
VOL 75, PG 130  
D.R.D.C.T.

LOTS 4-6, BLOCK 9  
LAKE DALLAS ISD  
OLD TOWN OF GARZA  
VOL 75, PG 130  
D.R.D.C.T.

**NOTE**  
ADJUST ALL TOP OF MANHOLE COVERS,  
VALVE COVERS, AND METER CAN COVERS  
AS REQUIRED FOR NEW PAVEMENT

REMOVE & REPLACE AS REQUIRED  
EXISTING BRICKWORK FOR NEW CONC  
PAVEMENT INCLUDING DRIVE APPROACH.  
REPLACE WITH EXISTING COLOR & STYLE

**BUILDING SETBACK LINES**  
FRONT SETBACK LINE ALONG MAIN STREET: 8.0'  
SIDE SETBACK LINES: 0.0'  
REAR SETBACK LINE: 0.0'

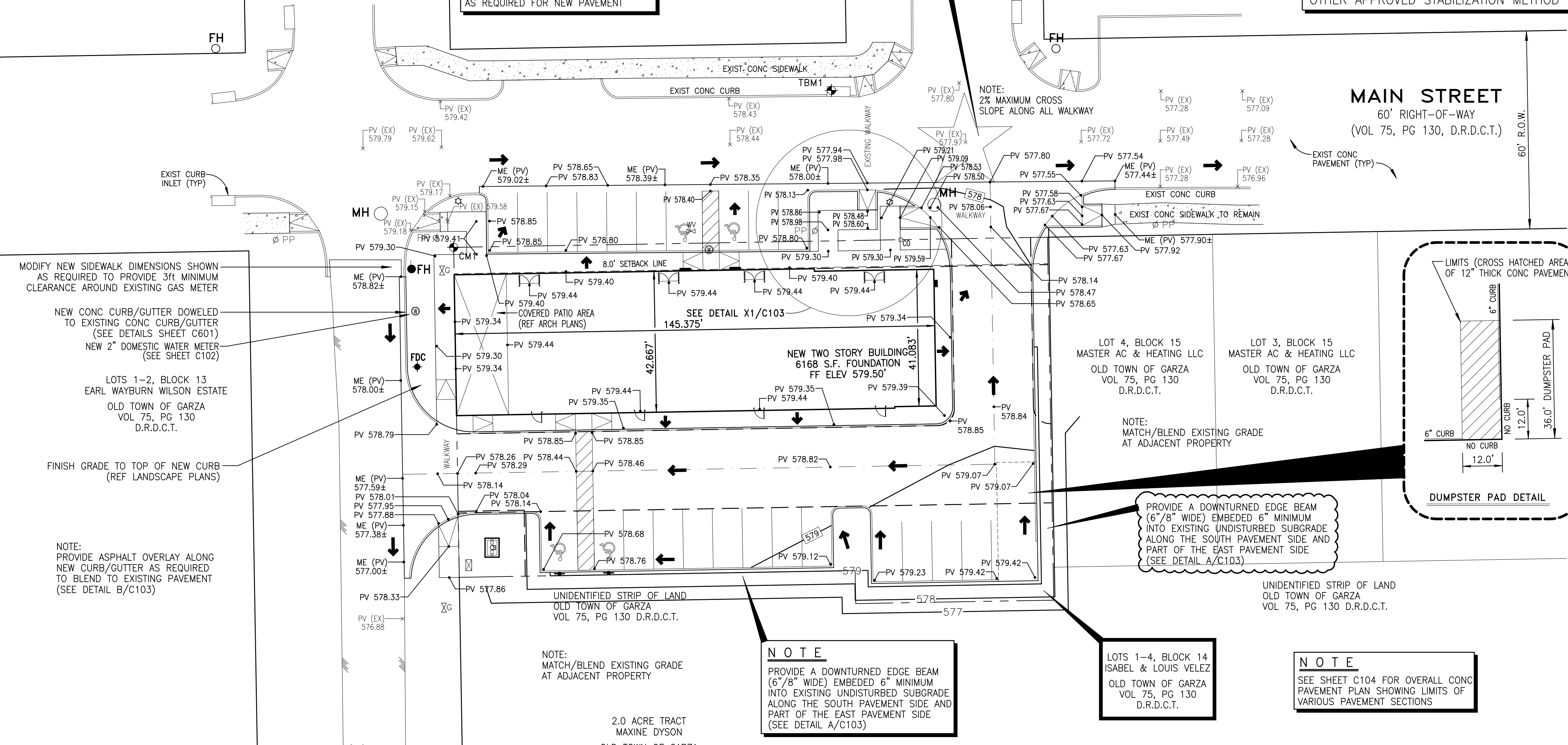
**ATTENTION**  
1. PROVIDE ALL NECESSARY PVC PIPE SLEEVES  
FOR ALL IRRIGATION LINES TO INCLUDE WIRING  
TO CONTROL BOX IN THE BLDG ELECTRIC ROOM.  
2. PROVIDE ALL NECESSARY PVC PIPE SLEEVES  
FOR ALL PARKING LOT LIGHT POLES TO HARD  
WIRE TO THE BUILDING ELECTRIC ROOM

**NOTE**  
PUBLIC RIGHT-OF-WAY, EASEMENTS, AND  
COMMON AREAS MUST BE STABILIZED WITH  
PERENNIAL VEGETATION COVER, FULLY  
ESTABLISHED WITH 100% COVERAGE, OR  
OTHER APPROVED STABILIZATION METHOD

GENERAL PLAN LEGEND		
DESCRIPTION	EXISTING	NEW (by this project)
STORM WATER DRAINAGE FLOW		
GRADING CONTOUR		
PAVING CONTOUR		
SPOT ELEVATION	620.0 +	PV 620.0 •
STORM WATER DRAINAGE DIVIDE		
WATER MAIN	EX. 8" WTR	NEW 8" WTR
FIRE HYDRANT		
FIRE DEPARTMENT CONNECTION (FDC)		
WASTEWATER MAIN	EX. 8" WW	NEW 8" WW
WASTEWATER MANHOLE		
STORM WATER SEWER PIPE	EX. 20" RCP	LINE "A1" - 18" RCP
STORM WATER MANHOLE		
STORM WATER CURB INLET		
TREE		
POWER POLE WITH OVERHEAD ELEC LINE (OHE)	PP OHE	PP OHE

BENCHMARKS			
MARK	DESCRIPTION	ELEV.	NORTHING-Y EASTING-X
TBM1	CHISELED SQUARE IN CORNER OF STORMWATER SEWER CURB INLET AT THE NORTH SIDE OF MAIN STREET, WEST OF FALCON DRIVE	578.74	
CM1	1/2" CAPPED IRON ROD FOUND AT NORTHWEST PROP CORNER		

- GENERAL PLAN NOTES - C103**
- SEE SHEET C600 FOR GENERAL CIVIL ENGINEERING NOTES AND SHEET C601 FOR SITEMARK DETAILS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY AND MARK THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY.
  - ALL WORK SHALL BE DONE TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THESE DRAWINGS. BASIC HORIZONTAL AND VERTICAL CONTROL POINTS, ESTABLISHED BY THE ENGINEER ARE SHOWN ON THESE PLANS. THESE POINTS SHALL BE USED AS DATUM FOR WORK UNDER THIS PROJECT. ALL ADDITIONAL SURVEY, LAYOUT, OR MEASUREMENT WORK SHALL BE PERFORMED BY THE CONTRACTOR AS A PART OF THE WORK UNDER THIS CONTRACT.
  - THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITY LINES, PAVING, DRIVEWAYS, CURBS, WALKS, STEPS, RETAINING WALLS, FENCES, IRRIGATION SYSTEMS, AND OTHER SURFACE AND SUBSURFACE STRUCTURES, TOGETHER WITH ALL SOIL AND SHRUBS AFFECTED BY HIS CONSTRUCTION OPERATIONS. RESTORATION OF ALL DAMAGED PROPERTY TO ITS ORIGINAL CONDITION SHALL BE PERFORMED BY AND AT THE EXPENSE OF THE CONTRACTOR.
  - THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE JOB SITE AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY OMISSIONS, DISCREPANCIES, OR DIMENSIONAL ERRORS PRIOR TO BEGINNING OR FABRICATING ANY WORK, OTHERWISE THE CORRECTIONS (AND ASSOCIATED COSTS) WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - ALL DEMOLITION AND EXCAVATED MATERIALS SHALL BE LEGALLY DISPOSED OFF THE SITE BY THE GENERAL CONTRACTOR.
  - IN THE EVENT THAT UNCHARGED UTILITIES OR OTHER UNFORSEEN FIELD CONDITIONS REQUIRE MODIFICATIONS TO THE DRAWINGS, THE CONTRACTOR SHALL OBTAIN THE APPROVAL OF THE OWNER'S REP BEFORE PROCEEDING WITH THE WORK.
  - CONSTRUCTION ACTIVITY SHALL CONFORM TO ALL CITY OF LAKE DALLAS AND LOMA REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL APPLICABLE PERMITS FOR THIS PROJECT (INCLUDING R.O.W.).
  - ENHANCED PAVEMENT WITH BRICK PAVERS TO BE REPLACED TO MATCH EXISTING COLOR AND STYLE.
  - THE PAVEMENT SECTION FOR ALL THE IMPROVED DRIVEWAY APPROACHES SHALL CONSIST OF 9-INCH THICK 4500 PSI CONCRETE WITH #4 BARS SPACED AT 18-INCH CENTERS EACH WAY OVER THE COMPACTED IMPROVED SUBGRADE.
  - THE PAVEMENT SECTION WITHIN ALL RIGHT-OF-WAY SHALL CONSIST OF 9-INCH THICK 4500 PSI CONCRETE WITH #4 BARS SPACED AT 18-INCH CENTERS EACH WAY OVER THE COMPACTED IMPROVED SUBGRADE.
  - THE PAVEMENT SECTION FOR THE IMPROVED PARKING LOT PAVEMENT (AUTOMOBILE TRAFFIC) SHALL CONSIST OF 6-IN THICK 4500 PSI CONCRETE WITH #4 BARS SPACED AT 18-INCH CENTERS EACH WAY OVER THE COMPACTED IMPROVED SUBGRADE.
  - THE PAVEMENT SECTION FOR THE IMPROVED DUMPSTER PAD PAVEMENT SHALL CONSIST OF 12-INCH THICK 4500 PSI CONCRETE WITH #4 BARS SPACED AT 12-INCH CENTERS EACH WAY OVER THE COMPACTED IMPROVED SUBGRADE.
  - THE CONCRETE SIDEWALKS SHALL CONSIST OF 4-INCH THICK 3000 PSI CONCRETE, REINFORCED WITH #3 BARS SPACED AT 18-INCH CENTERS EACH WAY OVER COMPACTED SUBGRADE.
  - ALL MANHOLE, METER BOX, AND WATER VALVE COVERS SHALL BE ADJUSTED AS REQUIRED TO GRADE FOR NEW PAVEMENT.



MODIFY NEW SIDEWALK DIMENSIONS SHOWN AS REQUIRED TO PROVIDE 3ft MINIMUM CLEARANCE AROUND EXISTING GAS METER

NEW CONC CURB/GUTTER DOWELED TO EXISTING CONC CURB/GUTTER (SEE DETAILS SHEET C601)  
NEW 2" DOMESTIC WATER METER (SEE SHEET C102)

LOTS 1-2, BLOCK 13  
EARL WAYBURN WILSON ESTATE  
OLD TOWN OF GARZA  
VOL 75, PG 130  
D.R.D.C.T.

FINISH GRADE TO TOP OF NEW CURB (REF LANDSCAPE PLANS)

NOTE:  
PROVIDE ASPHALT OVERLAY ALONG NEW CURB/GUTTER AS REQUIRED TO BLENDE TO EXISTING PAVEMENT (SEE DETAIL B/C103)

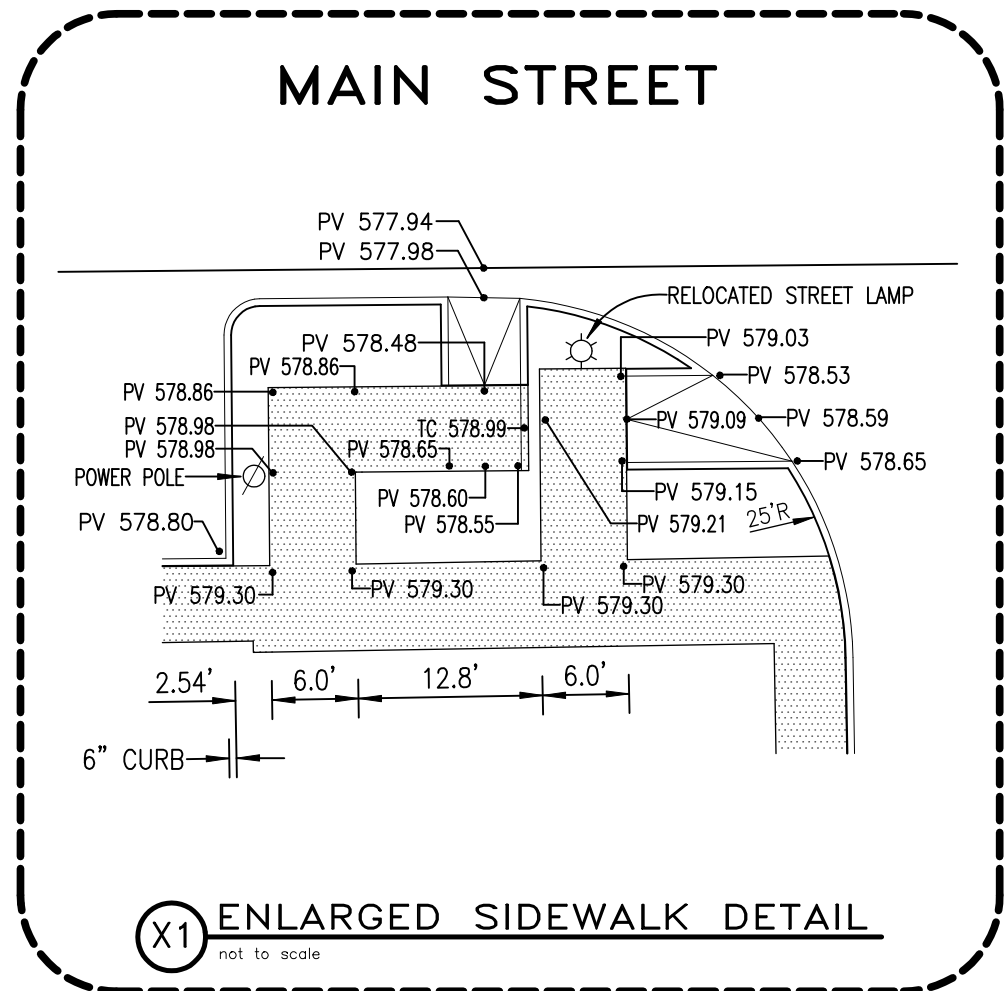
**GOLIAD AVENUE**  
60' RIGHT-OF-WAY  
(VOL 75, PG 130, D.R.D.C.T.)

**LEGEND - NEW CONCRETE PAVEMENT SECTION**

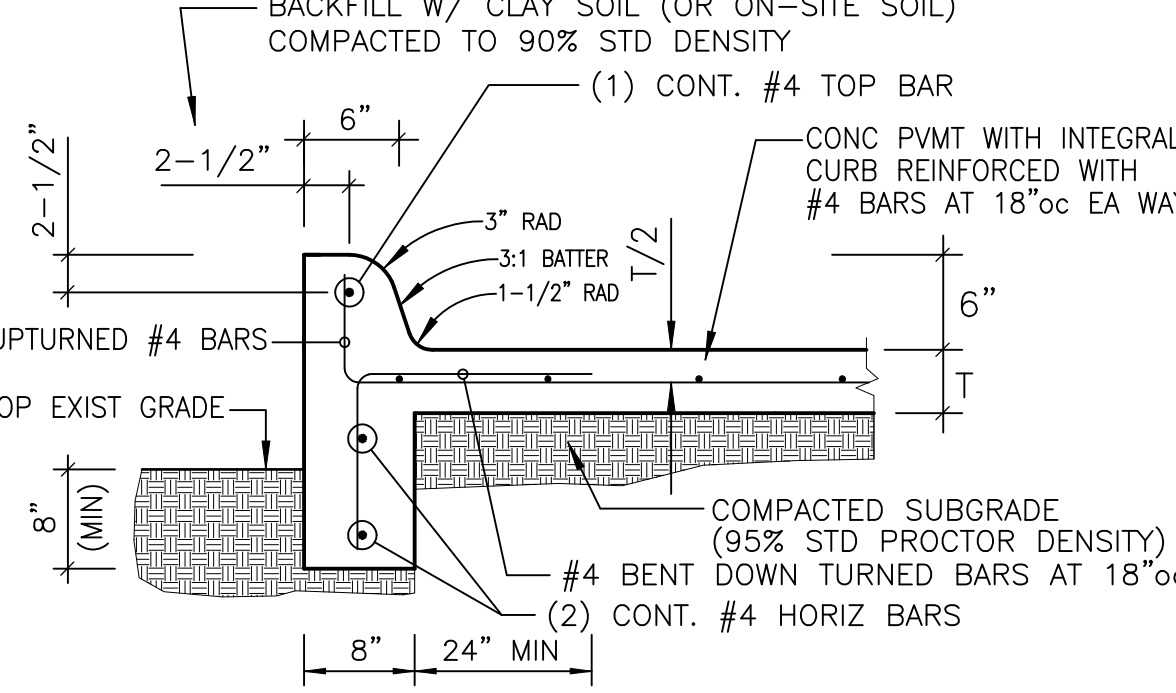
- 4-INCH THICK 3000 PSI CONC SIDEWALK WITH #3 BARS AT 18" CENTER EACH WAY OVER COMPACTED ENGINEERED SUBGRADE
  - 4500 PSI CONCRETE PAVEMENT, THICKNESS AS SPECIFIED ON PLANS REINFORCED WITH #4 BARS AT 18" CENTER EACH WAY OVER COMPACTED ENGINEERED SUBGRADE
- SEE SHEET C103 FOR TOP OF CONCRETE PAVING ELEVATIONS  
SEE SHEET C104 FOR LIMITS OF CONCRETE PAVING THICKNESS  
REFER TO SHEET C400 FOR PAVEMENT SUBGRADE PREPARATION

**NOTE:**  
THE CIVIL ENGINEERING DESIGN SHOWN HEREIN THESE PLANS FOR THIS PROJECT IS BASED ON ISSUANCE OF A CITY OF LAKE DALLAS PLANNED DEVELOPMENT (PD) APPROVING ALL CURRENT ZONING (C-3 COMMERCIAL) NON-COMPLIANT ITEMS SHOWN ON THESE PLANS.

**NOTE:**  
APPLICABLE CONTRACTORS SHALL EACH COORDINATE WITH ELECTRIC, GAS, AND TELEPHONE UTILITY COMPANIES FOR REQUIRED SERVICE TO THE BUILDING. REFERENCE ARCHITECTURAL & MEP PLANS. COORDINATE WITH OWNER'S REP.

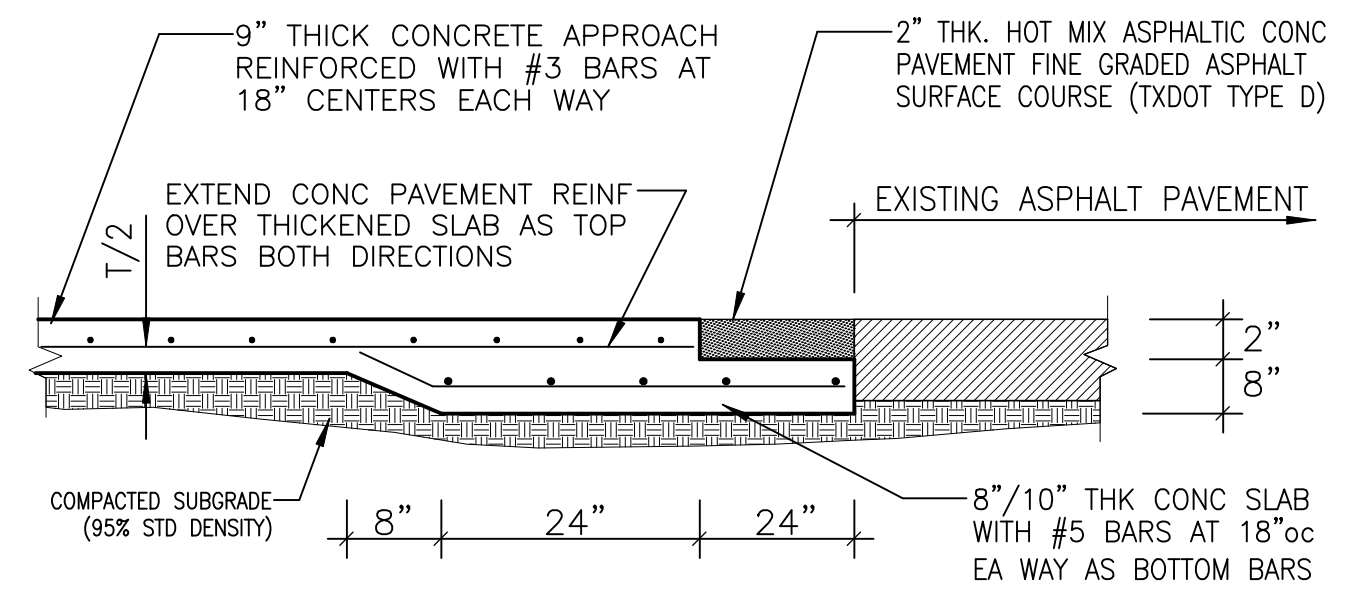


- NOTES:**
- SEE SHEET C601 FOR ADDITIONAL DETAILS & NOTES
  - CONCRETE TO HAVE MINIMUM 4500 PSI COMPRESSIVE STRENGTH AT 28 DAYS AND A MINIMUM CEMENT CONTENT OF 6 SACKS PER CUBIC YARD OF CONCRETE AND SHALL BE PLACED MONOLITHICALLY.
  - EXTEND BOTTOM OF DOWNTURNED CURB A MINIMUM OF 8-INCHES BELOW EXISTING GRADE. BACKFILL AS REQUIRED.



**TYP PAVEMENT SECTION INTEGRAL DOWNTURNED CURB**  
not to scale

- NOTES:**
- SEE PAVING GENERAL NOTES THIS SHEET.
  - SEE TYPICAL DETAIL SHEET C601 FOR CONC PAVEMENT EXPANSION & CONTROL JOINTS.
  - CONCRETE PAVEMENT SHALL BE HAND FINISHED (BROOM FINISH) WITH CONCRETE TO HAVE MINIMUM 4500psi COMPRESSIVE STRENGTH AT 28 DAYS.



**TYP SECTION - CONC CONNECTION TO EXISTING ASPHALT PAVEMENT**  
not to scale

EXISTING PAVEMENT LEGEND		UTILITY SYMBOLS	
	EXISTING CONCRETE SIDEWALK TO REMAIN		GAS METER
	EXISTING ASPHALT PAVEMENT		WATER METER
	EXISTING CONCRETE CURB		STREET LAMP/POLE
			WATER MAIN VALVE
			AUTOMATIC FLUSH POINT

**CAREERA consulting engineers, inc.**  
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THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY THE ENGINEER SEAL NO. 51828 ON THE DATE NOTED BELOW. ALTERATION OF A SEAL OR THE SEAL ITSELF WITHOUT THE NOTED DATE TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING ACT.

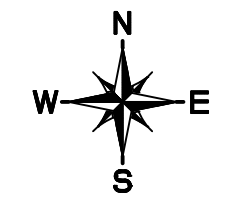
Luis D. Garza  
Professional Engineer  
No. 51828  
25 APR 2025

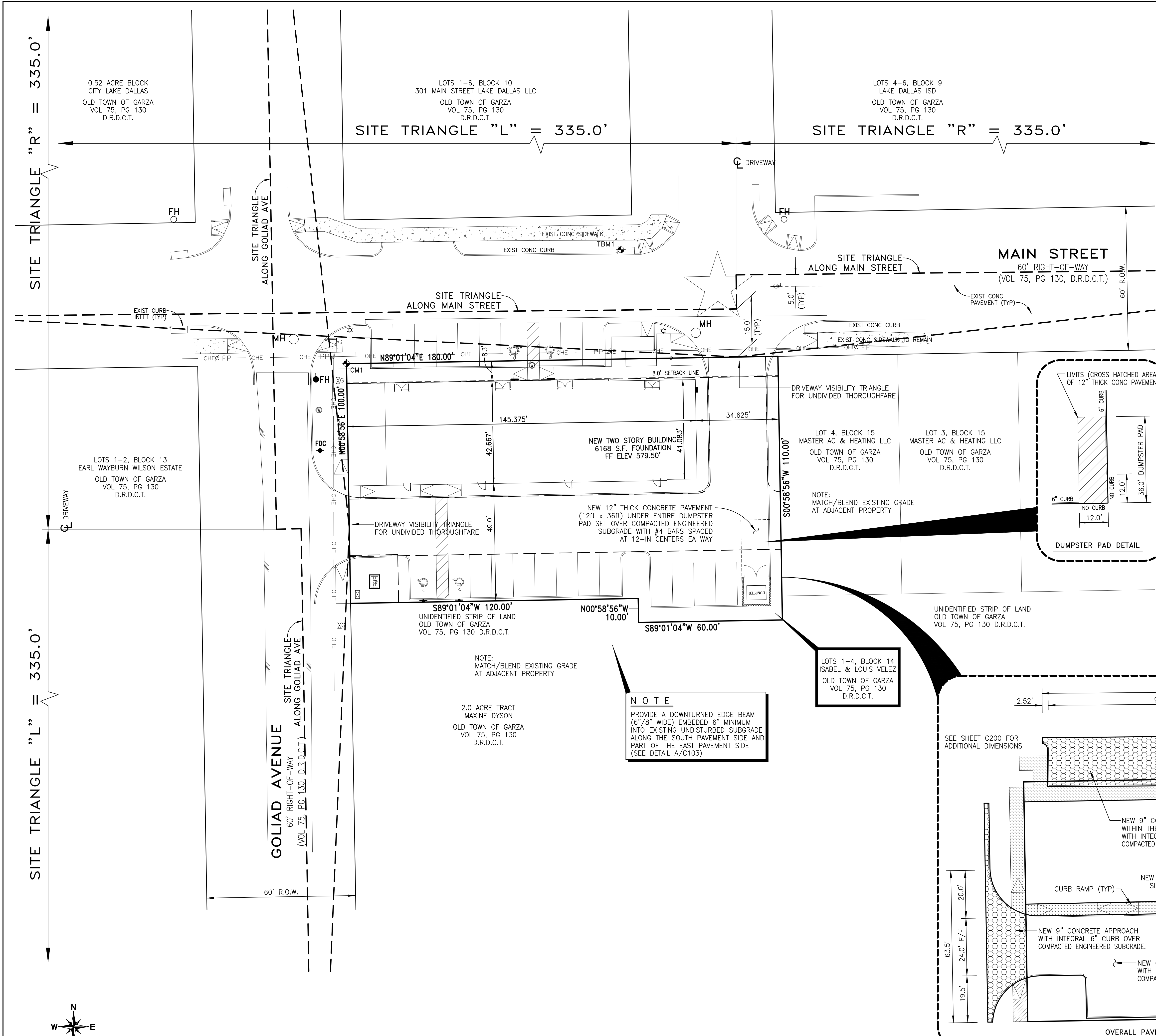
**CIVIL ENGINEERING CONSTRUCTION PLANS**  
LAKE DALLAS MIXED-USE  
LOT 1R, BLOCK 14  
312 Main Street  
Lake Dallas, Texas 75065

DATE	REVISION	DESCRIPTION
mar 2024	24oct2024	Revision A - Per City Review Comments
	21mar2025	Revision B - Per City Review Comments
	25apr2025	Revision C - Per City Review Comments

SHEET TITLE: PAVING PLAN  
PROJECT No: C-3034  
DRAWN BY: CCEI  
CHECKED BY: CCEI

**SHEET No.**  
C103  
REVISION C





### GENERAL PLAN LEGEND

DESCRIPTION	EXISTING	NEW (by this project)
STORM WATER DRAINAGE FLOW		
GRADING CONTOUR		
PAVING CONTOUR		
SPOT ELEVATION	620.0 +	PV 620.0 •
STORM WATER DRAINAGE DIVIDE		
WATER MAIN	EX. 8" WTR	NEW 8" WTR
FIRE HYDRANT		
FIRE DEPARTMENT CONNECTION (FDC)		
WASTEWATER MAIN	EX. 8" WW	NEW 8" WW
WASTEWATER MANHOLE		
STORM WATER SEWER PIPE	EX. 20" RCP	LINE "11" - 18" RCP
STORM WATER MANHOLE		
STORM WATER CURB INLET		
TREE		
POWER POLE WITH OVERHEAD ELEC. LINE (OHE)	PP - OHE	PP - OHE

### BENCHMARKS

MARK	DESCRIPTION	ELEV.	NORTHING-Y	EASTING-X
TBM1	CHISELED SQUARE IN CORNER OF STORMWATER SEWER CURB INLET AT THE NORTH SIDE OF MAIN STREET, WEST OF FALCON DRIVE	578.74		
CM1	1/2" CAPPED IRON ROD FOUND AT NORTHWEST PROP CORNER			

- ### GENERAL PLAN NOTES - C104
- SEE SHEET C600 FOR GENERAL CIVIL ENGINEERING NOTES AND SHEET C601 FOR SITESWORK DETAILS.
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  - ALL WORK SHALL BE DONE TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THESE DRAWINGS. BASIC HORIZONTAL AND VERTICAL CONTROL POINTS, ESTABLISHED BY THE ENGINEER ARE SHOWN ON THESE PLANS. THESE POINTS SHALL BE USED AS DATUM FOR WORK UNDER THIS PROJECT. ALL ADDITIONAL SURVEY, LAYOUT, OR MEASUREMENT WORK SHALL BE PERFORMED BY THE CONTRACTOR AS A PART OF THE WORK UNDER THIS CONTRACT.
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  - CONSTRUCTION ACTIVITY SHALL CONFORM TO ALL CITY OF LAKE DALLAS AND LOMA REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL APPLICABLE PERMITS FOR THIS PROJECT (INCLUDING R.O.W.).
  - THE PAVEMENT SECTION FOR ALL THE IMPROVED DRIVEWAY APPROACHES SHALL CONSIST OF 9-INCH THICK 4500 PSI CONCRETE WITH #4 BARS SPACED AT 18-INCH CENTERS EACH WAY OVER THE COMPACTED IMPROVED SUBGRADE.
  - THE PAVEMENT SECTION WITHIN ALL RIGHT-OF-WAY SHALL CONSIST OF 9-INCH THICK 4500 PSI CONCRETE WITH #4 BARS SPACED AT 18-INCH CENTERS EACH WAY OVER THE COMPACTED IMPROVED SUBGRADE.
  - THE PAVEMENT SECTION FOR THE IMPROVED PARKING LOT PAVEMENT (AUTOMOBILE TRAFFIC) SHALL CONSIST OF 6-INCH THICK 4500 PSI CONC WITH #4 BARS SPACED AT 18-INCH CENTERS EACH WAY OVER THE COMPACTED IMPROVED SUBGRADE.
  - THE PAVEMENT SECTION FOR THE IMPROVED DUMPSTER PAD PAVEMENT SHALL CONSIST OF 12-INCH THICK 4500 PSI CONC WITH #4 BARS SPACED AT 12-INCH CENTERS EACH WAY OVER THE COMPACTED IMPROVED SUBGRADE.
  - THE CONCRETE SIDEWALKS SHALL CONSIST OF 4-INCH THICK 3000 PSI CONCRETE, REINFORCED WITH #3 BARS SPACED AT 18-INCH CENTERS EACH WAY OVER COMPACTED SUBGRADE.

**CARRERA consulting engineers, inc.**  
Structural, Civil, & Construction Engineering  
Texas Board of Professional Engineers Firm Registration No. F-8354  
3920 Meredith Avenue Dallas, Texas 75211 o (214) 330-4771 f (214) 330-2167

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY LUIS D. CARRERA, LICENSED PROFESSIONAL ENGINEER, NO. 55182 ON THE DATE NOTED BELOW. ALTERATION OF A SEAL OR THE SEAL ITSELF WITHOUT THE WRITTEN CONSENT OF THE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING ACT.

Luis D. Carrera  
Professional Engineer  
No. 55182  
25 APR 2025

**CIVIL ENGINEERING CONSTRUCTION PLANS**  
LAKE DALLAS MIXED-USE  
LOT 1A, BLOCK 14  
312 Main Street  
Lake Dallas, Texas 75065

### DRIVEWAY SIGHT TRIANGLES AND OVERALL CONCRETE PAVEMENT PLAN

DATE	REVISION	DESCRIPTION
mar 2024	24oct2024	Revision A - Per City Review Comments
	21mar2025	Revision B - Per City Review Comments
	25apr2025	Revision C - Per City Review Comments

DRAWN BY: CCEI  
CHECKED BY: CCEI

SHEET No. **C104**  
REVISION C

**01 DRIVEWAY SIGHT TRIANGLES AND OVERALL CONCRETE PAVEMENT PLAN**  
SCALE: 1" = 20'

0.52 ACRE BLOCK  
CITY LAKE DALLAS  
OLD TOWN OF GARZA  
VOL 75, PG 130  
D.R.D.C.T.

**WARNING TO CONTRACTOR**  
UNDERGROUND UTILITIES IN THE AREA OF CONSTRUCTION.  
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LOTS 1-6, BLOCK 10  
301 MAIN STREET LAKE DALLAS LLC  
OLD TOWN OF GARZA  
VOL 75, PG 130  
D.R.D.C.T.

LOTS 4-6, BLOCK 9  
LAKE DALLAS ISD  
OLD TOWN OF GARZA  
VOL 75, PG 130  
D.R.D.C.T.

**NOTE**  
ADJUST ALL TOP OF MANHOLE COVERS, VALVE COVERS, AND METER CAN COVERS AS REQUIRED FOR NEW PAVEMENT

REMOVE & REPLACE AS REQUIRED EXISTING BRICKWORK FOR NEW CONC PAVEMENT INCLUDING DRIVE APPROACH. REPLACE WITH EXISTING COLOR & STYLE.

**BUILDING SETBACK LINES**  
FRONT SETBACK LINE ALONG MAIN STREET: 8.0'  
SIDE SETBACK LINES: 0.0'  
REAR SETBACK LINE: 0.0'

GENERAL PLAN LEGEND		
DESCRIPTION	EXISTING	NEW (by this project)
STORM WATER DRAINAGE FLOW		
GRADING CONTOUR		
PAVING CONTOUR		
SPOT ELEVATION	620.0 +	PV 620.0 •
STORM WATER DRAINAGE DIVIDE		
WATER MAIN	EX. 8" WTR	NEW 8" WTR
FIRE HYDRANT		
FIRE DEPARTMENT CONNECTION (FDC)		
WASTEWATER MAIN	EX. 8" WW	NEW 8" WW
WASTEWATER MANHOLE		
STORM WATER SEWER PIPE	EX. 20" RCP	LINE "11" - 18" RCP
STORM WATER MANHOLE		
STORM WATER CURB INLET		
TREE		
POWER POLE WITH OVERHEAD ELEC LINE (OHE)	PP OHE	PP OHE

BENCHMARKS			
MARK	DESCRIPTION	ELEV.	PROJECT C3034
TBM1	CHISELED SQUARE IN CORNER OF STORMWATER SEWER CURB INLET AT THE NORTH SIDE OF MAIN STREET, WEST OF FALCON DRIVE	578.74	
CM1	1/2" CAPPED IRON ROD FOUND AT NORTHWEST PROP CORNER		

- GENERAL PLAN NOTES - C200**
- SEE SHEET C600 FOR GENERAL CIVIL ENGINEERING NOTES AND SHEET C601 FOR SITEMARK DETAILS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY AND MARK THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY.
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  - CONSTRUCTION ACTIVITY SHALL CONFORM TO ALL CITY OF LAKE DALLAS AND LOCAL REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL APPLICABLE PERMITS FOR THIS PROJECT (INCLUDING R.O.W.).
  - ROUGH GRADING SHALL BE PERFORMED PRIOR TO CONSTRUCTION OF UTILITIES.
- ACCESSIBILITY STANDARDS**
- CONCRETE RAMPS, PARKING SIGNAGE, & RAMP HANDRAILS SHALL CONFORM WITH TEXAS ACCESSIBILITY STANDARDS ADOPTED BY THE TEXAS DEPARTMENT OF LICENSING AND REGULATION IN COMPLIANCE WITH THE TEXAS ARCHITECTURAL BARRIERS ACT, ARTICLE 9102, TEXAS CIVIL STATUTES.
  - ALL ACCESSIBILITY ROUTES FOR THIS PROJECT SHALL HAVE A SLOPE NOT GREATER THAN 1:20 (5%). ACCESSIBILITY ROUTES HAVING A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP AND SHALL CONFORM WITH THE TEXAS ACCESSIBILITY STDS.
  - SIDEWALK CROSS SLOPE AND PATHWAY ACROSS A DRIVEWAY APPROACH SHALL NOT EXCEED 2.0% AT TIME OF ACCEPTANCE.
  - ANY RAMP (EXCLUDING CURB RAMPS) HAVING A HORIZONTAL PROJECTION GREATER THAN 72-INCHES SHALL HAVE HANDRAILS ON BOTH SIDES CONFORMING WITH TEXAS ACCESSIBILITY STANDARDS.
  - A MINIMUM OF TWO (2) "OFF STREET" ACCESSIBLE PARKING SPACES SHALL BE PROVIDED FOR THIS LOCATION AS SHOWN ON THE PLANS. ONE (1) ACCESSIBLE PARKING SPACES SHALL BE DESIGNATED AS "VAN ACCESSIBLE".
  - PARKING SIGNAGE SHALL BE PROVIDED FOR EACH ACCESSIBLE PARKING SPACE IN CONFORMANCE WITH TEXAS ACCESSIBILITY STANDARDS.

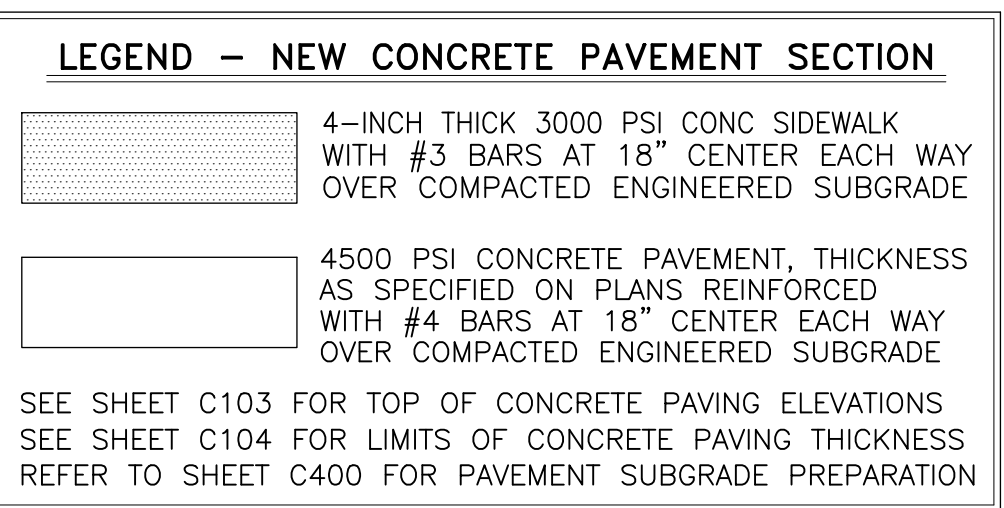
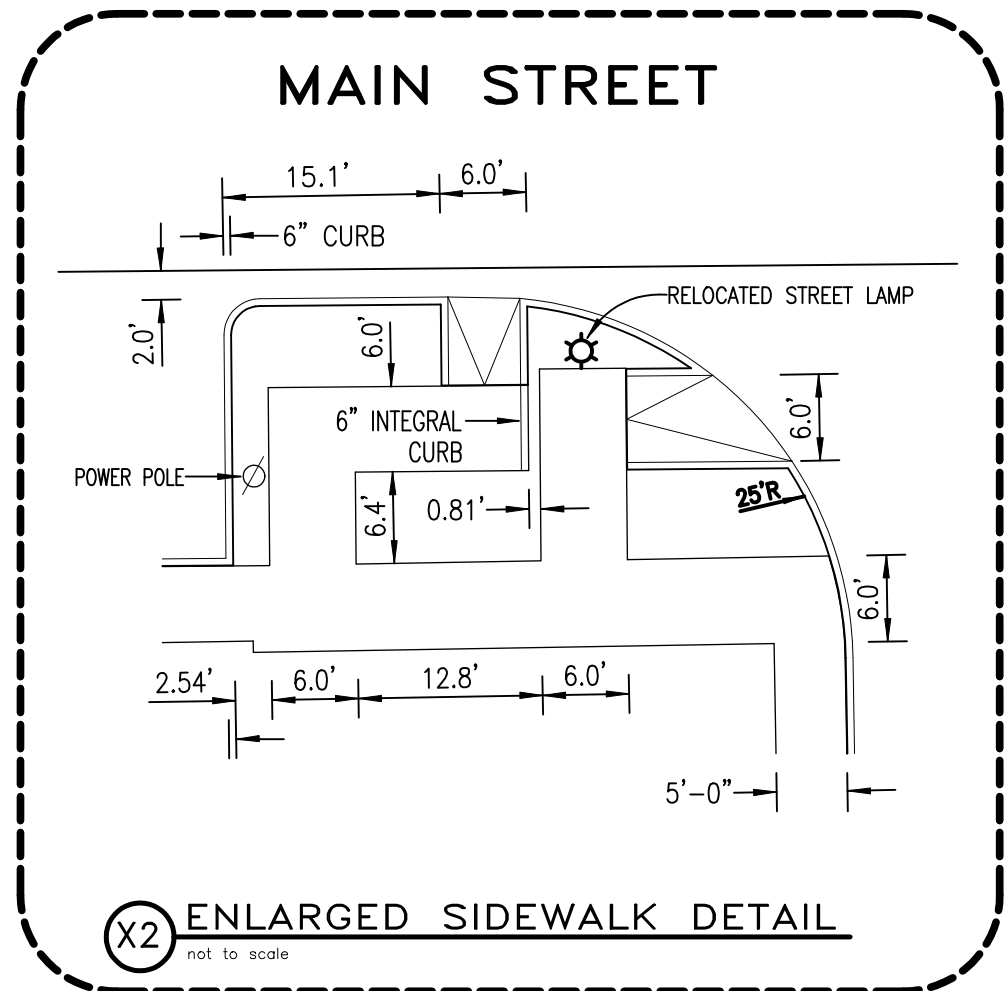
LOTS 1-2, BLOCK 13  
EARL WAYBURN WILSON ESTATE  
OLD TOWN OF GARZA  
VOL 75, PG 130  
D.R.D.C.T.

**GOLIAD AVENUE**  
60' RIGHT-OF-WAY  
(VOL 75, PG 130, D.R.D.C.T.)

- ATTENTION**
- PROVIDE ALL NECESSARY PVC PIPE SLEEVES FOR ALL IRRIGATION LINES TO INCLUDE WIRING TO CONTROL BOX IN THE BLDG ELECTRIC ROOM.
  - PROVIDE ALL NECESSARY PVC PIPE SLEEVES FOR ALL PARKING LOT LIGHT POLES TO HARD WIRE TO THE BUILDING ELECTRIC ROOM

**NOTE**  
PUBLIC RIGHT-OF-WAY, EASEMENTS, AND COMMON AREAS MUST BE STABILIZED WITH PERENNIAL VEGETATION COVER, FULLY ESTABLISHED WITH 100% COVERAGE, OR OTHER APPROVED STABILIZATION METHOD

**NOTE:**  
APPLICABLE CONTRACTORS SHALL EACH COORDINATE WITH ELECTRIC, GAS, AND TELEPHONE UTILITY COMPANIES FOR REQUIRED SERVICE TO THE BUILDING. REFERENCE ARCHITECTURAL & MEP PLANS.  
COORDINATE WITH OWNER'S REP.



**EXISTING PAVEMENT LEGEND**

	EXISTING CONCRETE SIDEWALK TO REMAIN
	EXISTING ASPHALT PAVEMENT
	EXISTING CONCRETE CURB

**UTILITY SYMBOLS**

	GAS METER		STREET LAMP/POLE
	WATER METER		WATER MAIN VALVE
	AUTOMATIC FLUSH POINT		

**CARRERA consulting engineers, inc.**  
Structural, Civil, & Construction Engineering  
Texas Board of Professional Engineers Firm Registration No. F-8354  
3920 Meredith Avenue Dallas, Texas 75211 o (214) 330-4771 f (214) 330-2167

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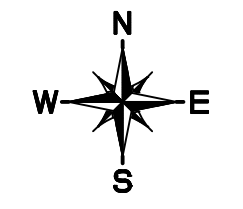
Luis D. Carrera  
Professional Engineer  
No. 55182  
25 APR 2025

**CIVIL ENGINEERING CONSTRUCTION PLANS**  
**LAKE DALLAS MIXED-USE**  
**LOT 1R, BLOCK 14**  
312 Main Street  
Lake Dallas, Texas 75065

**DIMENSION CONTROL PLAN**

DATE:	24oct2024	REVISION:	A - Per City Review Comments
DATE:	mar 2024	REVISION:	B - Per City Review Comments
DATE:	21mar2025	REVISION:	C - Per City Review Comments
DATE:	25apr2025	REVISION:	C - Per City Review Comments
CHECKED BY:	CCGI	DRAWN BY:	CCGI

**SHEET No.**  
**C200**  
REVISION C



**01 DIMENSION CONTROL PLAN**  
SCALE: 1" = 20'

**WARNING TO CONTRACTOR**  
 UNDERGROUND UTILITIES IN THE AREA OF CONSTRUCTION.  
 THE CONTRACTOR SHALL CALL TEXAS811 AT (811) AND DIG-TESS AT (800.395.0440) AND/OR OTHER UTILITY LOCATING SERVICES AT LEAST 48-HOURS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY.

LOTS 1-6, BLOCK 10  
 301 MAIN STREET LAKE DALLAS LLC  
 OLD TOWN OF GARZA  
 VOL 75, PG 130  
 D.R.D.C.T.

LOTS 4-6, BLOCK 9  
 LAKE DALLAS ISD  
 OLD TOWN OF GARZA  
 VOL 75, PG 130  
 D.R.D.C.T.

**EXISTING PAVEMENT LEGEND**

	EXISTING CONCRETE SIDEWALK TO REMAIN
	EXISTING ASPHALT PAVEMENT
	EXISTING CONCRETE CURB

**GENERAL PLAN LEGEND**

DESCRIPTION	EXISTING	NEW (by this project)
STORM WATER DRAINAGE FLOW		
GRADING CONTOUR		
PAVING CONTOUR		
SPOT ELEVATION	620.0 +	PV 620.0 •
STORM WATER DRAINAGE DIVIDE		
WATER MAIN	EX. 8" WTR	NEW 8" WTR
FIRE HYDRANT	○ FH	● FH
FIRE DEPARTMENT CONNECTION (FDC)	⊕ FDC	⊕ FDC
WASTEWATER MAIN	EX. 8" WW	NEW 8" WW
WASTEWATER MANHOLE	○ MH	○ MH
STORM WATER SEWER PIPE	EX. 20" RCP	LINE "11" - 18" RCP
STORM WATER MANHOLE		
STORM WATER CURB INLET		
TREE		
POWER POLE WITH OVERHEAD ELEC. LINE (OHE)	PP - OHE	PP - OHE

**BENCHMARKS**

MARK	DESCRIPTION	ELEV.	NORTHING-Y	EASTING-X
TBM1	CHISELED SQUARE IN CORNER OF STORMWATER SEWER CURB INLET AT THE NORTH SIDE OF MAIN STREET, WEST OF FALCON DRIVE	578.74		
CM1	1/2" CAPPED IRON ROD FOUND AT NORTHWEST PROP CORNER			

- GENERAL PLAN NOTES - C300**
- SEE SHEET C600 FOR GENERAL CIVIL ENGINEERING NOTES, AND SHEET C601 FOR SITEWORK & PAVING DETAILS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY AND MARK THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY.
  - PRIOR TO COMMENCING GRADING OPERATIONS, EROSION CONTROL DEVICES SHALL BE INSTALLED AS INDICATED ON THE EROSION CONTROL PLAN OR OTHER AREAS AS MAY BE DIRECTED BY THE OWNER'S REPRESENTATIVE OR CITY INSPECTOR.
  - SITE ENTRY AND/OR EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ON A PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE TO A PUBLIC ROADWAY, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS ONTO AN APPROVED SEDIMENT BASIN. ALL FINES IMPOSED FOR TRACKING ONTO PUBLIC ROADS SHALL BE PAID BY THE CONTRACTOR.
  - GEOTEXTILE FABRIC SHALL BE PLACED ON THE SUBGRADE PRIOR TO ANY STONE PLACEMENT.
  - TEMPORARY SEEDING OR OTHER METHOD OF STABILIZATION SHALL BE INITIATED WITHIN 14 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE, UNLESS ADDITIONAL CONSTRUCTION ON THE AREA IS EXPECTED WITHIN 21 DAYS OF THE LAST DISTURBANCE.
  - UPON COMPLETION OF FINE GRADING, ALL AREAS NOT PERMANENTLY STABILIZED SHALL BE SEEDED AND MAINTAINED UNTIL A UNIFORM COVERAGE OF 70% MINIMUM DENSITY, AS DETERMINED BY THE OWNER'S REPRESENTATIVE IS ACHIEVED.
  - EROSION CONTROL DEVICES MAY BE ADDED OR REDUCED IN THE FIELD AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
  - MAINTENANCE - EROSION CONTROL DEVICES SHALL BE REPAIRED OR REPLACED AS INSPECTION DEEMS NECESSARY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. ACCUMULATED SILT AT ANY EROSION CONTROL DEVICE SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6-INCHES, AND SHALL BE DISTRIBUTED ON A SITE IN A MANNER NOT CONTRIBUTING TO ADDITIONAL SILTATION.
  - THE CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL DEVICE WHICH IS DISTURBED. EACH CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES WHICH MAY LEAD TO UNAUTHORIZED DISCHARGE OR STORM WATER POLLUTION, SEDIMENTATION, OR OTHER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO, EXCESS CONCRETE DUMPING OR CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUEL AND LUBE OIL, PESTICIDES, AND ANY SOLID WASTE MATERIALS.
  - THE CONTRACTOR HAS THE OPTION TO CONSTRUCT AN "EARTH CONTAINMENT BERM" FOR STORAGE OF FUEL, MAINTENANCE, CLEANING, AND WASH DOWNS. NO SEPARATE PAYMENT WILL BE MADE FOR THIS ITEM.
  - IF APPLICABLE, REFER TO THE SWPPP DOCUMENT FOR ANY ADDITIONAL INFORMATION.
  - ALL STORM DRAINAGE INLET OPENINGS AND SLOTTED DRAINS SHALL BE PROTECTED WITH EROSION CONTROL DEVICES UNTIL ALL PAVEMENT WORK IS COMPLETED.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO CLEAN-UP SEDIMENTATION ON PRIVATE DRIVES, ADJACENT PROPERTY, STREETS, AND UNDERGROUND STORM SEWER SYSTEMS TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
  - TOP SOIL SHALL BE USED IN ALL LANDSCAPED AREAS.
  - ALL AREAS WITH EXPOSED SOIL DUE TO THE CONSTRUCTION SHALL BE RESODED WITH BERMUDA SOD, UNLESS OTHERWISE SPECIFIED BY THE PROJECT ARCHITECT OR OWNER'S REPRESENTATIVE.
- STORM WATER DISCHARGE AUTHORIZATION**
- FOR THE PURPOSE OF THE TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM (TPDES) PROGRAM, THIS PROJECT IS CONSIDERED A SMALLER SITE THAT WILL DISTURB LESS THAN 1-ACRE OF LAND AT ANY ONE TIME. A STORM WATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITIES IS NOT REQUIRED FROM THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ).
  - A NOTICE OF INTENT (NOI) IS NOT REQUIRED TO BE SUBMITTED TO THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AT ANY TIME.
  - A NOTICE OF TERMINATION (NOT) IS NOT REQUIRED TO BE SUBMITTED TO THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AT ANY TIME.

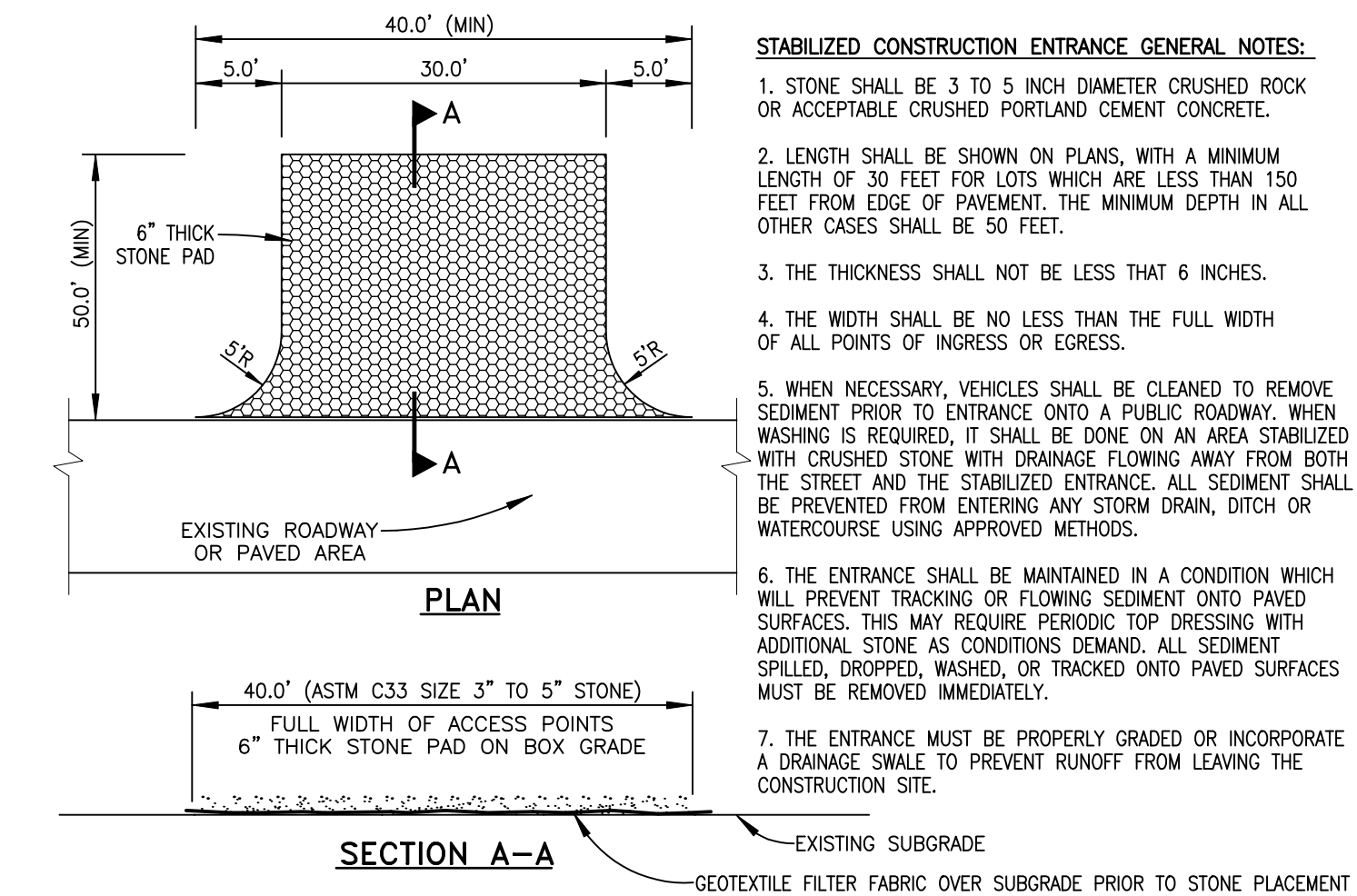
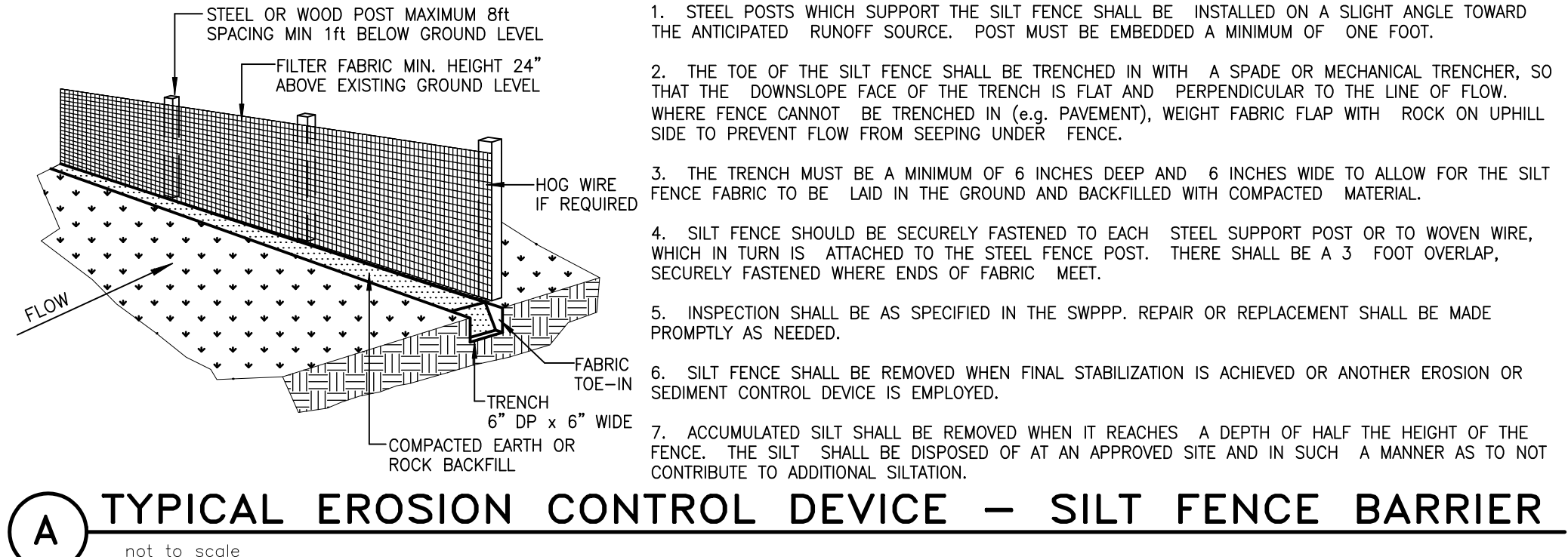
**NOTE:**  
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**NOTE:**  
 THE CIVIL ENGINEERING DESIGN SHOWN HEREIN THESE PLANS FOR THIS PROJECT IS BASED ON ISSUANCE OF A CITY OF LAKE DALLAS PLANNED DEVELOPMENT (PD) APPROVING ALL CURRENT ZONING (C-3 COMMERCIAL) NON-COMPLIANT ITEMS SHOWN ON THESE PLANS.

**ATTENTION**

- PROVIDE ALL NECESSARY PVC PIPE SLEEVES FOR ALL IRRIGATION LINES TO INCLUDE WIRING TO CONTROL BOX IN THE BLDG ELECTRIC ROOM.
- PROVIDE ALL NECESSARY PVC PIPE SLEEVES FOR ALL PARKING LOT LIGHT POLES TO HARD WIRE TO THE BUILDING ELECTRIC ROOM.

**NOTE**  
 PUBLIC RIGHT-OF-WAY, EASEMENTS, AND COMMON AREAS MUST BE STABILIZED WITH PERENNIAL VEGETATION COVER, FULLY ESTABLISHED WITH 100% COVERAGE, OR OTHER APPROVED STABILIZATION METHOD



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**CIVIL ENGINEERING CONSTRUCTION PLANS**  
 LAKE DALLAS MIXED-USE  
 LOT 1R, BLOCK 14  
 312 Main Street Lake Dallas, Texas 75085

**EROSION CONTROL PLAN**

DATE:	24oct2024	REVISION:	A - Per City Review Comments
PROJECT No.:	C-3034	DATE:	21mar2025
DRAWN BY:	CCEI	REVISION:	B - Per City Review Comments
CHECKED BY:	CCEI	REVISION:	C - Per City Review Comments

SHEET No. **C300**  
 REVISION C

0.52 ACRE BLOCK  
CITY LAKE DALLAS  
OLD TOWN OF GARZA  
VOL 75, PG 130  
D.R.D.C.T.

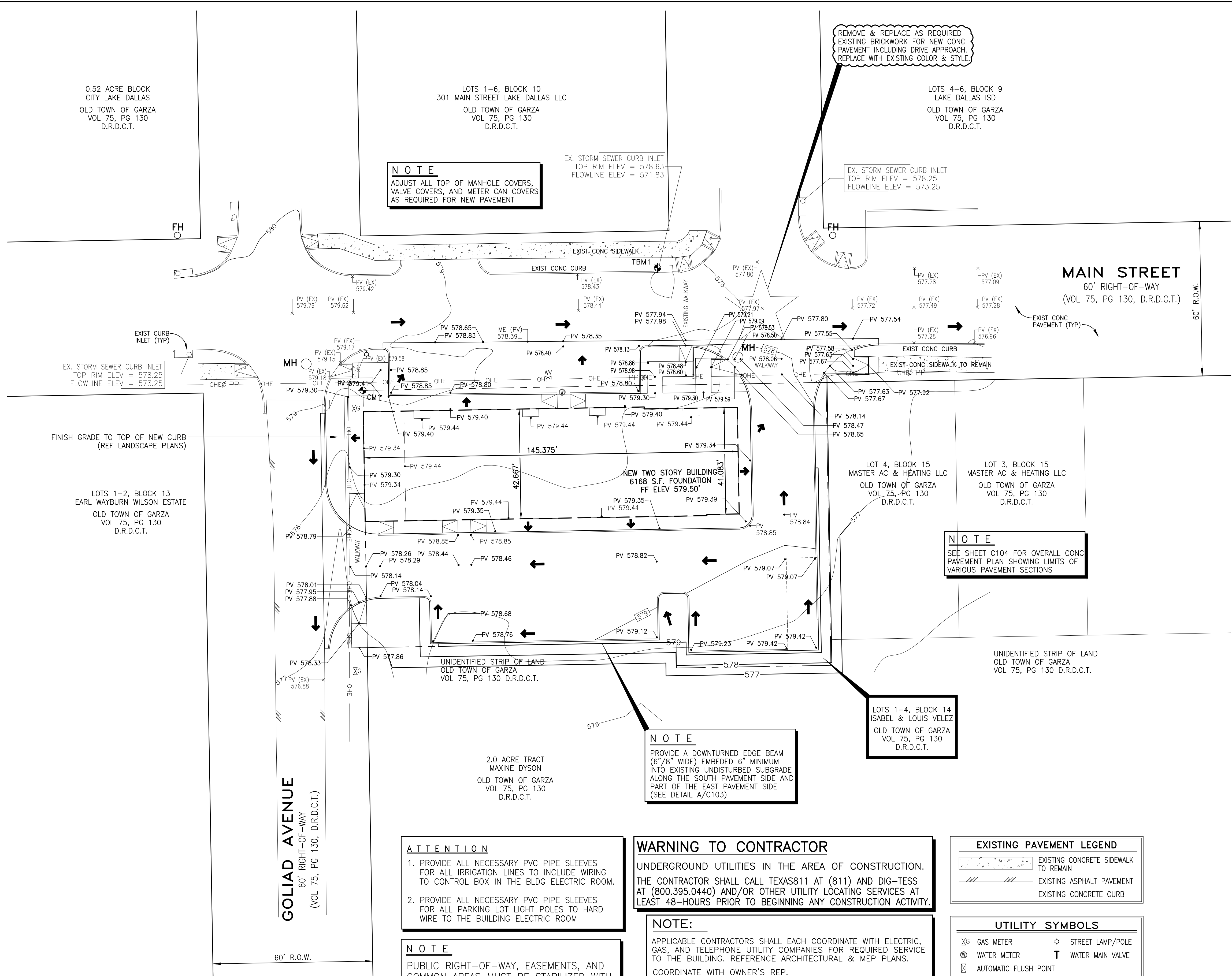
LOTS 1-6, BLOCK 10  
301 MAIN STREET LAKE DALLAS LLC  
OLD TOWN OF GARZA  
VOL 75, PG 130  
D.R.D.C.T.

LOTS 4-6, BLOCK 9  
LAKE DALLAS ISD  
OLD TOWN OF GARZA  
VOL 75, PG 130  
D.R.D.C.T.

**NOTE**  
ADJUST ALL TOP OF MANHOLE COVERS,  
VALVE COVERS, AND METER CAN COVERS  
AS REQUIRED FOR NEW PAVEMENT

REMOVE & REPLACE AS REQUIRED  
EXISTING BRICKWORK FOR NEW CONC  
PAVEMENT INCLUDING DRIVE APPROACH.  
REPLACE WITH EXISTING COLOR & STYLE.

EX. STORM SEWER CURB INLET  
TOP RIM ELEV = 578.25  
FLOWLINE ELEV = 573.25



**MAIN STREET**  
60' RIGHT-OF-WAY  
(VOL 75, PG 130, D.R.D.C.T.)

FINISH GRADE TO TOP OF NEW CURB  
(REF LANDSCAPE PLANS)

LOTS 1-2, BLOCK 13  
EARL WAYBURN WILSON ESTATE  
OLD TOWN OF GARZA  
VOL 75, PG 130  
D.R.D.C.T.

**NOTE**  
PROVIDE A DOWNTURNED EDGE BEAM  
(6" / 8" WIDE) EMBEDDED 6" MINIMUM  
INTO EXISTING UNDISTURBED SUBGRADE  
ALONG THE SOUTH PAVEMENT SIDE AND  
PART OF THE EAST PAVEMENT SIDE  
(SEE DETAIL A/C103)

**NOTE**  
SEE SHEET C104 FOR OVERALL CONC  
PAVEMENT PLAN SHOWING LIMITS OF  
VARIOUS PAVEMENT SECTIONS

**ATTENTION**

1. PROVIDE ALL NECESSARY PVC PIPE SLEEVES FOR ALL IRRIGATION LINES TO INCLUDE WIRING TO CONTROL BOX IN THE BLDG ELECTRIC ROOM.
2. PROVIDE ALL NECESSARY PVC PIPE SLEEVES FOR ALL PARKING LOT LIGHT POLES TO HARD WIRE TO THE BUILDING ELECTRIC ROOM.

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**EXISTING PAVEMENT LEGEND**

- EXISTING CONCRETE SIDEWALK TO REMAIN
- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE CURB

**UTILITY SYMBOLS**

- GAS METER
- WATER METER
- AUTOMATIC FLUSH POINT
- STREET LAMP/POLE
- WATER MAIN VALVE

GENERAL PLAN LEGEND		
DESCRIPTION	EXISTING	NEW (by this project)
STORM WATER DRAINAGE FLOW		
GRADING CONTOUR		
PAVING CONTOUR		
SPOT ELEVATION	620.0 +	PV 620.0 •
STORM WATER DRAINAGE DIVIDE		
WATER MAIN	EX. 8" WTR	NEW 8" WTR
FIRE HYDRANT		
FIRE DEPARTMENT CONNECTION (FDC)		
WASTEWATER MAIN	EX. 8" WW	NEW 8" WW
WASTEWATER MANHOLE		
STORM WATER SEWER PIPE		
STORM WATER MANHOLE		
STORM WATER CURB INLET		
TREE		
POWER POLE WITH OVERHEAD ELEC LINE (OHE)	PP - OHE	PP - OHE

BENCHMARKS			
MARK	DESCRIPTION	ELEV.	NORTHING-Y EASTING-X
TBM1	CHISELED SQUARE IN CORNER OF STORMWATER SEWER CURB INLET AT THE NORTH SIDE OF MAIN STREET, WEST OF FALCON DRIVE	578.74	
CM1	1/2" CAPPED IRON ROD FOUND AT NORTHWEST PROP CORNER		

- GENERAL PLAN NOTES - C400**
1. SEE SHEET C600 FOR GENERAL CIVIL ENGINEERING NOTES, AND SHEET C601 FOR SITING DETAILS.
  2. THE GEOTECHNICAL REPORT REFERENCED IN THESE DRAWINGS AND GENERAL NOTES SHALL REFER TO THE FINDINGS IN THE SUBSURFACE INVESTIGATION, AMERICAN GEOTECHNICAL & CIVIL CONSULTING REPORT NO 55602, DATED 19 SEPT 2022.
  3. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY AND MARK THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY.
  4. ALL WORK SHALL BE DONE TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THESE DRAWINGS. BASIC HORIZONTAL AND VERTICAL CONTROL POINTS, ESTABLISHED BY THE ENGINEER ARE SHOWN ON THESE PLANS. THESE POINTS SHALL BE USED AS DATUM FOR WORK UNDER THIS PROJECT. ALL ADDITIONAL SURVEY, LAYOUT, OR MEASUREMENT WORK SHALL BE PERFORMED BY THE CONTRACTOR AS A PART OF THE WORK UNDER THIS CONTRACT.
  5. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITY LINES, PAVING, DRIVEWAYS, CURBS, WALKS, STEPS, RETAINING WALLS, FENCES, IRRIGATION SYSTEMS, AND OTHER SURFACE AND SUBSURFACE STRUCTURES, TOGETHER WITH ALL SOIL AND SHRUBS AFFECTED BY HIS CONSTRUCTION OPERATIONS. RESTORATION OF ALL DAMAGED PROPERTY TO ITS ORIGINAL CONDITION SHALL BE PERFORMED BY AND AT THE EXPENSE OF THE CONTRACTOR.
  6. ALL DEMOLITION AND EXCAVATED MATERIALS SHALL BE LEGALLY DISPOSED OFF THE SITE BY THE CONTRACTOR.
  7. CONSTRUCTION ACTIVITY SHALL CONFORM TO ALL CITY OF LAKE DALLAS AND LOMA REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL APPLICABLE PERMITS FOR THIS PROJECT (INCLUDING R.O.W.).
  8. IMPORTED FILL MATERIAL USED UNDER PAVEMENTS, SHALL CONSIST OF LOW PLASTICITY MATERIAL HAVING A PLASTICITY INDEX (PI) BETWEEN 5 AND 15, A LIQUID LIMIT LESS THAN 30, AND CONTAINING A MINIMUM OF 15% FINES (MATERIAL PASSING THE 200 SIEVE). ALL FILL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8-INCHES IN THICKNESS AND COMPACTED TO 95% OF STANDARD PROCTOR DENSITY WITHIN PLUS OR MINUS 2% OF OPTIMUM MOISTURE CONTENT. THE ON-SITE MATERIAL MEETING THE SPECIFICATIONS OF THIS GENERAL NOTE, MAY BE USED UNDER PAVEMENTS.
  9. PAVEMENT SUBGRADE PREPARATION SHALL BE PERFORMED AS FOLLOWS:
    - a) STRIP THE TOP LAYER OF TOPSOIL, VEGETATION, AND HEAVY ROOT MATERIAL TO A STRIPPING DEPTH OF AT LEAST THREE (3) FEET. THEN PROOF ROLL TO VERIFY STABILITY. ANY SOFT OR YIELDING AREAS SHOULD BE UNDERCUT TO FIRM MATERIAL AND REPLACED WITH CONTROLLED MOISTURE CONTENT AND DENSITY.
    - b) AFTER PROOF ROLLING, THE SUBGRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 8-INCHES, AND THEN MOISTURE CONDITIONED TO THE RANGE OF PLUS TWO TO PLUS FIVE (+2% TO +5%) ABOVE THE SOIL'S OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D-698. COMPACT THE SUBGRADE TO A MINIMUM 95-PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698.
    - c) SOILS CONSISTING OF CLAY AND/OR SANDY CLAYS WITH CLAY INTERVALS SHALL BE LIME STABILIZED WITH 6-PERCENT HYDRATED LIME BY DRY SOIL WEIGHT. (REFERENCE THE PROJECT'S GEOTECHNICAL REPORT)
 

THE HYDRATED LIME SHOULD MEET THE REQUIREMENTS OF ITEM 264 (TYPE A) IN THE TxDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS AND BRIDGES. THIS LIME SHOULD BE THOROUGHLY MIXED AND BLENDED WITH THE TOP 8-INCHES OF SCARIFIED SUBGRADE AND COMPACTED TO AT LEAST 95-PERCENT OF ITS MAXIMUM STANDARD PROCTOR DRY DENSITY. THE MOISTURE CONTENT OF THE LIME MODIFIED MATERIAL AT THE TIME OF COMPACTION SHOULD BE WITHIN A RANGE OF PLUS 3 TO PLUS 6 PERCENT (+ 3% TO + 6%) OF ITS OPTIMUM VALUE, AS DETERMINED BY ASTM D-698. MIXING, CURING AND COMPACTION OF THE LIME MODIFIED LAYER IS DESCRIBED IN ITEM "260" OF THE PREVIOUSLY MENTIONED TxDOT STANDARD SPECIFICATIONS.
    - d) SOILS CONSISTING OF CLAYEY SANDS WITH PLASTICITY INDEX OF LESS THAN 15 SHALL BE MODIFIED/STABILIZED BY MOISTURE CONDITIONING (AS DIRECTED BY THE GEOTECHNICAL ENGINEER).
 

THE TOP 8-INCHES OF SCARIFIED SUBGRADE SHOULD BE MOISTURE CONDITIONED TO THE RANGE OF PLUS 2 TO PLUS 5 PERCENT (+2% TO +5%) ABOVE THE SOIL'S OPTIMUM MOISTURE CONTENT AND COMPACTED TO A MINIMUM OF 95-PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED BY ASTM D-698.
    - e) NONEXPANSIVE SELECT FILL MATERIAL SHALL BE PROVIDED TO OBTAIN THE REQUIRED FINISH GRADE ELEVATION, WITHOUT THE USE OF LEVELING SAND OR SAND CUSHION. THE USE OF SAND CUSHION FOR SUBGRADE LEVELING PURPOSES IS PROHIBITED.
    - f) PLACE SELECT FILL IN 8-INCH MAX LOOSE LIFTS AND UNIFORMLY COMPACTED TO A MINIMUM OF 95-PERCENT OF STANDARD PROCTOR DENSITY WITHIN PLUS 2 TO PLUS 2 PERCENT (-2% TO +2%) OF THE SOIL'S OPTIMUM MOISTURE CONTENT.
  10. FLEXIBLE BASE (TxDOT ITEM 247, TYPE D, GRADE 1-2) MAY BE USED IN LIEU OF SELECT FILL.
  11. THE SUBGRADE SHALL BE MAINTAINED IN A SMOOTH, COMPACTED CONDITION, IN CONFORMITY WITH THE REQUIRED PAVEMENT SECTION AND ESTABLISHED GRADE, UNTIL THE PAVEMENT IS PLACED, AND SHALL BE KEPT WETTED DOWN SUFFICIENTLY IN ADVANCE OF PLACING ANY PAVEMENT TO ENSURE ITS BEING IN A FIRM AND MOIST CONDITION FOR AT LEAST TWO INCHES BELOW THE SURFACE OF THE PREPARED SUBGRADE. ONLY SUCH SUBGRADE AS IS NECESSARY FOR THE SATISFACTORY PROSECUTION OF THE WORK SHALL BE COMPLETED AHEAD OF THE PLACEMENT OF PAVEMENT. PROVIDE COMPLETE DRAINAGE OF THE SUBGRADE AT ALL TIMES.
  12. THE PAVEMENT SECTION FOR ALL THE IMPROVED DRIVEWAY APPROACHES SHALL CONSIST OF 9-INCH THICK 4500 PSI CONCRETE WITH #4 BARS SPACED AT 18-INCH CENTERS EACH WAY OVER THE COMPACTED IMPROVED SUBGRADE.
  13. THE PAVEMENT SECTION WITHIN ALL RIGHT-OF-WAY SHALL CONSIST OF 9-INCH THICK 4500 PSI CONCRETE WITH #4 BARS SPACED AT 18-INCH CENTERS EACH WAY OVER THE COMPACTED IMPROVED SUBGRADE.
  14. THE PAVEMENT SECTION FOR THE IMPROVED PARKING LOT PAVEMENT (AUTOMOBILE TRAFFIC) SHALL CONSIST OF 6-IN THICK 4500 PSI CONC WITH #4 BARS SPACED AT 18-INCH CENTERS EACH WAY OVER THE COMPACTED IMPROVED SUBGRADE.
  15. THE PAVEMENT SECTION FOR THE IMPROVED DUMPSTER PAD PAVEMENT SHALL CONSIST OF 12-INCH THICK 4500 PSI CONC WITH #4 BARS SPACED AT 12-INCH CENTERS EACH WAY OVER THE COMPACTED IMPROVED SUBGRADE.
  16. THE CONCRETE SIDEWALKS SHALL CONSIST OF 4-INCH THICK 3000 PSI CONCRETE, REINFORCED WITH #3 BARS SPACED AT 18-INCH CENTERS EACH WAY OVER COMPACTED SUBGRADE.
  17. ALL JOINTS, INCLUDING EXPANSION JOINTS WITH REMOVABLE TACK STRIPS, SHALL BE SEALED WITH JOINT SEALANT.
  18. SAWED CONTROL JOINTS SHALL BE PROVIDED AT 15ft TO 20ft CENTERS EACH WAY, AND FILLED WITH HOT RUBBER JOINT SEALING COMPOUND.
  19. REINFORCING STEEL SHALL BE NEW DOMESTIC BILLET STEEL CONFORMING TO ASTM A-615, GRADE 60, AND SHALL BE SUPPORTED BY BAR CHAIRS.
  20. MANHOLES, WATER VALVES, METERS, CLEANOUTS, ETC. MAY BE BOXED OUT OR ISOLATED USING EXPANSION JOINT FILLER. THE MINIMUM LENGTH OF EACH SIDE OF BOX OUT SHALL BE 24-INCHES.
  21. SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".

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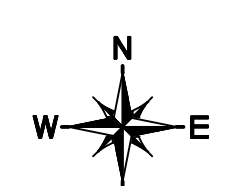
25 APR 2025

**CIVIL ENGINEERING CONSTRUCTION PLANS**  
LAKE DALLAS MIXED-USE  
LOT 1R, BLOCK 14  
312 Main Street Lake Dallas, Texas 75065

DATE	REVISION	DESCRIPTION
24oct2024	Revision A	Per City Review Comments
21mar2025	Revision B	Per City Review Comments
25apr2025	Revision C	Per City Review Comments

PROJECT No: C-3034  
DATE: mar 2024  
CHECKED BY: CCEI  
DRAWN BY: CCEI

**SHEET No.**  
C400  
REVISION C



**01 GRADING PLAN**

SCALE: 1" = 20'

0.52 ACRE BLOCK  
CITY LAKE DALLAS

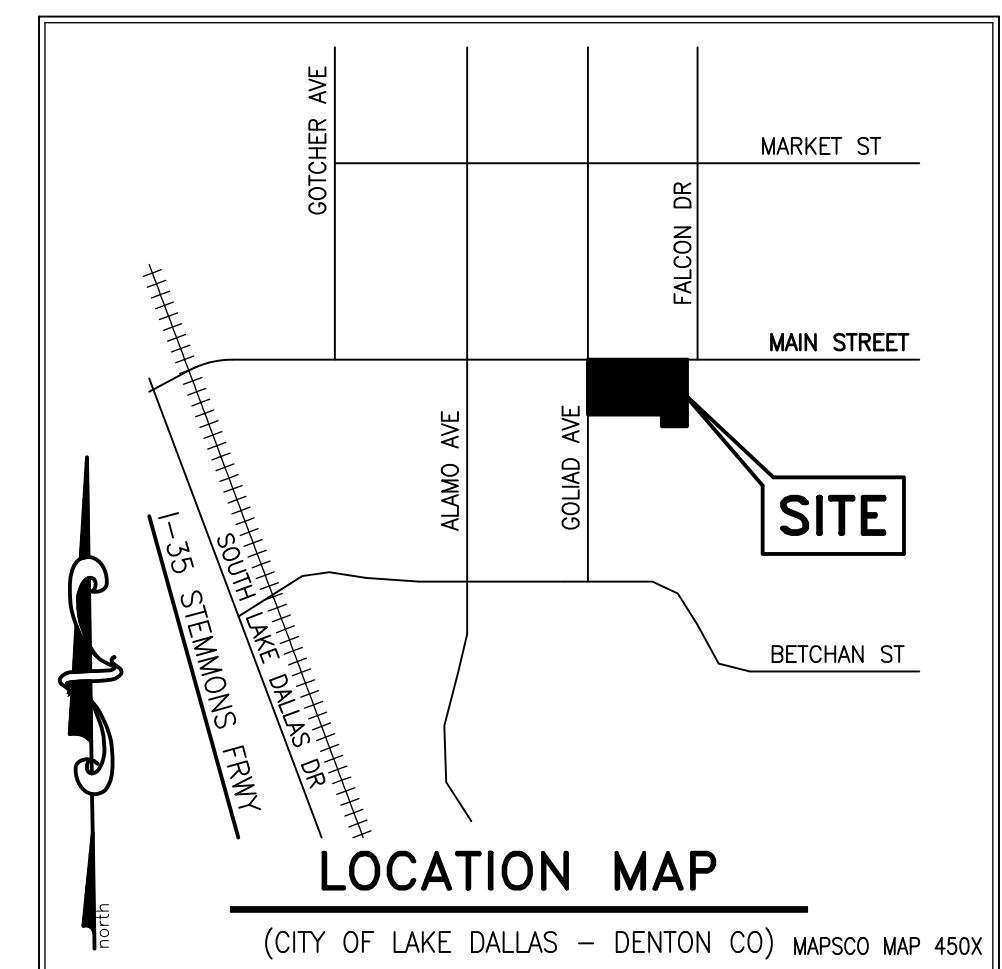
**WARNING TO CONTRACTOR**  
UNDERGROUND UTILITIES IN THE AREA OF CONSTRUCTION.  
THE CONTRACTOR SHALL CALL TEXAS811 AT (811) AND DIG-TESS  
AT (800.395.0440) AND/OR OTHER UTILITY LOCATING SERVICES AT  
LEAST 48-HOURS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY.

LOTS 1-6, BLOCK 10  
301 MAIN STREET LAKE DALLAS LLC

200ft TO CURB INLET

LOTS 4-6, BLOCK 9  
LAKE DALLAS ISD

**NOTE:**  
APPLICABLE CONTRACTORS SHALL EACH COORDINATE WITH ELECTRIC,  
GAS, AND TELEPHONE UTILITY COMPANIES FOR REQUIRED SERVICE TO  
THE BUILDING. REFERENCE ARCHITECTURAL & MEP PLANS.  
COORDINATE WITH OWNER'S REP.



**GENERAL PLAN LEGEND** proj. C3034  
1/6/2024

DESCRIPTION	EXISTING	NEW (by this project)
STORM WATER DRAINAGE FLOW	→	→
GRADING CONTOUR	--- 62.0 ---	--- 625 ---
PAVING CONTOUR		[630]
SPOT ELEVATION	620.0 +	PV 620.0 •
STORM WATER DRAINAGE DIVIDE	---	---
WATER MAIN	EX. 8" WTR	NEW 8" WTR
FIRE HYDRANT	○ FH	● FH
FIRE DEPARTMENT CONNECTION (FDC)	⊕ FDC	⊕ FDC
WASTEWATER MAIN	EX. 8" WW	---
WASTEWATER MANHOLE	○ MH	○ MH
STORM WATER SEWER PIPE	EX. 20" RCP	LINE "11" - 18" RCP
STORM WATER MANHOLE	○	○
STORM WATER CURB INLET	○	○
TREE	○	○
POWER POLE WITH OVERHEAD ELEC LINE (OHE)	PP OHE	PP OHE

CM = CONTROL MONUMENT TGR = TOP OF GRATE (ELEV) B/B = BACK TO BACK (CURB) PP = POWER POLE  
 CP = CONTROL POINT GT = TOP CUTTER ELEV. CSP = CORRUGATED STL PIPE FH = FIRE HYDRANT  
 IRF = IRON ROD FOUND PV = TOP OF CONC PAVT (EL) RCP = REINF. CONC PIPE MW = WATER VALVE  
 TBM = TEMP. BENCHMARK EA = EDGE OF ASPHALT (ELEV) HP = HIGH POINT MH = MANHOLE  
 NG = NATURAL GRADE TC = TOP OF CURB (ELEV) LP = LOW POINT WW = WASTEWATER  
 ME = MATCH EXISTING (ELEV) TW = TOP OF WALL (ELEV) FF = FINISH FLOOR FL = FLOWLINE

**BENCHMARKS** project C3034

MARK	DESCRIPTION	ELEV.	NORTHING-y	EASTING-x
TBM1	CHISELED SQUARE IN CORNER OF STORMWATER SEWER CURB INLET AT THE NORTH SIDE OF MAIN STREET, WEST OF FALCON DRIVE	578.74		
CM1	1/2" CAPPED IRON ROD FOUND AT NORTHWEST PROP CORNER			

**GENERAL PLAN NOTES - C500 & C501**

- SEE SHEET C600 FOR GENERAL CIVIL ENGINEERING NOTES, AND C601 FOR SITEMARK DETAILS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY AND MARK THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY.
- ALL WORK SHALL BE DONE TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THESE DRAWINGS. BASIC HORIZONTAL AND VERTICAL CONTROL POINTS, ESTABLISHED BY THE ENGINEER ARE SHOWN ON THESE PLANS. THESE POINTS SHALL BE USED AS DATUM FOR WORK UNDER THIS PROJECT. ALL ADDITIONAL SURVEY, LAYOUT, OR MEASUREMENT WORK SHALL BE PERFORMED BY THE CONTRACTOR AS A PART OF THE WORK UNDER THIS CONTRACT.
- CONSTRUCTION ACTIVITY SHALL CONFORM TO ALL CITY OF LAKE DALLAS AND LCMUA REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL APPLICABLE PERMITS FOR THIS PROJECT (INCLUDING R.O.W.).

**DRAINAGE AREA CALCULATIONS** Project C3034

PRE-DEVELOPED CALCULATIONS

DRAINAGE AREA MARK	AREA (total)	Tc (min)	I <sub>100</sub> (in/hr)	C	Q <sub>100</sub> (total)	REMARKS
eDA1	0.427ac	20	6.96	0.30	0.89cfs	Surface drains southward to adjoining property
eDA3	0.181ac	10	9.24	0.90	1.51cfs	Offsite surface drainage along Main Street
TOTAL PRE-DEVELOPED ONSITE RUNOFF					0.89cfs	

**NOTE:**

- THE DRAINAGE CALCULATIONS NOTED ABOVE UTILIZE THE RATIONAL METHOD IN ACCORDANCE WITH CITY OF LAKE DALLAS STANDARDS PER THE ISWM TECHNICAL MANUAL AND THE DENTON COUNTY RAINFALL DATA PROVIDED THEREIN USING RECOMMENDED RUNOFF COEFFICIENT (C) IN ACCORDANCE TO TABLES 4.2 & 4.4 OF THE LAKE DALLAS ENGINEERING STANDARDS MANUAL:
  - C = 0.90 (NON-RESIDENTIAL - PAVEMENTS & BUILDINGS)
  - C = 0.30 (UNDEVELOPED LAND - GRASSLAND)
  - Tc = TIME OF CONCENTRATION (LAKE DALLAS TABLE 4.2)
  - I = RAINFALL INTENSITY FOR THE DURATION PERIOD (LAKE DALLAS TABLE 4.4)
  - Q = RUNOFF RATE = (C)(I)(A)

**EXISTING PAVEMENT LEGEND**

- EXISTING CONCRETE SIDEWALK TO REMAIN
- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE CURB

**UTILITY SYMBOLS**

- ⊗ GAS METER
- ⊕ WATER METER
- ⊠ AUTOMATIC FLUSH POINT
- ☆ STREET LAMP/POLE
- T WATER MAIN VALVE

**ATTENTION**

- PROVIDE ALL NECESSARY PVC PIPE SLEEVES FOR ALL IRRIGATION LINES TO INCLUDE WIRING TO CONTROL BOX IN THE BLDG ELECTRIC ROOM.
- PROVIDE ALL NECESSARY PVC PIPE SLEEVES FOR ALL PARKING LOT LIGHT POLES TO HARD WIRE TO THE BUILDING ELECTRIC ROOM

**NOTE**

PUBLIC RIGHT-OF-WAY, EASEMENTS, AND COMMON AREAS MUST BE STABILIZED WITH PERENNIAL VEGETATION COVER, FULLY ESTABLISHED WITH 100% COVERAGE, OR OTHER APPROVED STABILIZATION METHOD

**DRAINAGE NARRATIVE**

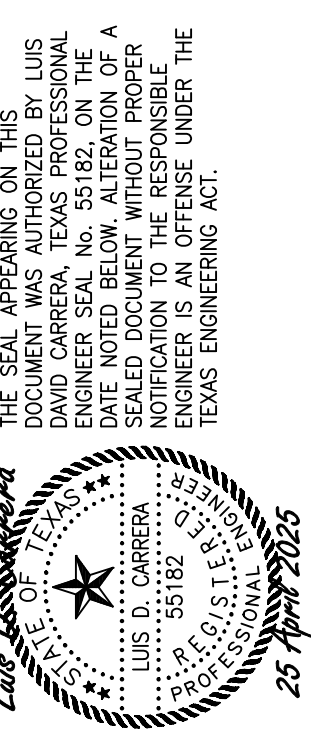
- PRE-DEVELOPED STORMWATER DISCHARGE FOR THE EXISTING 0.427 ACRE VACANT PROPERTY CONSISTS OF SHEET FLOW TO THE ADJOINING PROPERTY - 0.89cfs SOUTHWARD.
- POST-DEVELOPED STORMWATER DISCHARGE TO MAIN STREET NORTHWARD CONSISTS OF 0.79cfs, RESULTING IN A 0.79cfs INCREASE FROM PRE-DEVELOPED DISCHARGE, WITHIN TOLERABLE LIMITS.
- POST-DEVELOPED STORMWATER DISCHARGE TO GOLIAD AVENUE WESTWARD CONSISTS OF 2.77cfs, RESULTING IN A 1.87cfs INCREASE FROM PRE-DEVELOPED DISCHARGE, WITHIN TOLERABLE LIMITS.
- BASED ON THE ABOVE, THE MAXIMUM INCREASED POST-DEVELOPED WATER DISCHARGE OFFSITE FROM THE 0.427 ACRES OF THIS PROJECT, WILL RESULT IN A 1.88cfs, WITHIN TOLERABLE LIMITS.

**NOTE:**

THE CIVIL ENGINEERING DESIGN SHOWN HEREIN THESE PLANS FOR THIS PROJECT IS BASED ON ISSUANCE OF A CITY OF LAKE DALLAS PLANNED DEVELOPMENT (PD) APPROVING ALL CURRENT ZONING (C-3 COMMERCIAL) NON-COMPLIANT ITEMS SHOWN ON THESE PLANS.

INDICATES DRAINAGE BASIN NAME A1  
 INDICATES BASIN AREA (ACRE) 0.187ac  
 INDICATES 100yr STORM FLOW (CFS) 0.97

**CARRERA consulting engineers, inc.**  
Structural, Civil, & Construction Engineering  
Texas Board of Professional Engineers Firm Registration No. F-8354  
3920 Meredith Avenue Dallas, Texas 75211 o (214) 330-4771 f (214) 330-2167



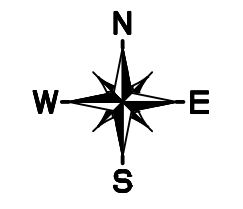
**CIVIL ENGINEERING CONSTRUCTION PLANS**  
LAKE DALLAS MIXED-USE  
LOT 1R, BLOCK 14  
312 Main Street  
Lake Dallas, Texas 75065

**PRE-DEVELOPED DRAINAGE AREA PLAN & CALCULATIONS**

DATE	REVISION	DESCRIPTION
mar 2024	24oct2024	Revision A - Per City Review Comments
	21mar2025	Revision B - Per City Review Comments
	25apr2025	Revision C - Per City Review Comments

CHECKED BY: CCEI

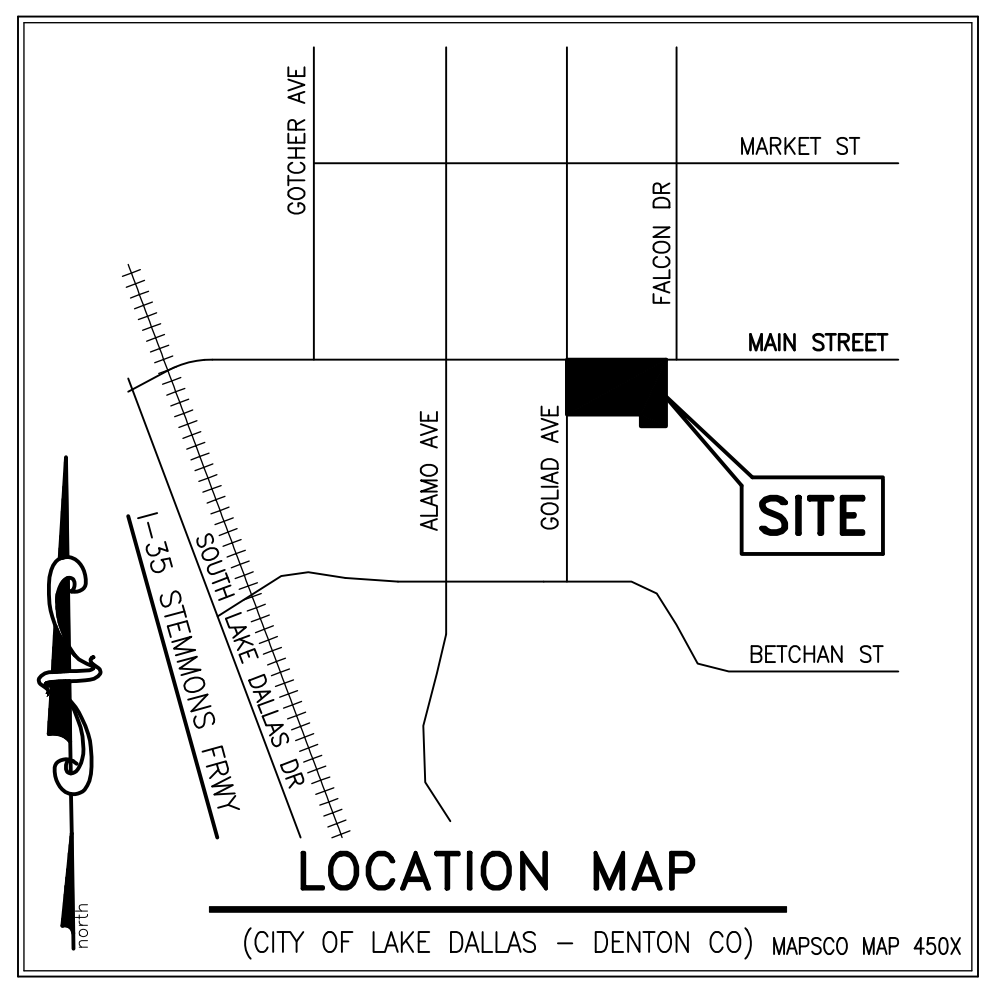
**SHEET No.**  
C500  
REVISION C



**01 PRE-DEVELOPED DRAINAGE AREA PLAN**  
SCALE: 1" = 20'

**WARNING TO CONTRACTOR**  
 UNDERGROUND UTILITIES IN THE AREA OF CONSTRUCTION.  
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 3920 Meredith Avenue Dallas, Texas 75211 o (214) 330-4771 f (214) 330-2167

GENERAL PLAN LEGEND		
DESCRIPTION	EXISTING	NEW (by this project)
STORM WATER DRAINAGE FLOW	⇒	→
GRADING CONTOUR	--- 620 ---	--- 625 ---
PAVING CONTOUR	---	--- 630 ---
SPOT ELEVATION	620.0 +	PV 620.0 •
STORM WATER DRAINAGE DIVIDE	---	---
WATER MAIN	EX. 8" WTR	NEW 8" WTR
FIRE HYDRANT	○ FH	● FH
FIRE DEPARTMENT CONNECTION (FDC)	⊕ FDC	⊕ FDC
WASTEWATER MAIN	EX. 8" WW	---
WASTEWATER MANHOLE	○ MH	○ MH
STORM WATER SEWER PIPE	EX. 20" RCP	LINE "X1" - 18" RCP
STORM WATER MANHOLE	○	○
STORM WATER CURB INLET	○	○
TREE	○	○
POWER POLE WITH OVERHEAD ELEC LINE (OHE)	PP OHE	PP OHE

BENCHMARKS				
MARK	DESCRIPTION	ELEV.	NORTHING-Y	EASTING-X
TBM1	CHISELED SQUARE IN CORNER OF STORMWATER SEWER CURB INLET AT THE NORTH SIDE OF MAIN STREET, WEST OF FALCON DRIVE	578.74		
CM1	1/2" CAPPED IRON ROD FOUND AT NORTHWEST PROP CORNER			

**GENERAL PLAN NOTES - C500 & C501**

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DRAINAGE AREA CALCULATIONS						
POST-DEVELOPED CALCULATIONS						
DRAINAGE AREA MARK	AREA (total)	Tc (min)	I <sub>100</sub> (in/hr)	C	Q <sub>100</sub> (total)	REMARKS
DA1	0.094ac	10	9.24	0.90	0.79cfs	Surface drains northward to Main Street
DA2	0.333ac	10	9.24	0.90	2.77cfs	Surface drains westward to Goliad Avenue
DA3	0.085ac	10	9.24	0.90	0.71cfs	Surface drains along new eastside curb/gutter at Goliad
TOTAL PRE-DEVELOPED RUNOFF (ENTIRE SITE)					3.56cfs	

**NOTE:**

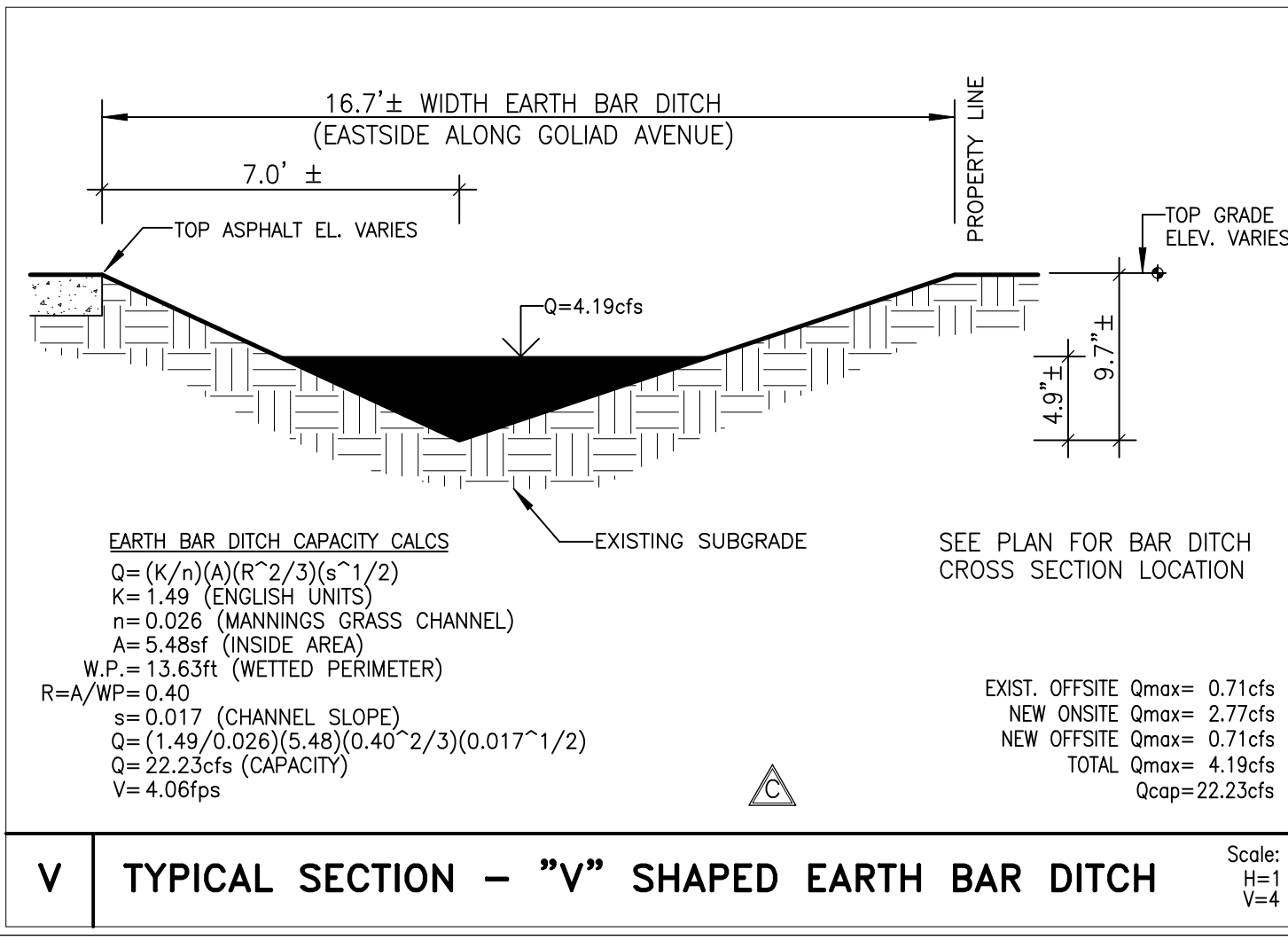
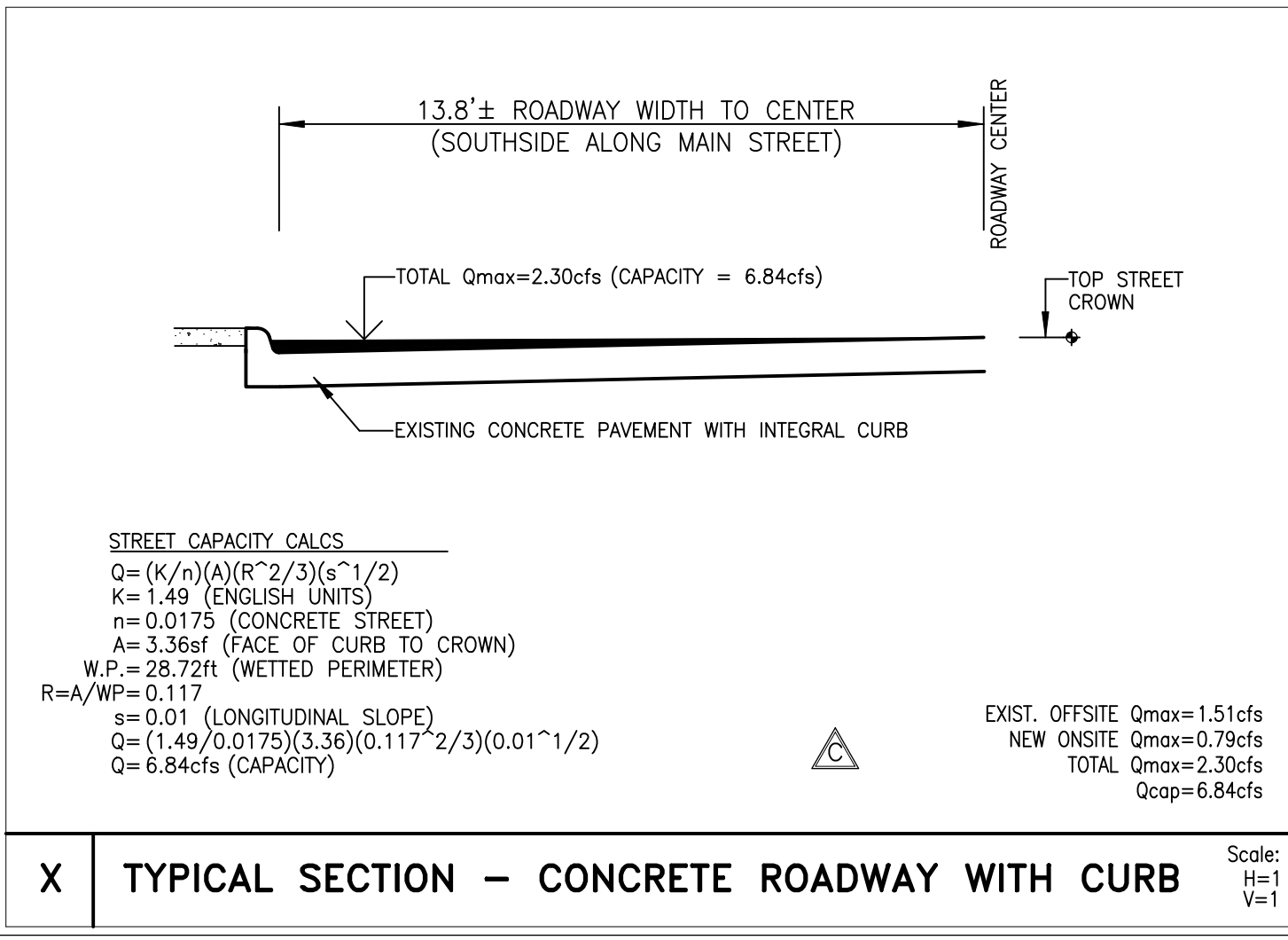
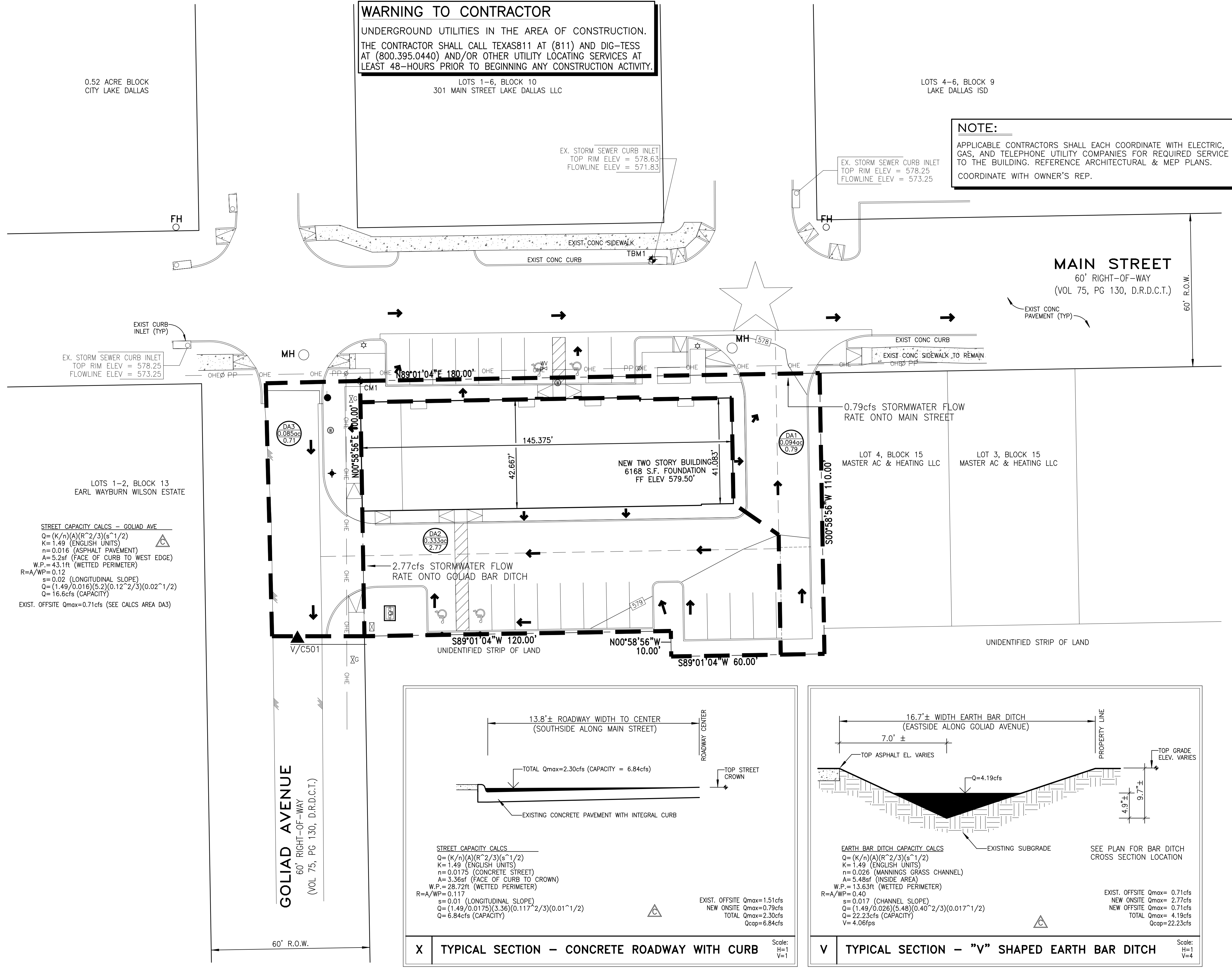
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  - I = RAINFALL INTENSITY FOR THE DURATION PERIOD (LAKE DALLAS TABLE 4.4)
  - Q = RUNOFF RATE = (C)I(A)

EXISTING PAVEMENT LEGEND		UTILITY SYMBOLS	
---	EXISTING CONCRETE SIDEWALK TO REMAIN	⊗	GAS METER
---	EXISTING ASPHALT PAVEMENT	⊕	WATER METER
---	EXISTING CONCRETE CURB	⊗	AUTOMATIC FLUSH POINT
○	STREET LAMP/POLE	⊕	WATER MAIN VALVE

**CIVIL ENGINEERING CONSTRUCTION PLANS**  
 LAKE DALLAS MIXED-USE  
 LOT 1R, BLOCK 14  
 312 Main Street  
 Lake Dallas, Texas 75065

POST-DEVELOPED DRAINAGE AREA PLAN & CALCULATIONS			
DATE	REVISION	DESCRIPTION	BY
mar 2024	24oct2024	Revision A - Per City Review Comments	CC/EI
	21mar2025	Revision B - Per City Review Comments	CC/EI
	25apr2025	Revision C - Per City Review Comments	CC/EI

**SHEET No.**  
**C501**  
 REVISION C



**NOTE**  
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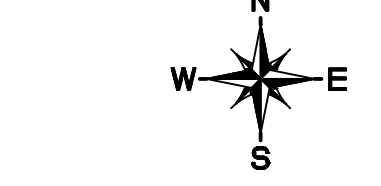
**ATTENTION**

- PROVIDE ALL NECESSARY PVC PIPE SLEEVES FOR ALL IRRIGATION LINES TO INCLUDE WIRING TO CONTROL BOX IN THE BLDG ELECTRIC ROOM.
- PROVIDE ALL NECESSARY PVC PIPE SLEEVES FOR ALL PARKING LOT LIGHT POLES TO HARD WIRE TO THE BUILDING ELECTRIC ROOM

**NOTE:**  
 THE CIVIL ENGINEERING DESIGN SHOWN HEREIN THESE PLANS FOR THIS PROJECT IS BASED ON ISSUANCE OF A CITY OF LAKE DALLAS PLANNED DEVELOPMENT (PD) APPROVING ALL CURRENT ZONING (C-3 COMMERCIAL) NON-COMPLIANT ITEMS SHOWN ON THESE PLANS.

**DRAINAGE NARRATIVE**

- PRE-DEVELOPED STORMWATER DISCHARGE FOR THE EXISTING 0.427 ACRE VACANT PROPERTY CONSISTS OF SHEET FLOW TO THE ADJOINING PROPERTY - 0.89cfs SOUTHWARD.
- POST-DEVELOPED STORMWATER DISCHARGE TO MAIN STREET NORTHWARD CONSISTS OF 0.79cfs, RESULTING IN A 0.79cfs INCREASE FROM PRE-DEVELOPED DISCHARGE, WITHIN TOLERABLE LIMITS.
- POST-DEVELOPED STORMWATER DISCHARGE TO GOLIAD AVENUE WESTWARD CONSISTS OF 2.77cfs, RESULTING IN A 1.87cfs INCREASE FROM PRE-DEVELOPED DISCHARGE, WITHIN TOLERABLE LIMITS.
- BASED ON THE ABOVE, THE MAXIMUM INCREASED POST-DEVELOPED WATER DISCHARGE OFFSITE FROM THE 0.427 ACRES OF THIS PROJECT, WILL RESULT IN A 1.88cfs, WITHIN TOLERABLE LIMITS.



**01 POST-DEVELOPED DRAINAGE AREA PLAN**  
 SCALE: 1" = 20'

# GENERAL CIVIL SITEWORK NOTES

## GENERAL NOTES

1. THE "CONTRACTOR" REFERENCED IN THESE GENERAL CIVIL SITEWORK NOTES AND CIVIL PLANS SHALL REFER TO THE APPLICABLE "TRADE CONTRACTOR" FOR THE SPECIFIC WORK CONTRACTED TO BE PERFORMED.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SUPPLY AND INSTALL ALL MATERIALS SO AS TO MEET OR EXCEED PROJECT SPECIFICATIONS AND CITY OF LAKE DALLAS, TEXAS CODES AND ORDINANCES. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL APPLICABLE PERMITS FOR THIS PROJECT, UNLESS OTHERWISE AGREED.
3. EXISTING UTILITIES SHOWN ARE ASSUMED FROM INFORMATION AVAILABLE AND ARE NOT GUARANTEED TO BE COMPLETE AND ACCURATE. THE CONTRACTOR SHALL VERIFY AND MAKE THE NECESSARY ARRANGEMENTS AND COMPLY WITH REQUIREMENTS AND SPECIFICATIONS OF THE RESPECTIVE UTILITIES TO BE CUT, MOVED, RELOCATED AND/OR RECONNECTED TO AN EXISTING FACILITY.
4. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY AND MARK THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY.
5. ALL WORK SHALL BE DONE TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THESE DRAWINGS. BASIC HORIZONTAL AND VERTICAL CONTROL POINTS, ESTABLISHED BY THE ENGINEER ARE SHOWN ON THESE PLANS. THESE POINTS SHALL BE USED AS DATUM FOR WORK UNDER THIS PROJECT. ALL ADDITIONAL SURVEY, LAYOUT, OR MEASUREMENT WORK SHALL BE PERFORMED BY THE CONTRACTOR AS A PART OF THE WORK UNDER THIS CONTRACT.
6. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES, LINES, PAVING, DRIVEWAYS, CURBS, WALKS, STEPS, RETAINING WALLS, FENCES, IRRIGATION SYSTEMS, AND OTHER SURFACE AND SUBSURFACE STRUCTURES, TOGETHER WITH ALL SOD AND SHRUBS AFFECTED BY HIS CONSTRUCTION OPERATIONS. RESTORATION OF ALL DAMAGED PROPERTY TO ITS ORIGINAL CONDITION SHALL BE PERFORMED BY AND AT THE EXPENSE OF THE CONTRACTOR.
7. CONTRACTOR(S) SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING SURVEY MONUMENTS, INCLUDING ANY STAKE AND USED SURVEY WORK AND/OR SITE LAYOUT WORK. RESTORATION OF DAMAGED SURVEY MONUMENTS, INCLUDING RESTAKING, SHALL BE AT THE EXPENSE OF THE RESPONSIBLE CONTRACTOR(S).
8. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE JOB SITE AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY OMISSIONS, DISCREPANCIES, OR DIMENSIONAL ERRORS PRIOR TO BEGINNING OR FABRICATING ANY WORK, OTHERWISE THE CORRECTIONS & ASSOCIATED COSTS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
9. ALL DEMOLITION AND EXCAVATED MATERIALS SHALL BE LEGALLY DISPOSED OFF THE SITE BY THE GENERAL CONTRACTOR.
10. IN THE EVENT THAT UNCHARTED UTILITIES OR OTHER UNFORESEEN FIELD CONDITIONS REQUIRE MODIFICATIONS OF THE DRAWINGS, THE CONTRACTOR SHALL OBTAIN THE APPROVAL OF THE OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.
11. ALL CONCRETE PAVEMENT AND SIDEWALKS SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH AS SPECIFIED IN THESE PLANS.
12. REFERENCE THE PROJECT'S GEOTECHNICAL ENGINEERING STUDY FOR ALL SOIL PREPARATION AND MATERIAL TESTING REQUIREMENTS.

## SUBSTITUTIONS

1. ALL REQUESTS FOR SUBSTITUTIONS OF MATERIALS OR DETAILS SHOWN IN THE CONTRACT DOCUMENTS SHALL BE SUBMITTED FOR APPROVAL DURING THE BIDDING PERIOD. ONCE BIDS ARE ACCEPTED, PROPOSED SUBSTITUTIONS WILL BE CONSIDERED ONLY WHEN THEY ARE OFFICIALLY SUBMITTED FOR OWNER APPROVAL WITH SUFFICIENT EVIDENCE (to be provided by contractor) THE SUBSTITUTION MEETS OR EXCEEDS THE STANDARDS OF THE ORIGINALLY SPECIFIED ITEM. ADDITIONAL COST RESULTING FROM USE OF A SUBSTITUTION SHALL BE BORN BY THE CONTRACTOR.

## STORMWATER DISCHARGE AUTHORIZATION

1. FOR THE PURPOSE OF THE TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM (TPDES) PROGRAM, THIS PROJECT IS CONSIDERED A SMALLER SITE THAT WILL DISTURB LESS THAN 1-ACRE OF LAND AT ANY ONE TIME. A STORM WATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITIES IS NOT REQUIRED FROM THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ).
2. A NOTICE OF INTENT (NOI) IS NOT REQUIRED TO BE SUBMITTED TO THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AT ANY TIME.
3. A NOTICE OF TERMINATION (NOT) IS NOT REQUIRED TO BE SUBMITTED TO THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AT ANY TIME.

## EROSION CONTROL

1. PRIOR TO COMMENCING GRADING OPERATIONS, EROSION CONTROL DEVICES SHALL BE INSTALLED AS INDICATED ON THE EROSION CONTROL PLAN OR OTHER AREAS AS MAY BE DIRECTED BY THE OWNER'S REPRESENTATIVE OR CITY INSPECTOR.
2. SITE ENTRY AND/OR EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ON A PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE TO A PUBLIC ROADWAY, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO A APPROVED SEDIMENT BASIN. ALL FINES IMPOSED FOR TRACKING ONTO PUBLIC ROADS SHALL BE PAID BY THE CONTRACTOR.
3. TEMPORARY SEEDING OR OTHER METHOD OF STABILIZATION SHALL BE INITIATED WITHIN 14 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE, UNLESS ADDITIONAL CONSTRUCTION ON THE AREA IS EXPECTED WITHIN 21 DAYS OF THE LAST DISTURBANCE.
4. UPON COMPLETION OF FINE GRADING, ALL AREAS NOT OTHERWISE PERMANENTLY STABILIZED SHALL BE SEEDED AND MAINTAINED UNTIL A UNIFORM COVERAGE OF 70% MINIMUM DENSITY, AS DETERMINED BY THE OWNER'S REPRESENTATIVE, IS ACHIEVED.
5. EROSION CONTROL DEVICES MAY BE ADDED OR REDUCED IN THE FIELD AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
6. MAINTENANCE - EROSION CONTROL DEVICES SHALL BE REPAIRED OR REPLACED AS INSPECTION DEEMS NECESSARY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. ACCUMULATED SILT AT ANY EROSION CONTROL DEVICE SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6-INCHES, AND SHALL BE DISTRIBUTED ON A SITE IN A MANNER NOT CONTRIBUTING TO ADDITIONAL SITUATION.
7. THE CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL DEVICE WHICH IS DISTURBED. EACH CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES WHICH MAY LEAD TO UNAUTHORIZED DISCHARGE OR STORM WATER POLLUTION, SEDIMENTATION, OR OTHER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO, EXCESS CONCRETE DUMPING OR CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUEL AND LUBE OIL, PESTICIDES, AND ANY SOLID WASTE MATERIALS.
8. THE CONTRACTOR HAS THE OPTION TO CONSTRUCT AN "EARTH CONTAINMENT BERM" FOR STORAGE OF FUEL, MAINTENANCE, & WASH DOWNS. NO SEPARATE PAYMENT WILL BE MADE FOR THIS ITEM.
9. REFER TO THE SWPPP DOCUMENT (IF APPLICABLE) FOR ANY ADDITIONAL INFORMATION.

11. THE CONTRACTOR SHALL BE RESPONSIBLE TO CLEAN-UP SEDIMENTATION ON PRIVATE DRIVES, ADJACENT PROPERTY, STREETS, AND UNDERGROUND STORM SEWER SYSTEMS TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
12. TOP SOIL SHALL BE USED IN ALL LANDSCAPED AREAS.
13. ALL AREAS WITH EXPOSED SOIL DUE TO THE CONSTRUCTION SHALL BE RESEEDDED WITH BERMUDA SOD, UNLESS OTHERWISE SPECIFIED BY THE ARCHITECT.

## EARTHWORK

1. IMPORTED FILL MATERIAL USED UNDER CONCRETE PAVEMENTS, SHALL CONSIST OF PLASTICITY MATERIAL HAVING A PLASTICITY INDEX (PI) BETWEEN 5 AND 15, A LIQUID LIMIT LESS THAN 30, AND CONTAINING A MINIMUM OF 20% FINES (MATERIAL PASSING THE 200 SIEVE). ALL FILL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8-INCHES IN THICKNESS AND COMPACTED TO 95% OF STANDARD PROCTOR DENSITY WITHIN MINUS 2% TO PLUS 2% OF THE OPTIMUM MOISTURE CONTENT. SEE THE PROJECT'S SOILS REPORT.
2. ON-SITE SURFICIAL SOIL UNDER PAVEMENTS SHALL BE STABILIZED AS DIRECTED BY THE PROJECT GEOTECHNICAL ENGINEER AND AS FOLLOWS:
  - a) SOILS CONSISTING OF CLAY AND/OR CLAYEY SAND WITH CLAY INTERVALS SHALL BE LIME STABILIZED WITH 6-PERCENT HYDRATED LIME BY DRY SOIL WEIGHT.  
 THE HYDRATED LIME SHOULD MEET THE REQUIREMENTS OF ITEM 264 (TYPE A) IN THE TxDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS AND SIDEWALKS. THIS LIME SHOULD BE THOROUGHLY MIXED AND BLENDED WITH THE TOP 8-INCHES OF SCARIFIED SUBGRADE AND COMPACTED TO AT LEAST 95-PERCENT OF ITS MAXIMUM STANDARD PROCTOR DRY DENSITY. THE MOISTURE CONTENT OF THE LIME MODIFIED MATERIAL AT THE TIME OF COMPACTION SHOULD BE WITHIN A RANGE OF PLUS 3 TO PLUS 6 PERCENT (+3% TO +6%) OF ITS OPTIMUM VALUE, AS DETERMINED BY ASTM D-698. MIXING, CURING AND COMPACTION OF THE LIME MODIFIED LAYER IS DESCRIBED IN ITEM 260 OF THE PREVIOUSLY MENTIONED TxDOT STANDARD SPECIFICATIONS.
  - b) SOILS CONSISTING OF CLAYEY SAND WITH PLASTICITY INDEX OF LESS THAN 15 (AND AS DIRECTED BY THE GEOTECHNICAL ENGINEER) SHALL BE MOISTURE CONDITIONED INSTEAD OF LIME STABILIZED.  
 THE TOP 8-INCHES OF SCARIFIED SUBGRADE SHOULD BE MOISTURE CONDITIONED TO THE RANGE OF PLUS 2 TO PLUS 5 PERCENT (+2% TO +5%) ABOVE THE SOIL'S OPTIMUM MOISTURE CONTENT AND COMPACTED TO A MINIMUM OF 95-PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED BY ASTM D-698.
3. FLEX BASE MATERIAL USED UNDER ASPHALTIC CONCRETE PAVEMENTS, SHALL CONSIST OF TYPE "A" CRUSHED OR BROKEN AGGREGATE HAVING A GRADATION OF GRADE ONE. THE MATERIAL SHALL CONTAIN A BINDER WITH A PLASTICITY INDEX (PI) BETWEEN 4 AND 12, A LIQUID LIMIT LESS THAN 40 IN ACCORDANCE WITH ASTM D-4318. MATERIAL RETAINED ON THE No. 4 SIEVE SHALL HAVE A PERCENT WEAR OF NOT MORE THAN 45 ACCORDING TO ASTM C-131. THE MATERIAL WHEN TESTED UNDER THE WET BALL FOR DETERMINING THE DISINTEGRATION OF FLEXIBLE BASE MATERIALS, TEX-116-E SHALL NOT DEVELOP MORE THAN 50% SOIL BINDER. THE MATERIAL SHALL MEET THE REQUIRED GRADATION SPECIFICATIONS IN ACCORDANCE WITH TEX-110-E. THE FLEX BASE MATERIAL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH SPECIFICATION SECTION 2230 - AGGREGATE BASE.
4. CONCRETE PAVEMENT SUBGRADE PREPARATION SHALL BE PERFORMED AS FOLLOWS:
  - a) STRIP THE TOP LAYER OF TOPSOIL, VEGETATION, & HEAVY ROOT MATERIAL.
  - b) REMOVE AND DISPOSE OFFSITE ALL DEBRIS INCLUDING ALL EXISTING CONCRETE AND ASPHALT PAVEMENTS.
  - c) ROUGH GRADE THE SITE TO THE REQUIRED ELEVATIONS AND THEN PROOF ROLL THE ENTIRE AREA TO VERIFY STABILITY. ANY SOFT OR YIELDING AREAS SHOULD BE UNDERCUT TO FIRM MATERIAL AND REPLACED WITH CONTROLLED MOISTURE CONTENT AND DENSITY.
  - d) AFTER PROOF ROLLING, THE SUBGRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 8-INCHES, AND THEN LIME STABILIZED OR MOISTURE CONDITIONED AS DIRECTED BY THE GEOTECHNICAL ENGINEER. SEE EARTHWORK NOTE #2 ABOVE.
  - e) THE STABILIZED/MOISTURE CONDITIONED SUBGRADE SHALL BE COMPACTED TO A MINIMUM OF 95-PERCENT OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698.
  - f) NONEXPANSIVE SELECT FILL MATERIAL SHALL BE PROVIDED TO OBTAIN THE REQUIRED FINISH GRADE ELEVATION, WITHOUT THE USE OF LEVELING SAND OR SAND CUSHION. THE USE OF SAND CUSHION FOR SUBGRADE LEVELING PURPOSES IS PROHIBITED.
  - g) SELECT FILL SHOULD BE PLACED IN 8-INCH MAX LOOSE LIFTS AND UNIFORMLY COMPACTED TO A MINIMUM OF 95-PERCENT OF STD PROCTOR DENSITY WITHIN MINUS 1 TO PLUS 3-PERCENT (-1% TO +3%) OF THE SOIL'S OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D-698.
5. THE SUBGRADE SHALL BE MAINTAINED IN A SMOOTH, COMPACTED CONDITION, IN CONFORMITY WITH THE REQUIRED PAVEMENT SECTION AND ESTABLISHED GRADE, UNTIL THE PAVEMENT IS PLACED, & SHALL BE KEPT WETTED DOWN SUFFICIENTLY IN ADVANCE OF PLACING ANY PAVEMENT TO ENSURE ITS BEING IN A FIRM AND MOIST CONDITION FOR AT LEAST TWO INCHES BELOW SURFACE OF THE PREPARED SUBGRADE. ONLY SUCH SUBGRADE AS IS NECESSARY FOR THE SATISFACTORY PROSECUTION OF THE WORK SHALL BE COMPLETED AHEAD OF THE PLACEMENT OF PAVEMENT. PROVIDE COMPLETE DRAINAGE OF THE SUBGRADE AT ALL TIMES.

## ACCESSIBILITY STANDARDS

1. CONCRETE RAMPS, PARKING SIGNAGE, AND RAMP HANDRAILS SHALL CONFORM WITH TEXAS ACCESSIBILITY STANDARDS ADOPTED BY THE TEXAS DEPARTMENT OF LICENSING AND REGULATION IN COMPLIANCE WITH THE TEXAS ARCHITECTURAL BARRIERS ACT, ARTICLE 9102, TEXAS CIVIL STATUTES.
2. ALL ACCESSIBILITY ROUTES FOR THIS PROJECT SHALL HAVE A SLOPE NOT GREATER THAN 1:20 (5%). ACCESSIBILITY ROUTES HAVING A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP AND SHALL CONFORM WITH TEXAS ACCESSIBILITY STANDARDS.
3. ANY RAMP (EXCLUDING CURB RAMPS) HAVING A HORIZONTAL PROJECTION GREATER THAN 72-INCHES SHALL HAVE HANDRAILS ON BOTH SIDES CONFORMING WITH TEXAS ACCESSIBILITY STANDARDS.

## SITE UTILITIES

1. THE UTILITY SERVICES FOR THIS PROJECT ARE SHOWN ON SHEET C102. COORDINATE THESE PLAN WITH THE PROJECT'S MEP PLANS.

## PAVEMENT REPAIR NOTE

SAWCUT LINES SHOWN ON THE DESIGN PLANS FOR THE REMOVAL AND REPLACEMENT OF CONCRETE PAVEMENT, DRIVES, SLABS, SIDEWALKS, ETC. ARE FOR INFORMATIONAL PURPOSES ONLY.  
 IF PAVEMENT IS MORE THAN 5 YEARS OLD, THE PAVEMENT CUT AND REPAIR STANDARDS MANUAL MUST BE FOLLOWED.  
 IF PAVEMENT IS 5 YEARS OLD OR LESS, THE ENTIRE CONCRETE PANEL MUST BE REPLACED.

## PAVING

1. THE PAVEMENT SECTION FOR THE PARKING LOT SHALL CONSIST OF 4500 PSI CONCRETE OVER COMPACTED LIME STABILIZED AND/OR MOISTURE STABILIZED SUBGRADE. SEE CIVIL SHEETS FOR THE SPECIFIED PAVEMENT THICKNESS AND REINFORCEMENT. A 6-INCH INTERIOR CURB SHALL BE PLACED WITH THE PAVEMENT. SEE CIVIL SHEET C601 FOR PAVING DETAILS.
2. THE CONCRETE SIDEWALKS SHALL CONSIST OF 4-INCH THICK 3000 PSI CONCRETE, REINFORCED WITH #3 BARS AT 18-INCH CENTERS EA WAY.
3. EXPANSION JOINTS FOR SIDEWALKS SHALL BE FORMED USING EXPANSION JOINT MATERIAL OF AN APPROVED TYPE AND SHAPED TO THE SECTION. EXPANSION JOINTS SHALL BE PLACED IN SIDEWALKS AT 40-FOOT INTERVALS, AND TO MATCH STREET EXPANSION JOINTS WHEN POSSIBLE. EXPANSION JOINTS SHALL ALSO BE PLACED AT ALL DRIVEWAYS, CURBS, FOUNDATIONS, OTHER SIDEWALKS, AND OTHER ADJACENT CONCRETE WORK. SIDEWALKS SHALL BE PLACED AROUND ALL OBSTRUCTIONS PROTRUDING INTO OR THROUGH SIDEWALKS. ALL EXPANSION JOINTS SHALL BE 1/2-INCH IN THICKNESS. SIDEWALKS SHALL BE JOINED WITH A 1/4-INCH RADIUS TROWEL AT INTERVALS EQUAL TO THE WIDTH OF THE SIDEWALK. ANY EXPANSION MATERIAL EXTENDING ABOVE THE FINISHED WORK SHALL BE NEATLY TRIMMED TO THE SURFACE OF THE FINISHED WORK. ALL GAPS BETWEEN EXPANSION MATERIAL AND CURB, WALKS, OR OBJECTS PROTRUDING THROUGH SIDEWALKS SHALL BE SEALED WITH A SEALER APPROVED BY THE PROJECT ENGINEER.
4. SAWED CONTROL JOINTS SHALL BE PROVIDED AT 15H CENTERS EACH WAY, AND FILLED WITH HOT RUBBER JOINT SEALING COMPOUND.
5. REINFORCING STEEL SHALL BE NEW DOMESTIC BILLET STEEL CONFORMING TO ASTM A-615, GRADE 60, AND SHALL BE SUPPORTED BY CHAIRS. HIGHWAY REINFORCEMENT SHALL BE ACCURATELY PLACED, AND HELD IN PLACE DURING PROGRESS OF CONCRETE PLACEMENT BY SUCH EFFECTIVE MEANS (CHAIRS, TIES, ETC.) THAT IT SHALL NOT BE MOVED OUT OF TRUE POSITION. ALL REINFORCEMENT TRANSVERSE TO THE DIRECTION OF CASTING SHALL BE PLACED AND APPROVED BY THE STREET SUPERINTENDENT BEFORE ANY CONCRETE IS DEPOSITED IN THE SECTION. ALL STEEL MUST BE FREE FROM PAINT AND OIL; ALL LOOSE SCALE, RUST, DIRT, AND OTHER FOREIGN SUBSTANCES SHALL BE COMPLETELY REMOVED BEFORE USING. WHERE NEW CONCRETE SIDEWALKS ABUT EXISTING SIDEWALK, 3/8" STEEL REINFORCING BARS SHALL BE DOWELED INTO EXISTING SIDEWALK, A MINIMUM OF 6" AND SECURED WITH EPOXY.
6. MANHOLES, WATER VALVES, METERS, CLEANOUTS, ETC. MAY BE BOXED OUT OR ISOLATED USING EXPANSION JOINT FILLER. THE MINIMUM LENGTH OF EACH SIDE OF BOX OUT SHALL BE 24-INCHES.
7. CONCRETE SIDEWALKS SHALL BE FINISHED TO A TRUE, EVEN SURFACE. THEY SHALL BE TROWELED AND FINISHED WITH A LIGHT BROOM TRANSVERSE TO THE DIRECTION OF CASTING. ALL SIDEWALKS SHALL CONFORM TO ADJACENT SIDEWALKS, I.E., EXPOSED AGGREGATE, JOINTS AND ALL EDGES SHALL BE FINISHED TO A ONE-QUARTER (1/4) INCH RADIUS WITH SUITABLE EDGING TOOLS.
8. SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".

## CAST-IN-PLACE CONCRETE

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI-318.
2. THE MATERIALS AND PROPERTIES OF CONCRETE SHALL MEET THE APPLICABLE REQUIREMENTS IN THE ACI MANUAL OF CONCRETE PRACTICE. THE CONCRETE SHALL HAVE A MINIMUM MODULUS OF RUPTURE OF 600 PSI AT 28 DAYS AS DETERMINED BY THE STANDARD TEST METHOD FOR STRENGTH OF CONCRETE (USING SIMPLE BEAM WITH THIRD POINT FLEXURAL LOADING) ASTM C78-84.
3. CONCRETE REINFORCING BARS SHALL BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO ASTM A615 GRADE 60, EXCEPT STIRRUPS WHICH MAY BE NEW DOMESTIC STEEL CONFORMING TO ASTM A615, GRADE 40.
4. CONCRETE IN THE FOLLOWING AREAS SHALL HAVE SAND AND GRAVEL OR CRUSHED STONE AGGREGATES, TYPE I OR TYPE III PORTLAND CEMENT, AND THE DESIGNATED COMPRESSIVE STRENGTH IN 28 DAYS. NORMAL WEIGHT AGGREGATES SHALL CONFORM TO ASTM C33-74. THE CONCRETE SHALL WEIGH NOT LESS THAN 145 PCF, NOR MORE THAN 150 PCF:
  - a) HAND FINISHED PAVEMENT..... 4500 PSI
  - b) HAND FINISHED SIDEWALKS..... 3000 PSI
5. ALL CONCRETE SHALL CONTAIN A 1-INCH MAXIMUM NOMINAL COURSE AGGREGATE.
6. CONCRETE SLUMP SHALL BE IN THE RANGE OF 5-INCH MAX & 2-INCH MINIMUM.
7. CONTRACTOR SHALL SUBMIT CONCRETE MIX DESIGNS FOR REVIEW WELL IN ADVANCE OF CONCRETE PLACEMENT. CONCRETE MIX DESIGN SHALL INCLUDE ALL STRENGTH DATA NECESSARY TO SHOW COMPLIANCE WITH THE PROJECT SPECIFICATIONS FOR EITHER THE TRIAL BATCH OR FIELD EXPERIENCE METHOD AND SHALL BE CERTIFIED BY A TEXAS REGISTERED ENGINEER.
8. MINIMUM CONCRETE COVER, UNLESS NOTED OTHERWISE:
  - a) UNIFORM SURFACE IN CONTACT WITH THE GROUND..... 3"
9. LAP CONTINUOUS REINFORCING BARS 36-BAR DIAMETERS. ALL LAPS SHALL BE TIED IN TWO PLACES MINIMUM.
10. TACK WELDING ON REBAR WILL NOT BE PERMITTED. HEAT SHALL NOT BE USED IN THE FABRICATION OR INSTALLATION OF REINFORCEMENT.
11. CONCRETE WORK SHALL BE SUBJECT TO QUALITY ASSURANCE TESTING AND INSPECTIONS.
12. CONCRETE SHALL NOT BE PLACED WHEN THE TEMPERATURE IS BELOW 40-DEGREES FAHRENHEIT, AND FALLING; BUT IT MAY BE PLACED WHEN THE TEMPERATURE IS ABOVE 35-DEGREES FAHRENHEIT AND RISING. THE TEMPERATURE BEING TAKEN IN THE SHADE AND AWAY FROM ARTIFICIAL HEAT. WHEN CONCRETE IS BEING PLACED IN COLD WEATHER, THE CONTRACTOR SHALL HAVE AVAILABLE FOR IMMEDIATE USE A SUFFICIENT SUPPLY OF AN APPROVED COVERING MATERIAL TO IMMEDIATELY PROTECT THE CONCRETE WHEN THE AIR TEMPERATURE FALLS TO 32-DEGREES FAHRENHEIT. BEFORE THE CONCRETE HAS BEEN PLACED FOUR (4) HOURS, SUCH PROTECTION SHALL REMAIN IN PLACE DURING THE PERIOD OF NOT LESS THAN FIVE (5) DAYS. NEITHER SALT NOR CHEMICAL ADMIXTURES SHALL BE ADDED TO THE CONCRETE TO PREVENT FREEZING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY AND STRENGTH OF CONCRETE UNDER COLD WEATHER CONDITIONS, AND ALL CONCRETE DAMAGED BY FREEZING SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE.
13. AFTER FINISHING OPERATIONS ARE COMPLETE, THE CONCRETE SURFACES SHALL BE SPRAYED WITH CURING COMPOUND. THE SURFACE OF THE CONCRETE SHALL BE KEPT THOROUGHLY DAMP BETWEEN THE COMPLETION OF THE FINISHING OPERATIONS, AND THE APPLICATION OF THE CURING COMPOUND. THE CURING COMPOUND SHALL BE APPLIED UNDER PRESSURE, BY MEANS OF A SPRAY NOZZLE, AT A RATE NOT TO EXCEED 200 SQUARE FEET PER GALLON. A MINIMUM OF 72-HOURS CURING TIME SHALL BE REQUIRED. SHOULD THE CONTRACTOR ELECT TO REMOVE THE FORMS BEFORE THE MINIMUM CURING TIME HAS ELAPSED, HE SHALL APPLY CURING COMPOUND TO THE NEWLY EXPOSED VERTICAL SURFACES. FORMS SHALL REMAIN IN PLACE AT LEAST 24-HOURS AFTER COMPLETION OF THE CONCRETE PLACEMENT.

## APPROACH SUBGRADE PREPARATION NOTE

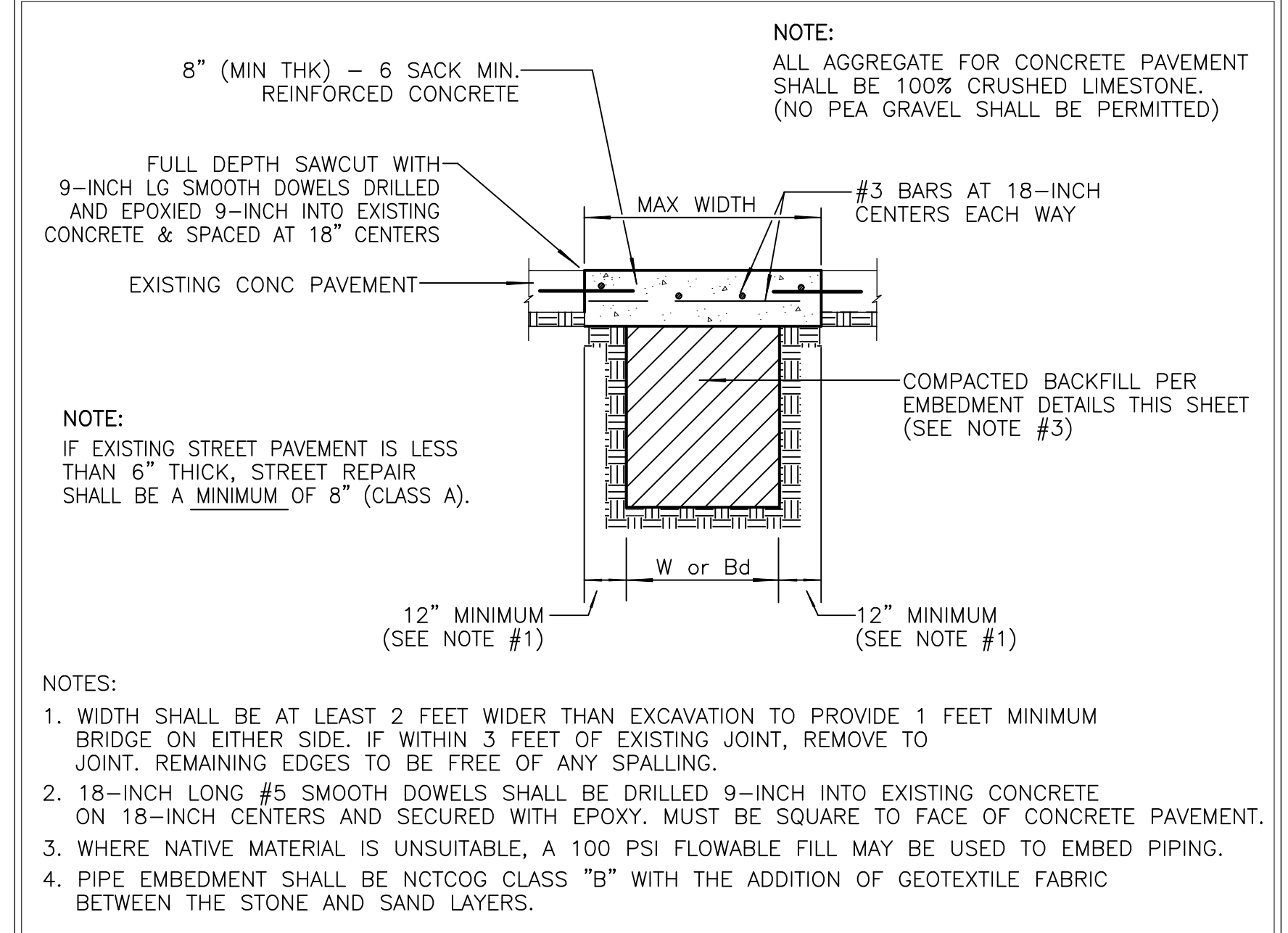
SUBGRADE PREPARATION SHALL BE IN ACCORDANCE WITH SECTION V OF THE PAVING DESIGN MANUAL. THIS PROJECT CONSISTS OF SOILS WITH HIGH TO MODERATE PLASTIC CLAYS, EXCEEDING A PI OF 15, AND THEREFORE A LIME TREATED SUBGRADE SHALL BE PROVIDED.  
 STANDARD SUBGRADE DETAIL UNDER DRIVE APPROACHES IS 98% STANDARD PROCTOR DENSITY AT MINUS 2% TO PLUS 4% OF OPTIMUM MOISTURE TO THE DEPTH SPECIFIED.

## INSPECTIONS AND UNDERGROUND UTILITIES

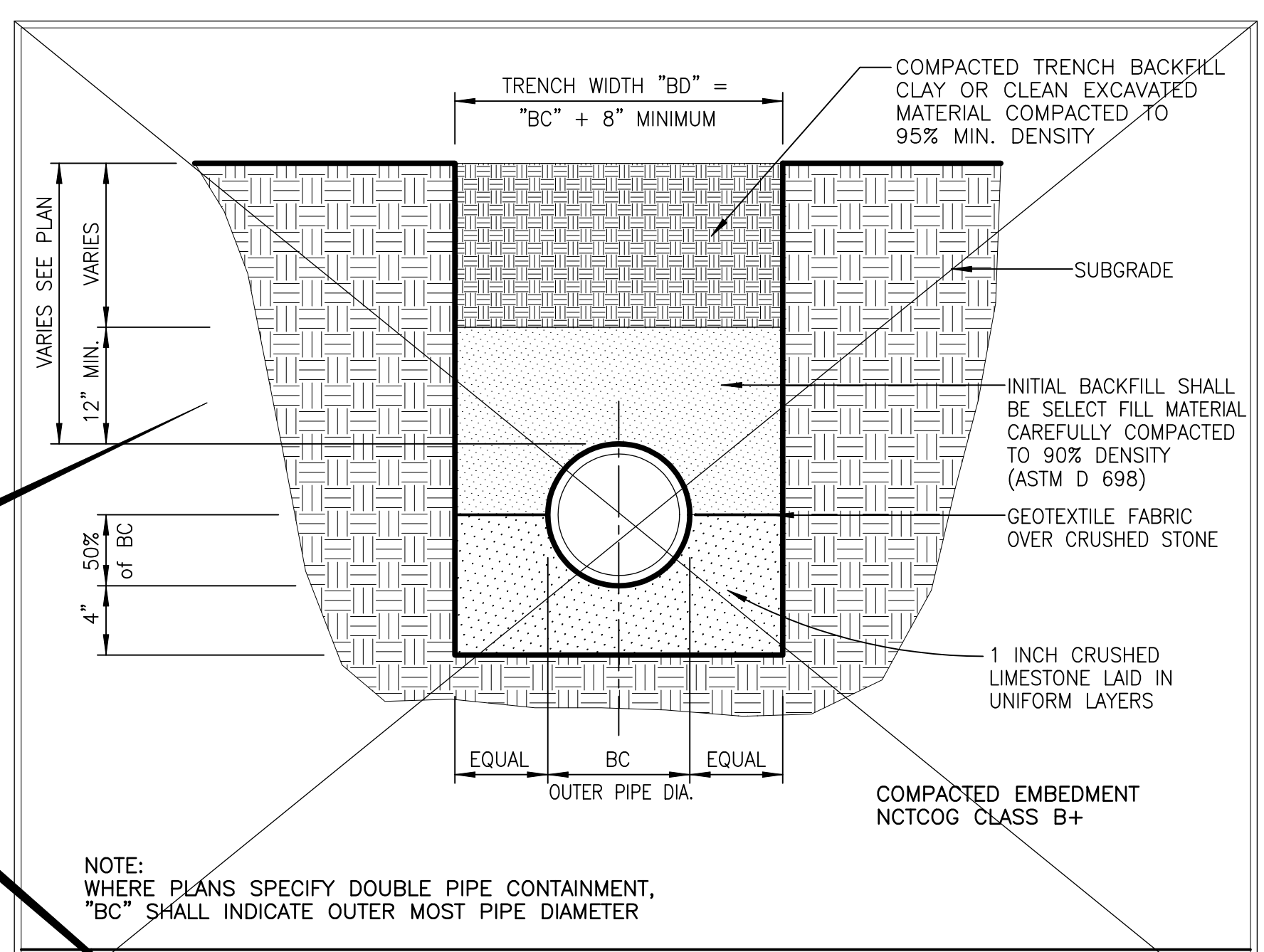
1. CAUTION!!! CONTACT DIG TESS AT (800) 395-0440 AND/OR OTHER UTILITY LOCATING SERVICES AT LEAST 48-HOURS PRIOR TO ANY CONSTRUCTION ACTIVITY.
2. CONTACT CITY OF LAKE DALLAS FOR INSPECTIONS PRIOR TO CONC PLACEMENT.

## TESTING

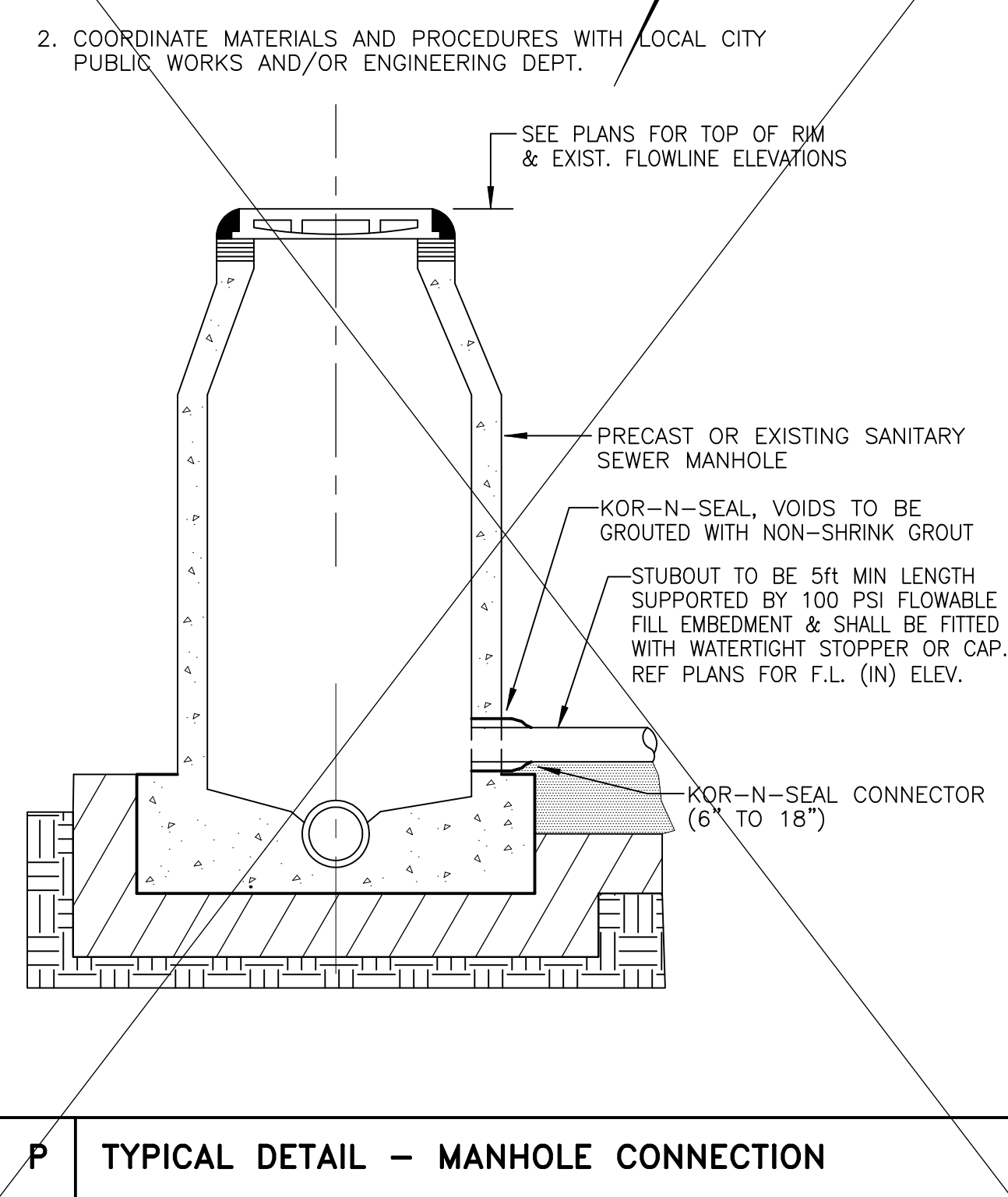
1. THE CONTRACTOR AS PART OF THE SCOPE OF HIS WORK SHALL CONTRACT THE SERVICES OF AN INDEPENDENT TESTING LABORATORY DESIGNATED BY THE OWNER TO PROVIDE TESTING SERVICES FOR THIS PROJECT AS FURTHER DESCRIBED BELOW. THE COST FOR THESE TESTING SERVICES SHALL BE INCLUDED IN THE BASE BID.
  - a) PROVIDE ADEQUATE SAMPLES FOR DETERMINATION OF MOISTURE DENSITY RELATIONSHIPS AND PLASTICITY INDEX (PI) AT ON-SITE MATERIALS, IMPORTED FILL MATERIAL AND DRAINAGE AGGREGATE.
  - b) SUBMIT COMPLETE LABORATORY ANALYSIS OF SOIL MATERIAL PROPOSED FOR FILL MATERIAL.
  - c) ESTABLISH MOISTURE DENSITY RELATIONSHIP OF IN-PLACE SUBGRADE IN ACCORDANCE WITH ASTM D-698.
  - d) ESTABLISH MOISTURE DENSITY RELATIONSHIP OF PROPOSED SELECT FILL IN ACCORDANCE WITH ASTM D-698.
  - e) PERFORM PI TEST ON PROPOSED SELECT FILL MATERIAL TO CONFIRM CONFORMANCE WITH THE PROJECT SPECS IN ACCORDANCE WITH ASTM D-4318.
  - f) GRADATION OF DRAINAGE AGGREGATE IN ACCORDANCE WITH ASTM C-136.
  - g) THE COMPLETED SUBGRADE SHALL BE TESTED FOR COMPACTION AND MOISTURE CONTENT AT THE RATE OF ONE SET PER 1000 SQUARE FEET BUT IN NO CASE LESS THAN A TOTAL OF FIVE TESTS FOR THE PROJECT.
  - h) DURING THE PROGRESS OF THE WORK, CAST TEST CYLINDERS TO MAINTAIN A CHECK ON THE COMPRESSIVE STRENGTHS OF THE CONCRETE BEING PLACED.
  - i) FOUR (4) STANDARD TEST CYLINDERS SHALL BE TAKEN FROM A REPRESENTATIVE PORTION OF THE CONCRETE BEING PLACED FOR EVERY FIFTY (50) CUBIC YARDS OF CONCRETE PAVEMENT PLACED, BUT IN NO CASE LESS THAN TWO (2) SETS OF CYLINDERS BE TAKEN FROM ANY DAY'S PLACEMENT.
  - j) AFTER THE CYLINDERS HAVE BEEN CAST, THEY SHALL REMAIN ON THE JOB SITE UNDISTURBED FOR 24-HOURS AND THEN TRANSPORTED, MOIST CURED, AND TESTED BY THE TESTING LABORATORY.
  - k) TWO (2) OF THE CYLINDERS IN EACH SET SHALL BE TESTED IN SEVEN DAYS. ONE (1) OF THE CYLINDERS IN EACH SET SHALL BE TESTED IN TWENTY EIGHT DAYS. THE FOURTH CYLINDER IN EACH SET SHALL BE STORED FOR THE DURATION OF THE PROJECT.
  - l) IF THE 28-DAY TEST RESULTS INDICATE DEFICIENT STRENGTH, THE CONTRACTOR MAY, AT HIS OPTION AND EXPENSE, TEST THE FOURTH CYLINDER IN EACH SET BEING STORED AND/OR CORE THE PAVEMENT IN QUESTION AND HAVE THE CORES TESTED BY AN APPROVED LABORATORY TO COMPARE WITH THE RESULTS OF THE CYLINDER TESTS.
  - m) THE OWNER SHALL MAKE THE FINAL DETERMINATION OF ACCEPTANCE OR NOT IN THE CASE OF DEFICIENT CONCRETE STRENGTH.



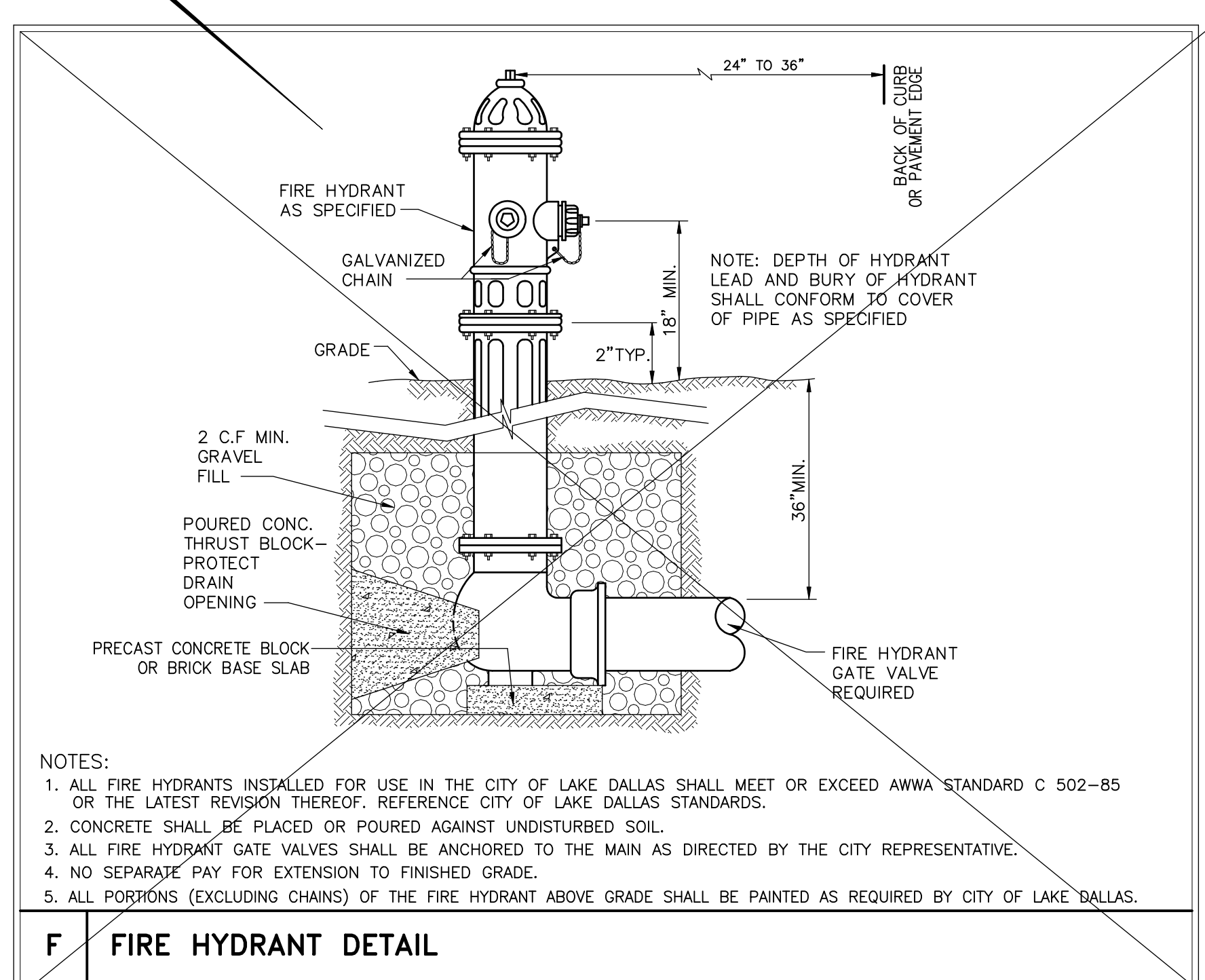
**M CONCRETE PAVEMENT REPAIR DETAIL** FOR ALL STREET CUTS - WATER, SANITARY SEWER, & STORM SEWER



**N UTILITY PIPE EMBEDMENT DETAIL**



**P TYPICAL DETAIL - MANHOLE CONNECTION**



**F FIRE HYDRANT DETAIL**

**CAREERA consulting engineers, inc.**  
 Structural, Civil, & Construction Engineering  
 Texas Board of Professional Engineers Firm Registration No. F-8354  
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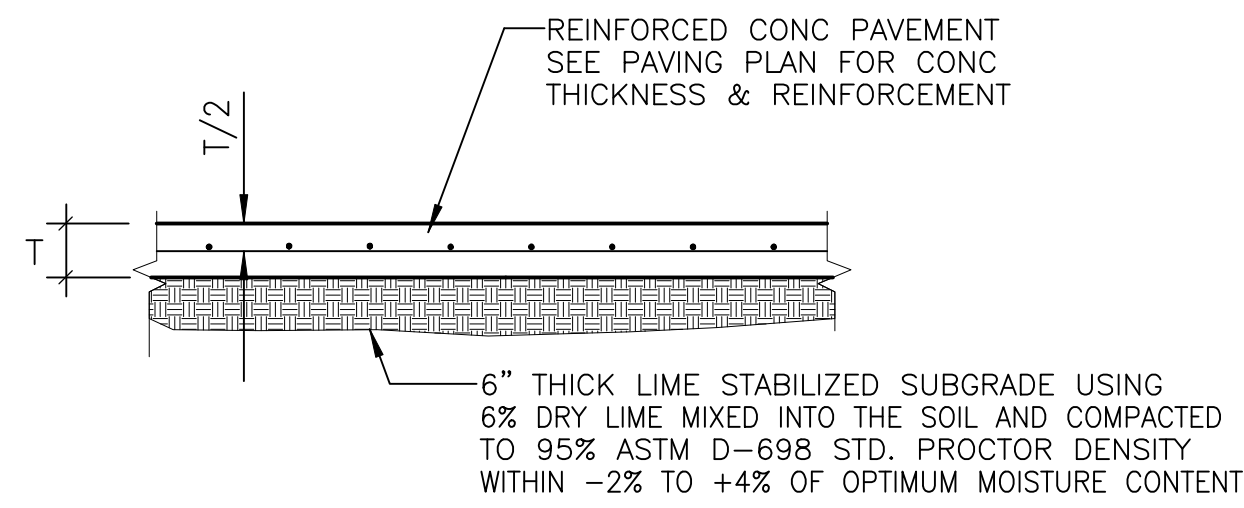
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY THE ENGINEER SEALING THESE PLANS ON THE DATE NOTED BELOW. ALTERATION OF A PROFESSIONAL ENGINEER'S SEAL OR THE SEALING OF THESE PLANS WITHOUT THE PROFESSIONAL ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING ACT.  
 Luis D. Carrera, No. 15182, State of Texas, License No. 15182, expires 02/28/2025

**CIVIL ENGINEERING CONSTRUCTION PLANS**  
**LAKE DALLAS MIXED-USE**  
**LOT 1R, BLOCK 14**  
 312 Main Street Lake Dallas, Texas 75065

**CIVIL ENGINEERING SITEWORK NOTES AND DETAILS**  
 PROJECT No: C-3034  
 DATE: mar 2024  
 REVISION: 24oct2024 Revision A - Per City Review Comments  
 CHECKED BY: CCEI  
 DRAWN BY: CCEI  
 21mar2025 Revision B - Per City Review Comments  
 25apr2025 Revision C - Per City Review Comments

**SHEET No.**  
**C600**  
 REVISION C

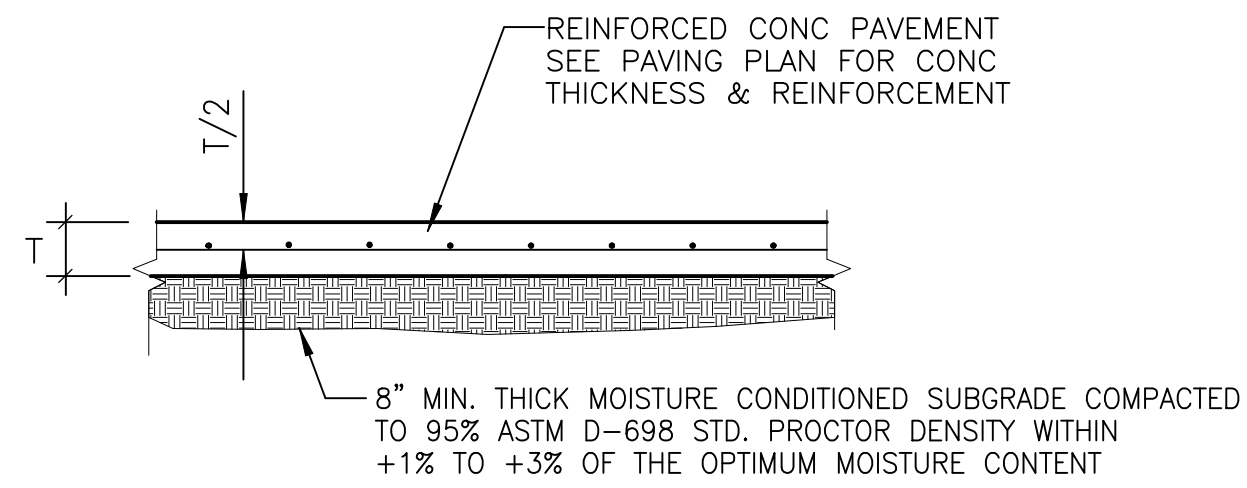
- NOTES:
- WHERE NEW PAVEMENT ABUTS EXISTING PAVEMENT, PROVIDE #6 SMOOTH STEEL REINFORCING BAR DOWELED INTO EXISTING PAVEMENT, A MINIMUM OF 12-INCHES, SECURED WITH EPOXY A104 (OR EQUAL) AND SPACED AT 18-INCH CENTERS. DOWELS SHALL BE NON-LUBRICATED.
  - SEE TYPICAL DETAIL THIS SHEET FOR CONCRETE PAVEMENT EXPANSION & CONTROL JOINTS.
  - HAND FINISHED CONCRETE TO HAVE A MINIMUM 4500 PSI COMPRESSIVE STRENGTH AT 28 DAYS



**TYP SECTION - CONCRETE PAVEMENT OVER LIME STABILIZED SUBGRADE**

**A** not to scale

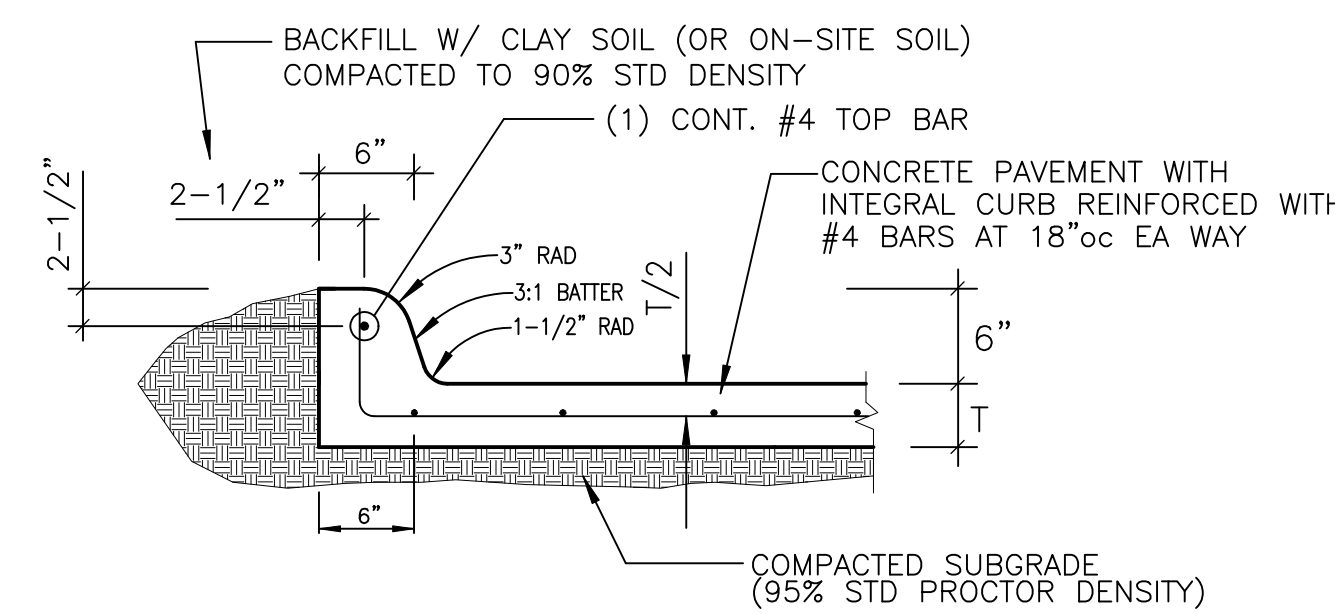
- NOTES:
- WHERE NEW PAVEMENT ABUTS EXISTING PAVEMENT, PROVIDE #6 SMOOTH STEEL REINFORCING BAR DOWELED INTO EXISTING PAVEMENT, A MINIMUM OF 12-INCHES, SECURED WITH EPOXY A104 (OR EQUAL) AND SPACED AT 18-INCH CENTERS. DOWELS SHALL BE NON-LUBRICATED.
  - SEE TYPICAL DETAIL THIS SHEET FOR CONCRETE PAVEMENT EXPANSION & CONTROL JOINTS.
  - HAND FINISHED CONCRETE TO HAVE A MINIMUM 4500 PSI COMPRESSIVE STRENGTH AT 28 DAYS



**TYP SECTION - CONCRETE PAVEMENT OVER MOISTURE CONDITIONED SUBGRADE**

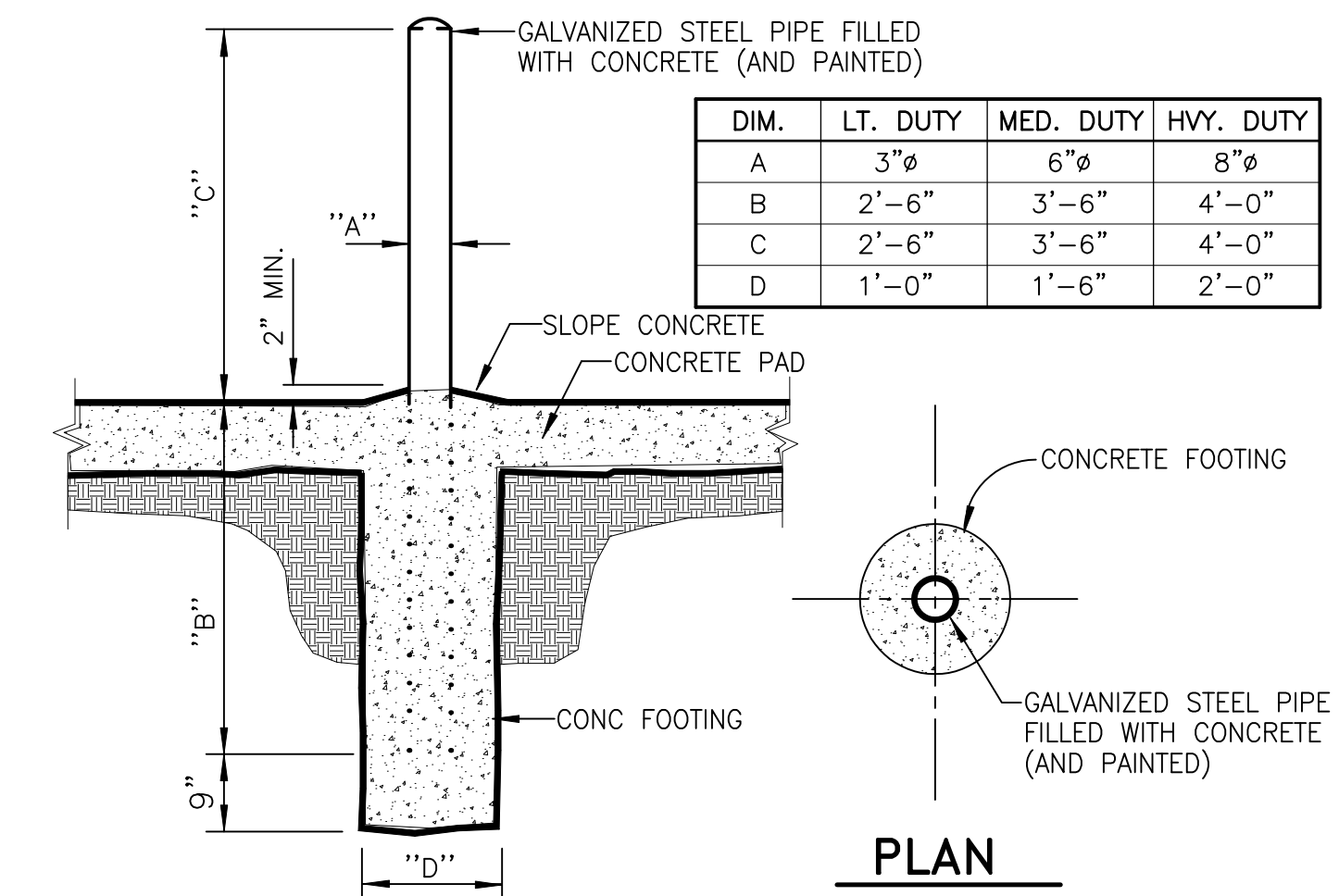
**B** not to scale

- NOTES:
- WHERE NEW CURB ABUTS EXISTING CURB, PROVIDE 24" LG #4 DEFORMED STEEL REINFORCING BAR DOWELED INTO EXISTING CURB, A MINIMUM OF 12-INCHES, SECURED WITH EPOXY A103 (OR EQUAL). DOWELS SHALL BE NON-LUBRICATED.
  - SEE TYPICAL DETAIL THIS SHEET FOR CONNECTION TO EXISTING CURB.
  - HAND FINISHED CONCRETE TO HAVE A MINIMUM 4500 PSI COMPRESSIVE STRENGTH AT 28 DAYS



**TYP PAVEMENT SECTION W/ INTEGRAL CURB**

**C** not to scale

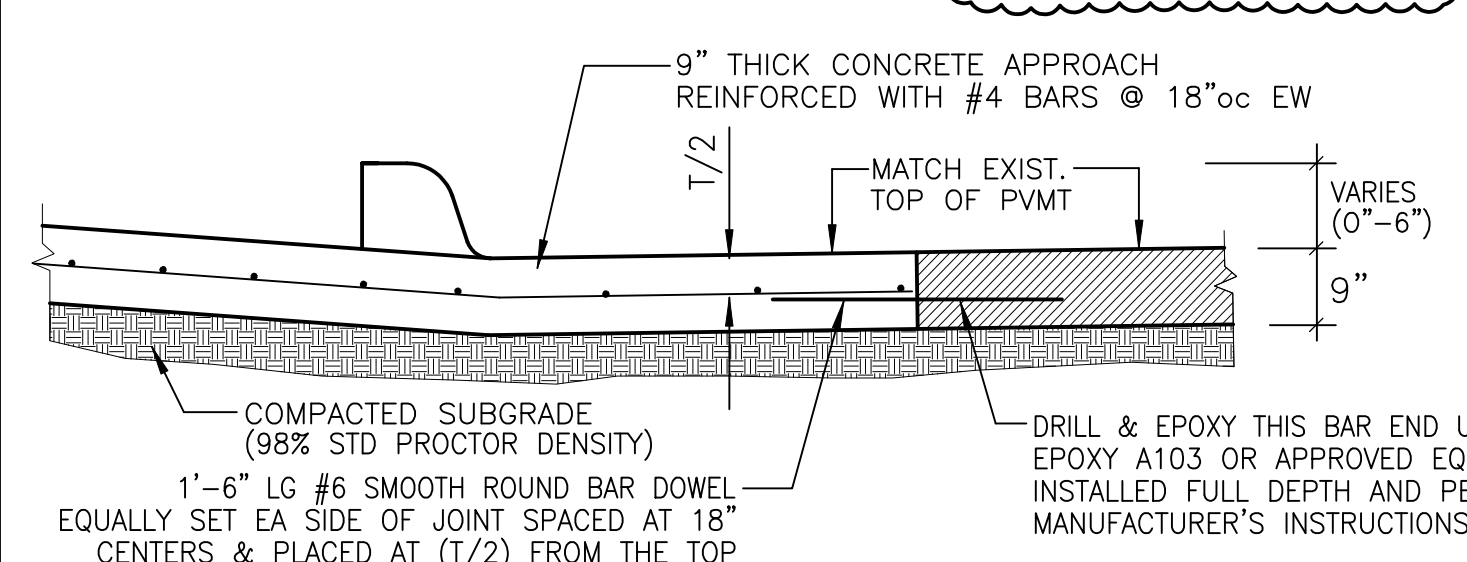


**TYP DETAIL - PIPE BOLLARD**

**Q** not to scale

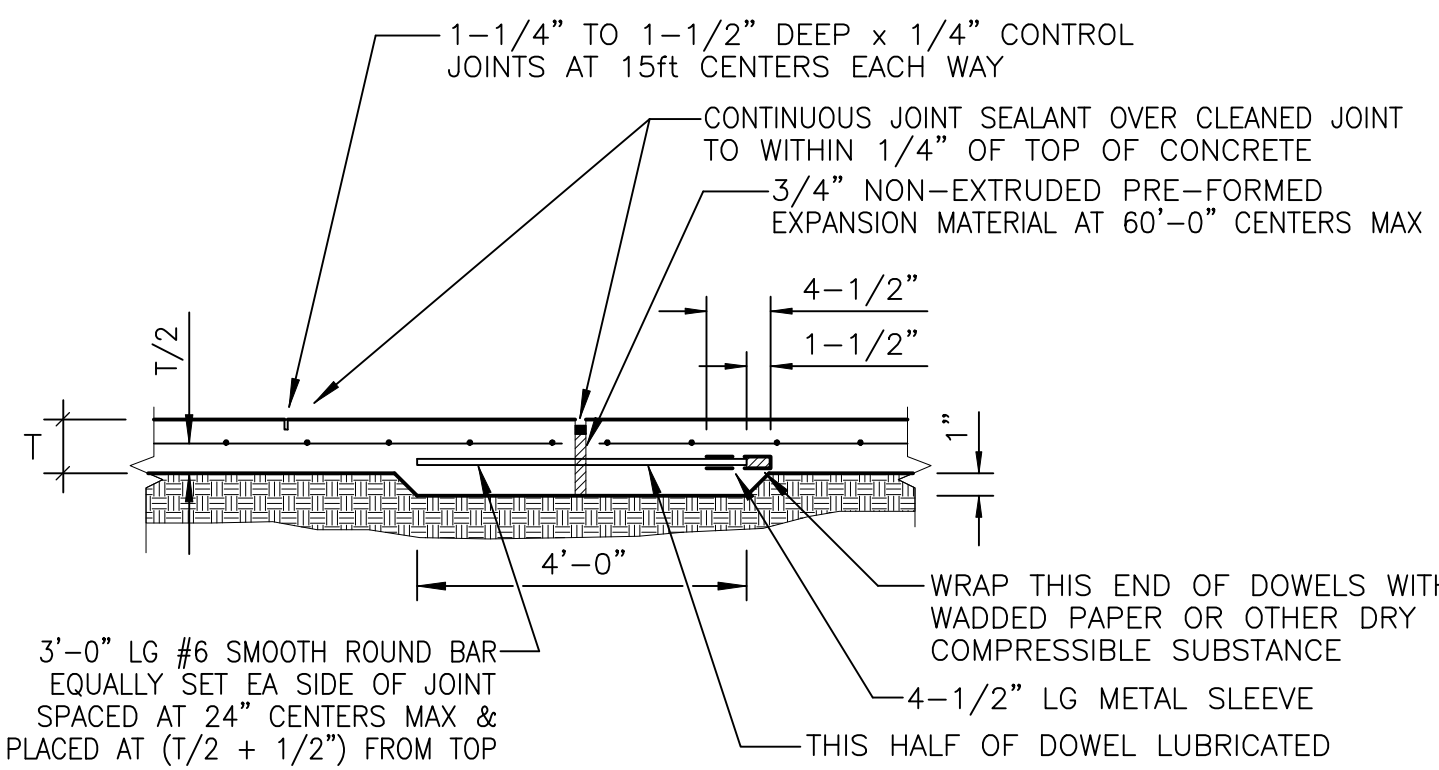
- NOTES:
- SLOPE PAVING PLAN FOR PAVEMENT GRADES.
  - SEE TYPICAL DETAIL THIS SHEET FOR PAVEMENT CONNECTION TO EXISTING CONCRETE.
  - HAND FINISHED CONCRETE TO HAVE A MINIMUM 4500 PSI COMPRESSIVE STRENGTH AT 28 DAYS

NOTE: LIMITS OF CONCRETE APPROACH PAVEMENT IS FROM EXISTING CITY PAVEMENT TO PROPERTY LINE



**TYP SECTION - CONCRETE APPROACH**

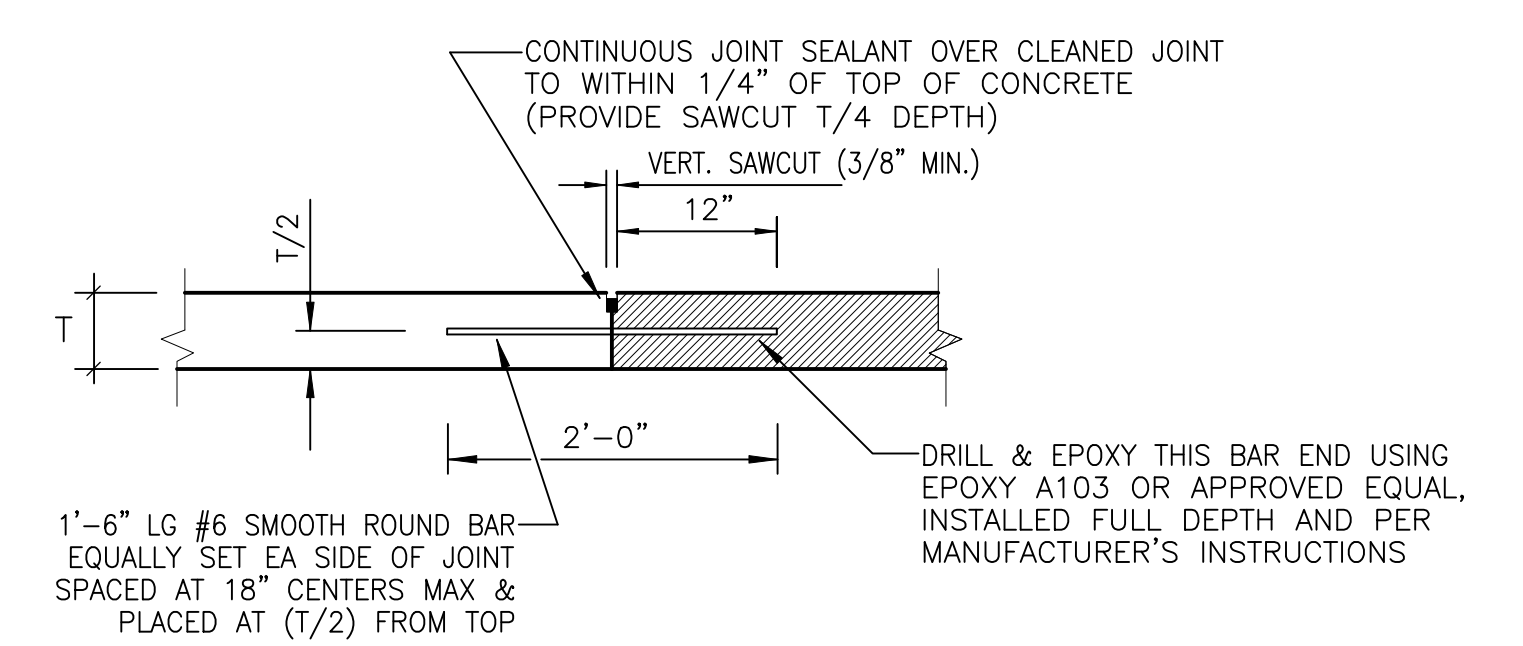
**D** not to scale



**TYP SECTION - CONCRETE PAVEMENT EXPANSION AND SAWED CONTROL JOINTS**

**E** not to scale

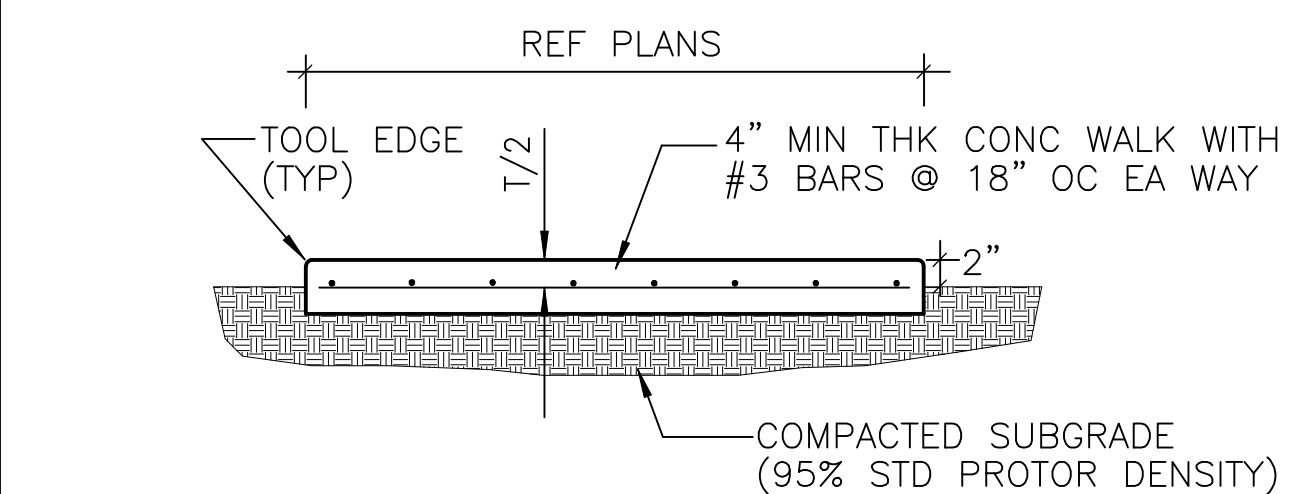
- NOTES:
- NON-LUBRICATED DEFORMED DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG. DRILLING BY HAND IS NOT ACCEPTABLE. PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.



**TYP SECTION - CONCRETE PAVEMENT CONNECTION TO EXISTING CONC PAVEMENT**

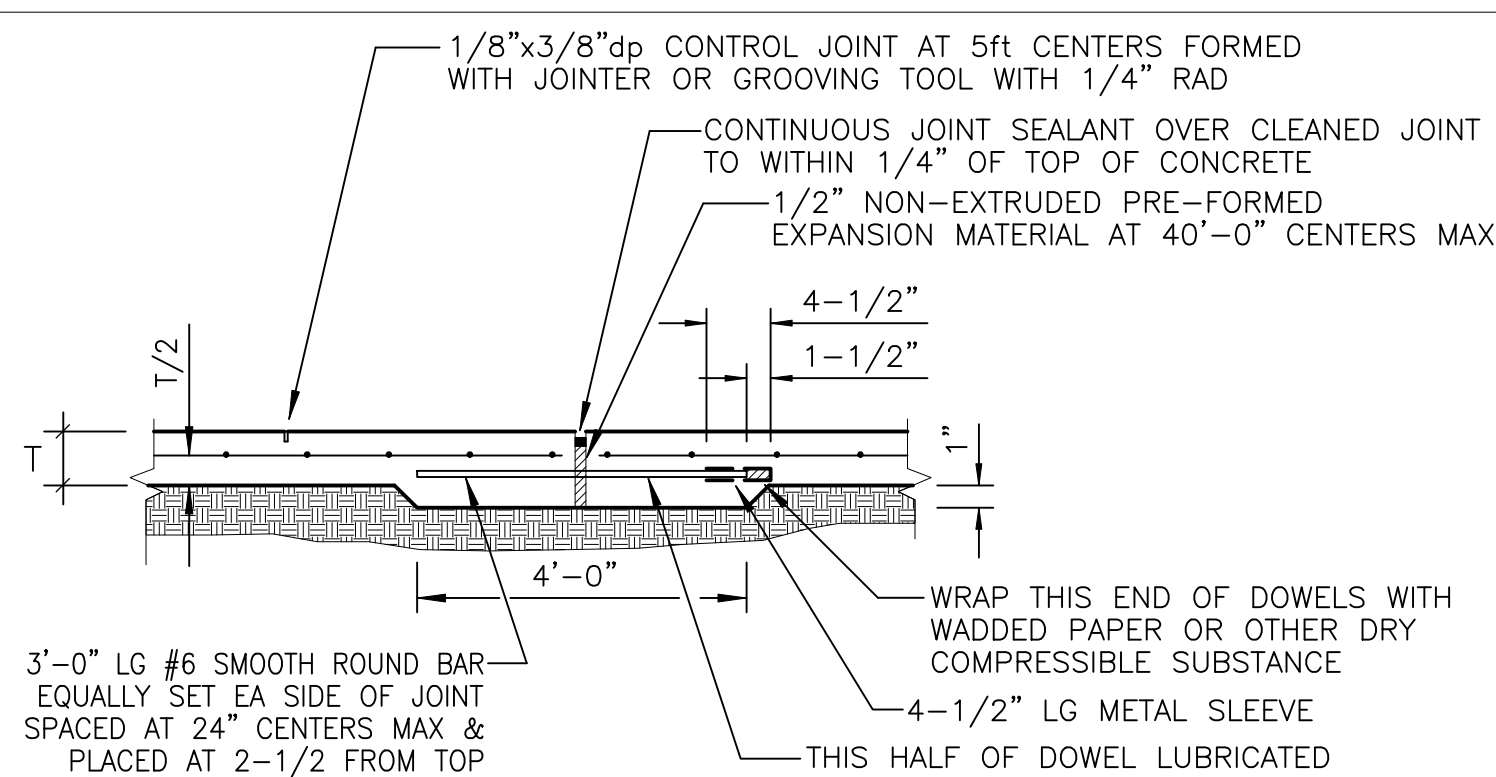
**F** not to scale

- NOTES:
- SLOPE SIDEWALKS TO DRAIN IN DIRECTION OF WATER FLOW, NOT TO EXCEED 5% SLOPE.
  - SIDEWALKS ADJACENT TO BUILDINGS, SHALL SLOPE AWAY FROM BUILDING NOT TO EXCEED 2% SLOPE.
  - WHERE NEW SIDEWALKS ABUT EXISTING SIDEWALKS, PROVIDE #3 STEEL REINFORCING BARS DOWELED INTO EXISTING SIDEWALK, A MINIMUM OF 6-INCHES, SECURED WITH EPOXY AND SPACED AT 12-INCH CENTERS.
  - SEE TYPICAL DETAIL THIS SHEET FOR CONCRETE SIDEWALK EXPANSION & CONTROL JOINTS.
  - CONCRETE SIDEWALK FINISH TO BE LIGHT BRUSH OR SWEAT FINISH.
  - CONCRETE TO HAVE MINIMUM 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS AND A MINIMUM CEMENT CONTENT OF 6 SACKS PER CUBIC YARD OF CONCRETE.



**TYP SECTION - REINFORCED SIDEWALK**

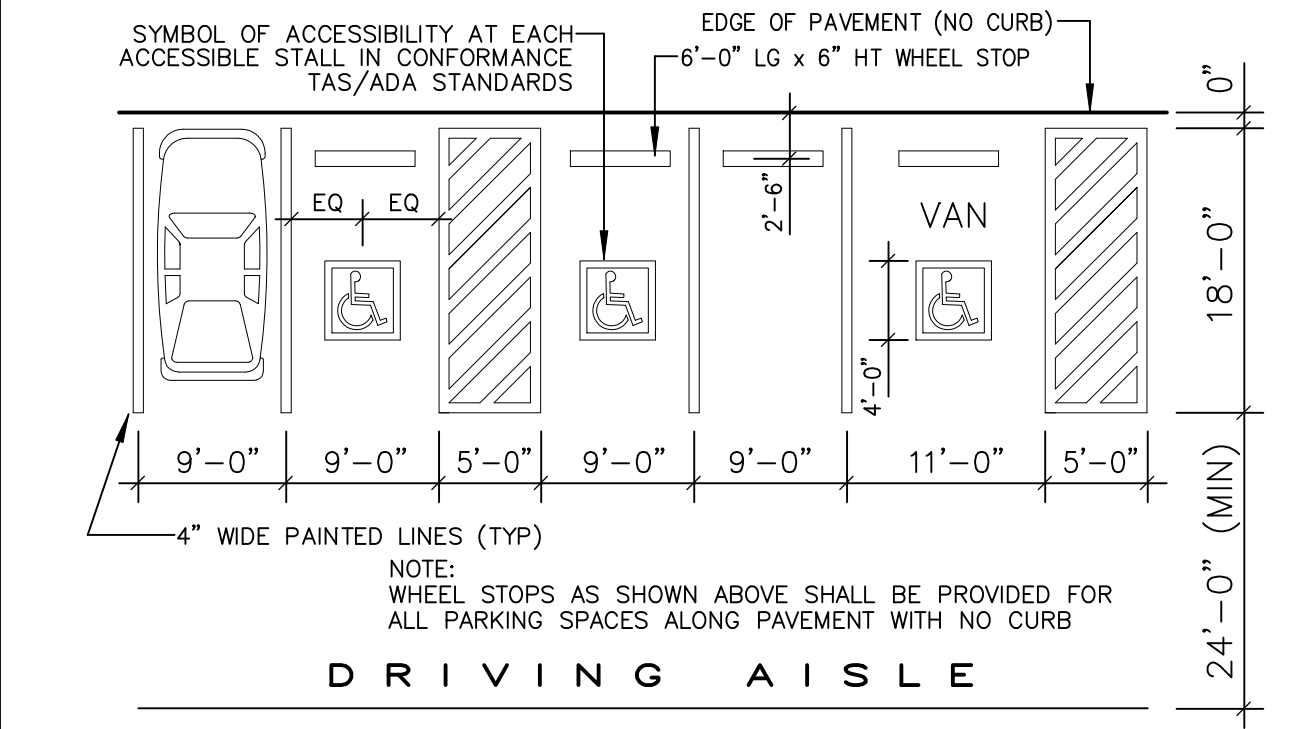
**J** not to scale



**TYP SECTION - CONCRETE SIDEWALK EXPANSION AND CONTROL JOINTS**

**K** not to scale

PROVIDE (1) POST OR WALL MOUNTED ACCESSIBLE PARKING SIGN IN FRONT OF EACH ACCESSIBLE PARKING SPACE. SEE DETAIL N/C601. A "VAN PARKING" SIGN SHALL BE LOCATED IN FRONT OF THE VAN ACCESSIBLE PARKING SPACE.

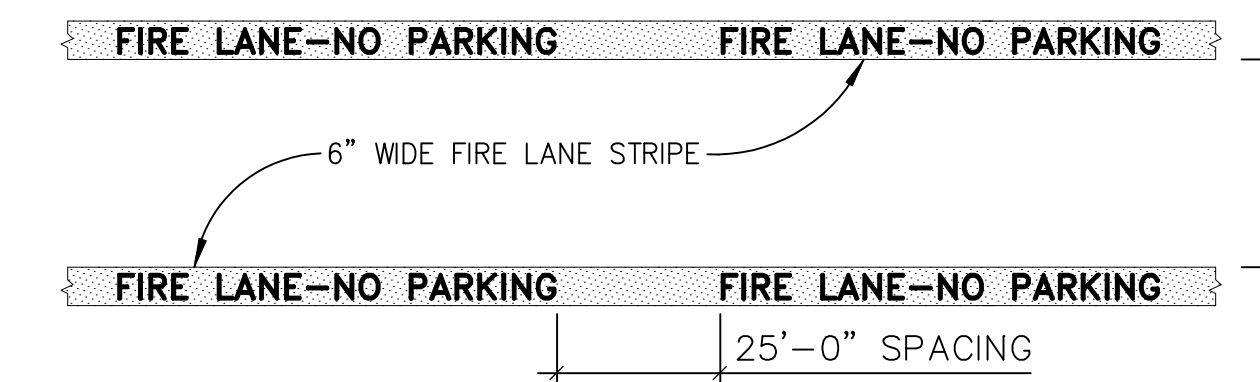


**TYP 90 deg PARKING SPACE STRIPING**

**L** not to scale

STRIPING NOTES:

- A. PAINT:
- STRIPES SHALL BE SIX (6) INCHES WIDE PAINTED WITH AN EXTERIOR TRAFFIC GRADE PAINT.
  - STRIPES COLOR SHALL BE "TRAFFIC RED" GLIDDEN #63251 OR EQUAL.
  - LETTERS SHALL BE FOUR (4) INCHES HIGH PAINTED WITH AN EXTERIOR TRAFFIC GRADE PAINT.
  - LETTER COLOR SHALL "TRAFFIC WHITE" GLIDDEN #563245 OR EQUAL.
- B. APPLICATION:
- STRIPES MAY BE BRUSHED OR SPRAYED, ONE COAT TO FINISH.
  - LETTERS SHALL BE STENCIL FORMED BRUSHED APPLIED AND SPACED AS DETAILED THIS SHEET.



**TYP FIRE LANE STRIPING DETAIL**

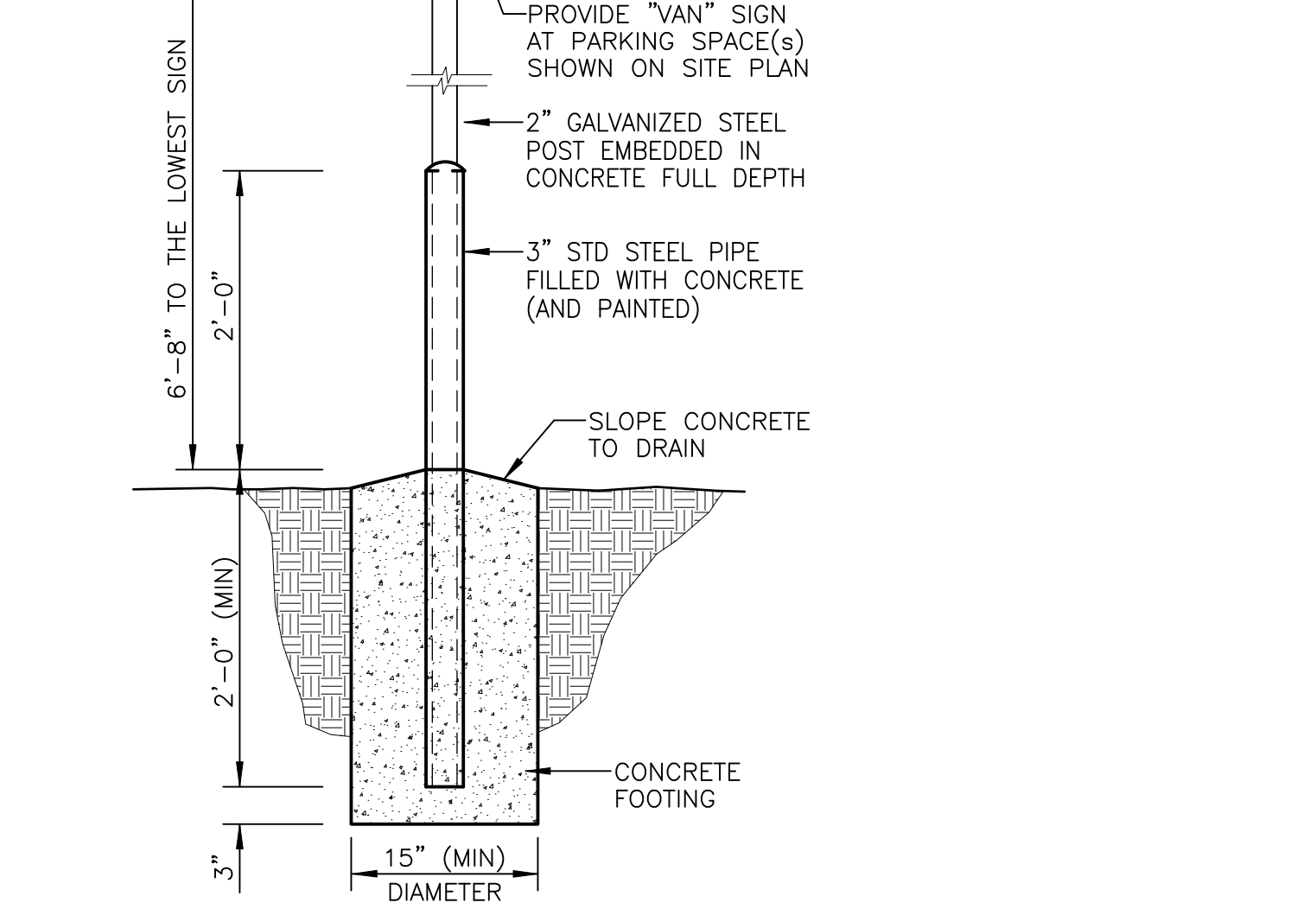
**M** not to scale

NOTE: LOCATED A NEW HANDICAP SIGN IN FRONT OF EACH NEW HANDICAP PARKING SPACE SHOWN ON SHT C101



**ENLARGED DETAIL**

**P** not to scale



**HANDICAPPED PARKING SIGN**

**N** not to scale

GENERAL NOTES - PAVING

- MACHINE FINISH CLASS - TEST STRENGTH IS 4000psi COMPRESSIVE STRENGTH AT 28 DAYS AFTER PLACEMENT.
- CONCRETE BASE AND PAVEMENT WILL BE REQUIRED TO BE FINISHED MECHANICALLY WITH APPROVED POWER DRIVEN MACHINES WHEN THE STREET IS WIDER THAN 27 FEET OR WHEN THE STREET IS 200 FEET IN LENGTH OR LONGER. A VIBRATING SCREED IS NOT CONSIDERED A PAVING MACHINE.
- HAND FINISH CLASS - TEST STRENGTH IS 4500psi COMPRESSIVE STRENGTH AT 28 DAYS AFTER PLACEMENT.
- HAND FINISHING WILL BE PERMITTED ON PAVEMENT WIDENING, ON SECTIONS WHERE THE PAVEMENT WIDTH IS NOT UNIFORM, AT INTERSECTIONS, WHERE REQUIRED MONOLITHIC WIDTHS ARE GREATER THAN THAT OF AVAILABLE FINISHING MACHINES, ON STREETS LESS THAN 200 FEET IN LENGTH, ALLEY PAVING, AND ELSEWHERE WHERE MECHANICALLY FINISHING IS NOT SPECIFIED OR REQUIRED BY CITY SPECIFICATIONS.
- MINIMUM PAVEMENT DEPTH WITHIN RIGHT-OF-WAY AND DRIVEWAY APPROACHES IS 9-INCHES.
- MINIMUM PARKING LOT PAVEMENT DEPTH IS 6-INCHES. MINIMUM FIRELANE PAVEMENT DEPTH IS 7-INCHES.
- #3 BARS ARE REQUIRED FOR CONCRETE THICKNESS LESS THAN 9 INCH, SPACED ON 18" CENTERS. #4 BARS ARE REQUIRED FOR CONCRETE THICKNESS THAT IS 9 INCH OR GREATER, SPACED ON 18" CENTERS, UNLESS NOTED OTHERWISE.
- SUBGRADE PREPARATION SHALL BE IN ACCORDANCE WITH SECTION V OF THE PAVING DESIGN MANUAL. THIS PROJECT CONSISTS OF SOILS WITH HIGH TO MODERATE PLASTIC CLAYS, EXCEEDING A PI OF 15, AND THEREFORE A LIME TREATED SUBGRADE SHALL BE PROVIDED. SEE TYPICAL PAVING DETAILS SHEET C601.
- STANDARD SUBGRADE COMPACTION UNDER STREET PAVEMENT IS 98% STANDARD PROCTOR DENSITY AT MINUS 2% TO PLUS 4% OF OPTIMUM MOISTURE TO THE DEPTH SPECIFIED.
- 1" REDWOOD EXPANSION JOINTS ARE REQUIRED AT ALL ABRUPT CHANGES IN ALIGNMENT OR WIDTH, OR EVERY 150 FEET, BEGINNING AT THE CURB RETURN.
- AT ALL EXPANSION JOINTS, 24" LONG, #8 (1") SMOOTH DOWEL IS REQUIRED EVERY 12" ON CENTER AND MUST BE GREASED AND CAPPED.
- SAWED TRAVERSE DUMMY JOINTS SPACED 15 FEET. SAWED LONGITUDINAL DUMMY JOINTS ALONG CENTER LINE OF ALL SINGLE ROAD WAY SECTIONS EXCEPT PAVING LESS THAN 14 FEET WIDE. ADDITIONAL SIMILAR JOINTS ON 10 FOOT CENTERS EACH SIDE OF CENTER LINE FOR ROAD WAY SECTIONS WIDER THAN 30 FEET.
- INTEGRAL CONCRETE CURB AND CURB & GUTTER SHALL BE OF THE SAME COMPRESSIVE STRENGTH AS THE PAVEMENT.

GENERAL NOTES - SIDEWALKS, BARRIER-FREE RAMPS, AND CURB & GUTTER

- CLASS TEST STRENGTH FOR SIDEWALK IS 3000psi COMPRESSIVE STRENGTH AT 28 DAYS AFTER PLACEMENT.
- CLASS TEST STRENGTH FOR CURB & GUTTER IS 4500psi COMPRESSIVE STRENGTH AT 28 DAYS AFTER PLACEMENT.
- STANDARD SUBGRADE COMPACTION FOR SIDEWALKS IS MINIMUM 95% OF STANDARD PROCTOR DENSITY WITHIN MINUS 2% TO PLUS 4% OF OPTIMUM MOISTURE CONTENT.
- SIDEWALKS REQUIRE MINIMUM #3 BARS SPACED ON 18" CENTERS, EACH WAY.
- ALL CURBS WITHIN CITY RIGHT-OF-WAY MUST BE REINFORCED WITH #4 BARS.
- CURB & GUTTER MUST BE DESIGNED AND CONSTRUCTED TO PROVIDE POSITIVE DRAINAGE.
- SEPARATE CONCRETE CURB & GUTTER SHALL BE MARKED 3/8" DEEP WITH AN APPROVED TOOL (SAW CUT) IN 15 FOOT SECTIONS. INSTALL #4 "L-SHAPED" REBAR DOWELS (12" INTO EXISTING PAVEMENT), EVERY 18", EPOXIED IN.
- 1" REDWOOD EXPANSION JOINTS ARE REQUIRED AT ALL ABRUPT CHANGES IN ALIGNMENT OR WIDTH, RADI POINTS, OR EVERY 80 FEET, BEGINNING AT THE CURB RETURN.
- IF SIDEWALK IS LOCATED AT BACK-OF-CURB, REDWOOD JOINTS SHOULD MATCH WITH EXISTING REDWOOD JOINTS IN THE STREET.
- AT ALL EXPANSION JOINTS, 24" LONG, #6 (3/4") SMOOTH DOWEL IS REQUIRED EVERY 24" ON CENTER.
- 1" FOOTINGS ARE REQUIRED AT ALL EXPANSION JOINTS AND THE PAVEMENT DEPTH TRANSITIONS FROM 4" TO 5" THICK, OVER THE 24" LENGTH OF PAVEMENT.
- 8" FOOTING IS REQUIRED FOR SIDEWALKS LOCATED AT BACK-OF-CURB, WITH A 6" DOWEL.
- SIDEWALK MUST BE MINIMUM 5 FEET WIDE IF LOCATED AT BACK-OF-CURB.

GENERAL NOTES - DRIVE APPROACH

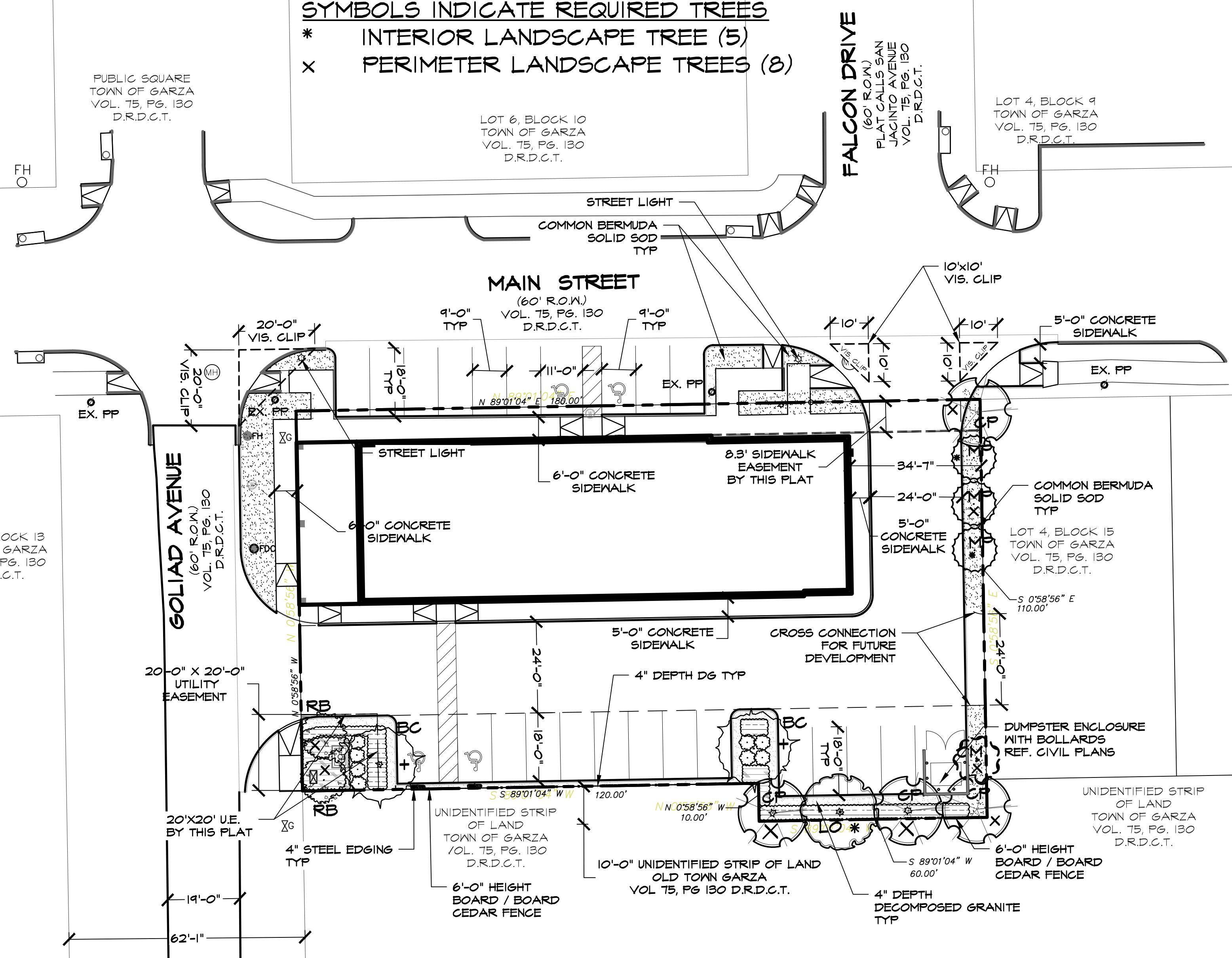
- MINIMUM DRIVE APPROACH PAVEMENT DEPTH IS 9". DRIVE APPROACH PAVEMENT DEPTH SHOULD MATCH ONSITE PAVEMENT DEPTH IF ONSITE PAVEMENT IS THICKER THAN THE MINIMUM THICKNESS FOR APPROACHES.
- HAND FINISH CLASS - TEST STRENGTH IS 4500psi COMPRESSIVE STRENGTH AT 28 DAYS AFTER PLACEMENT.
- STANDARD SUBGRADE COMPACTION UNDER DRIVE APPROACHES IS 98% STANDARD PROCTOR DENSITY AT MINUS 2% TO PLUS 4% OF OPTIMUM MOISTURE TO THE DEPTH SPECIFIED.
- #3 BARS ARE REQUIRED FOR CONCRETE THICKNESS LESS THAN 9", SPACED ON 18" CENTERS. #4 BARS ARE REQUIRED FOR CONCRETE THICKNESS THAT IS 9" OR GREATER, SPACED ON 18" CENTERS, UNLESS NOTED OTHERWISE.
- 1" REDWOOD EXPANSION JOINTS ARE REQUIRED AT ALL PROPERTY LINES.
- DOWEL PROPOSED DRIVE APPROACH INTO EXISTING PAVEMENT WITH 24" LONG, #4 BARS, AT 12" ON CENTER, EPOXIED IN.
- FOR EXPANSION JOINT AT THE PROPERTY LINE, 24" LONG, #8 (1") SMOOTH DOWEL IS REQUIRED FOR PAVING THICKNESS GREATER THAN 6". ALL DOWELS REQUIRED EVERY 12" ON CENTER AND MUST BE GREASED AND CAPPED.
- DRIVE APPROACHES REQUIRE A SAW JOINT AT THE CENTERLINE.

REMOVE & REPLACE AS REQUIRED EXISTING BRICKWORK FOR NEW CONC PAVEMENT INCLUDING DRIVE APPROACH. REPLACE WITH EXISTING COLOR & STYLE

Plotted by: Station10 Plot Date: 2/5/2025 3:13 PM

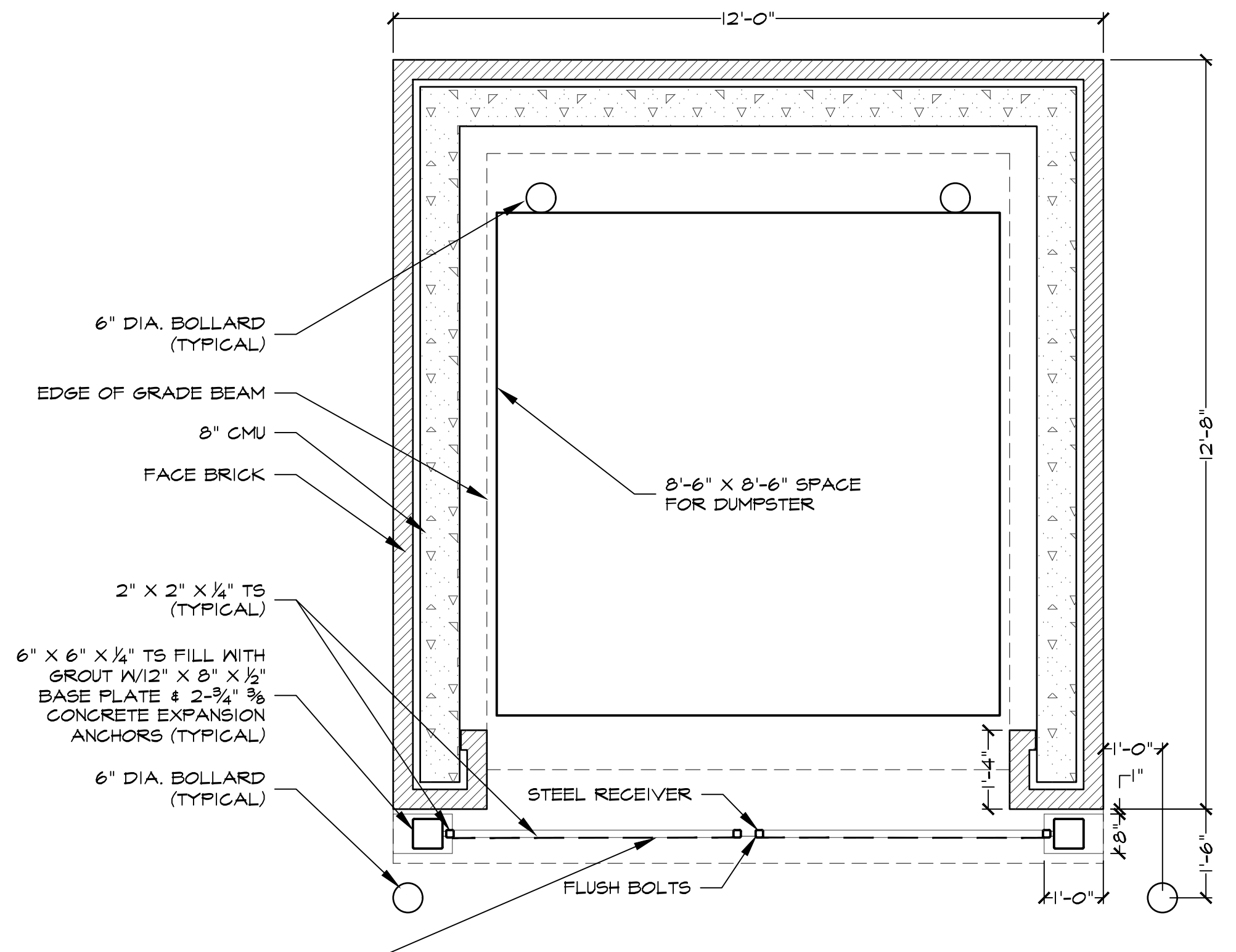
Drawing: W:\Shared\Projects\LDM001 - Lake Dallas Mixed Use\DWG\LDM001.dwg Saved By: Station10 Save Time: 1/22/2025 11:37 AM

SYMBOLS INDICATE REQUIRED TREES  
\* INTERIOR LANDSCAPE TREE (5)  
X PERIMETER LANDSCAPE TREES (8)



LANDSCAPE LEGEND

- BC BALD CYPRESS / TAXODIUM DISTICHUM (3" CALIPER)
- CP CHINESE PISTACHE / PISTACIA CHINENSIS (3" CALIPER)
- LO LIVE OAK / QUERCUS VIRGINIANA (3" CALIPER)
- RB RED BUD / CERCIS CANADENSIS (2" CALIPER - 6' MIN HEIGHT)
- MP MEXICAN PLUM / PRUNUS MEXICANA (2" CALIPER - 6' MIN HEIGHT)
- CM CRAPE MYRTLE / LAGERSTROEMIA INDICA (2" CALIPER - 6' MIN HEIGHT)
- TEXAS SAGE / LEUCOPHYLLUM FRUTESCENS (3 GALLON)
- LITTLE BLUESTEM GRASS / SCHIZACHYRIUM SCOPARIUM (1 GALLON, PLANTS SPACED 24" O.C.)
- MEXICAN FEATHER GRASS / STIPA TENNUSSIMA (1 GALLON, PLANTS SPACED 12" O.C.)
- COMMON BERMUDA SOD (MINIMUM 100% COVERAGE)
- DECOMPOSED GRANITE (DG) (MINIMUM 100% COVERAGE @ 4" DEPTH)



DUMPSTER ENCLOSURE PLAN

SCALE: 1/2" = 1'-0"

- CODE OF ORDINANCES  
Chapter 122 - ZONING  
ARTICLE XXII. - SCREENING AND LANDSCAPING  
DIVISION 1. GENERALLY

DIVISION 1. GENERALLY  
Sec. 122-1228. Minimum requirements for off-street parking and vehicular use areas.

Parking lots, vehicular use areas and parked vehicles are to be effectively screened from the public view and adjacent property. Both the interior and perimeter of such areas shall be landscaped in accordance to the following criteria. Areas used for parking or vehicular storage that are under, on or within buildings are exempt from this section.

- (1) Interior landscaping. A minimum of ten percent of the gross parking areas shall be devoted to living landscaping which includes grass, ground cover, plants, shrubs and trees. Gross parking area is to be measured from the edge of the parking and/or driveway paving and sidewalks. The following additional criteria shall apply to the interior of parking lots:
a. Interior landscape areas shall be protected from vehicular encroachment of overhang through appropriate wheel stop or curbs.
b. There shall be a minimum of one tree planted for each 400 square feet or fraction thereof of required interior landscape area.
c. Interior areas of parking lots shall contain planting islands located so as to best relieve the expanse of paving. Planter islands must be located no further apart than every 12 parking spaces

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and at the terminus of all rows of parking. Such islands shall contain at least one tree. The remainder shall be landscaped with shrubs, lawn, ground cover and other appropriate material not to exceed three feet in height. Interior planter islands shall have a minimum size of ten by 20 feet.

- (2) Perimeter landscaping. All parking lots and vehicular use areas shall be screened from all abutting properties and/or public rights-of-way with a wall, fence, hedge, berm or other durable landscape barrier. Any living barrier shall be established in a planting strip with a minimum width of two feet. Plants and materials used in living barriers shall be at least 30 inches high at the time of planting and shall be of a type and species that will attain a minimum height of three feet one year after planting. Any landscape barrier not containing live plants or trees shall be a minimum of three feet high at time of installation. Perimeter landscaping shall be designed to screen off-street parking lots and other vehicular use areas from public rights-of-way and adjacent properties.

- a. Whenever an off-street parking or vehicular use area abuts a public right-of-way, a perimeter landscape area at least 15 feet in depth shall be maintained between the abutting right-of-way and the off-street parking or vehicular use area. An appropriate landscape screen or barrier shall be installed in this area, and the remaining area shall be landscaped with at least grass or other ground cover. Necessary access ways from the public right-of-way shall be permitted through all such landscaping. The maximum width for access ways shall be 50 feet for nonresidential two-way movements, 30 feet for residential two-way movements, 20 feet for nonresidential one-way movements, and 15 feet for residential one-way movements.
b. Whenever an off-street parking or vehicular use area abuts an adjacent property line, a perimeter landscape area at least ten feet in width shall be maintained between the edge of the parking area and the adjacent property line. Landscaping shall be designed to visually screen the parking area. Whenever such property is zoned or used for residential purposes, the landscape buffer shall include a wall, hedge or berm not greater than eight feet in height nor less than three feet in height.
c. Perimeter landscape areas shall contain at least one tree for each 50 lineal feet or fraction thereof of perimeter area.

(Ordinance 06-09, § 2, 3-23-06)

Sec. 122-1229. Landscaping requirements for nonvehicular open space.

In addition to the landscaping of off-street parking and vehicular use areas, all remaining open spaces on any developed lot or parcel shall conform to the following minimum requirements:

- (1) Grass, ground cover, shrubs and other landscape materials shall be used to cover all open ground within 20 feet of any building or paving or other use such as storage.
(2) All structures shall be treated with landscaping so as to enhance the appearance of the structure and to screen any detractive or unsightly appearance.
(3) Landscaping shall be provided on each developed lot in accordance with the following standards:
a. In all residential zoning districts, a minimum of 15 percent of the landscaping shall be located in the required front yard.
b. In all nonresidential zoning districts, a minimum of 15 percent of the total site area shall be devoted to feature landscaping, with not less than 50 percent of the landscaping being located in the required front yard.

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- (4) Trees shall be planted in non-vehicular open space to meet the following requirements. Existing trees that are preserved on a developed site may be credited to the following requirements:

Percentage of Site in Nonvehicular Open Space	Tree Ratio Per Open Space
Less than 30	1 tree/2,500 sq. ft.
30-49	1 tree/3,000 sq. ft.
50 or over	1 tree/4,000 sq. ft.

Lake Dallas, Texas, Code of Ordinances (Supp. No. 7) Created: 2024-10-22 16:16:32 [EST] Page 1 of 7

LANDSCAPE REQUIREMENTS

- (1) INTERIOR LANDSCAPING
a. REQUIRED MINIMUM 10% OF THE GROSS PARKING DEVOTED TO LIVING LANDSCAPE. \* GROSS PARKING AREA = 8,285 SF x 10% = 828.5 SF REQUIRED
PROVIDED INTERIOR LANDSCAPE AREA PROVIDED 1,428 SF (17.2%)
b. REQUIRED MINIMUM 1 TREE PLANTED FOR EACH 400 SF OF REG. INTERIOR LANDSCAPE AREA \* REG. LANDSCAPE AREA = 825.5 SF / 400 = 2.06 (3 TREES)
PROVIDED PROVIDED 3 TREES PER INTERIOR TREE PLANTING REQUIREMENT
c. REQUIRED 1 TREE AT THE TERMINUS OF ALL ROWS OF PARKING
PROVIDED PROVIDED 1 TREES AT THE TERMINUS OF EACH PARKING ROW

(2) PERIMETER LANDSCAPING

- a. REQUIRED WHERE AN OFF-STREET OR VEHICULAR USE ABUTS A PUBLIC ROW, A PERIMETER LANDSCAPE AREA AT LEAST 15' DEPTH SHALL BE MAINTAINED BETWEEN THE ABUTTING ROW AND VEHICULAR USE AREA OR OFF-STREET PARKING.
PROVIDED PROVIDED A 15' AREA BETWEEN GOLIAD AVE. ROW AND PARKING SPACES ADJACENT / SIDING GOLIAD AVE. ROW
\*\*NOTE\*\* NO PERIMETER REQUIRED FOR PARKING ALONG MAIN STREET

- b. REQUIRED WHERE A OFF-STREET PARKING OR VEHICULAR USE AREA ABUTS AN ADJACENT PROPERTY LINE A PERIMETER LANDSCAPE AREA AT LEAST 10' WIDE SHALL BE MAINTAINED.
PROVIDED PROVIDED PERIMETER LANDSCAPE BUFFER NOT REQUIRED PER APPROVED PLANNED DEVELOPMENT ORDINANCE.

- c. REQUIRED PERIMETER LANDSCAPE AREA SHALL CONTAIN AT LEAST 1 TREE FOR EACH 50 LINEAL FEET OR FRACTION THEREOF PERIMETER LANDSCAPE AREA
\*\*NORTH PROPERTY LINE = 180 LF 180 / 50 = 4 (0 TREES)
NOTE-PERIMETER BUFFER ON NORTH PROPERTY LINE NOT REQUIRED
\*\*SOUTH PROPERTY LINE = 180LF 180 / 50 = 3.6 (4 TREES)
\*\*WEST PROPERTY LINE = 100 LF 100 / 50 = 2 (1 TREES) (AT 50%)
NOTE-ONLY 50% OF WEST PROPERTY LINE REQUIRES PERIMETER BUFFER
\*\*EAST PROPERTY LINE = 120LF 120 / 50 = 2.4 (3 TREES)
TOTAL TREES REQUIRED = 8

- PROVIDED PERIMETER LANDSCAPE AREA SHALL CONTAIN AT LEAST 1 TREE FOR EACH 50 LINEAL FEET OR FRACTION THEREOF PERIMETER LANDSCAPE AREA
\*\*NORTH PROPERTY LINE = 180 LF 180 / 50 = 4 (0 TREES)
\*\*SOUTH PROPERTY LINE = 180LF 180 / 50 = 4 (4 TREES)
\*\*WEST PROPERTY LINE = 100 LF 100 / 50 = 2 (1 TREES)
\*\*EAST PROPERTY LINE = 120LF 120 / 50 = 3 (3 TREES)
TOTAL TREES PROVIDED = 8

DIVISION 2. - SCREENING

- REQUIRED SEC. 122-1182. - LOCATION OF REQUIRED SCREENING.
(A) WHERE THE SIDE, REAR OR SERVICE SIDE OF A MULTIFAMILY, OR NONRESIDENTIAL USE IS ADJACENT TO A SINGLE-FAMILY, TWO-FAMILY RESIDENTIAL DISTRICT, SCREENING NOT LESS THAN SIX FEET IN HEIGHT SHALL BE ERECTED SEPARATING THE USE FROM THE ADJACENT RESIDENTIAL DISTRICT; SUCH SCREENING SHALL BE IN ACCORDANCE WITH SCREENING ALTERNATE A OR E, GIVEN IN SECTION 122-1183. NO SCREENING IS REQUIRED ADJACENT TO A STREET.

- (B) SCREENING ALTERNATE E. SCREENING ALTERNATE E CONSISTS OF A SOLID WOOD BOARD ON BOARD FENCE TO A MINIMUM HEIGHT OF SIX FEET, MEASURED FROM THE AVERAGE GRADE OF THE NEAREST PROPERTY LINE OF THE PROPERTY ADJACENT TO THAT ON WHICH THE SCREENING IS REQUIRED. THE WOOD FENCE MUST MEET THE FOLLOWING REQUIREMENTS OR THEIR EQUIVALENT: PICKETS TO BE #1 FULL CUT GRADE CEDAR 2" x 4" RAILS; AND STEEL POSTS OF .045 GAUGE AND OF 2 1/2" DIAMETER.

- PROVIDED SCREENING ALTERNATE E. SCREENING ALTERNATE E CONSISTS OF A SOLID WOOD BOARD ON BOARD FENCE TO A MINIMUM HEIGHT OF SIX FEET, MEASURED FROM THE AVERAGE GRADE OF THE NEAREST PROPERTY LINE OF THE PROPERTY ADJACENT TO THAT ON WHICH THE SCREENING IS REQUIRED. THE WOOD FENCE MUST MEET THE FOLLOWING REQUIREMENTS OR THEIR EQUIVALENT: PICKETS TO BE #1 FULL CUT GRADE CEDAR 2" x 4" RAILS; AND STEEL POSTS OF .045 GAUGE AND OF 2 1/2" DIAMETER.

STUDIO DESIGN GROUP  
Studio 13 Design Group, PLLC.  
386 W. Main Street  
Lewisville, Texas 75057  
469-635-1900  
TBAE Firm #BR643  
December 3, 2025

North arrow pointing up.  
Scale bar: 1" = 20' - 0"  
Text: Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

LANDSCAPE AND SCREENING  
Landscape Plan  
Lake Dallas Mixed - Use  
Lake Dallas, Dallas County, Texas

#	PLAN REVIEW REVISIONS	BY	DATE
1	Revised Per City Comments - December 2, 2024	LWR	1-3-2025
2	Revised Per City Comments - January 21, 2025	LWR	1-21-2025
3	Revised Per City Comments - February 5, 2025	LWR	2-5-2025

PROJECT LDM001  
PLATE 1 SHEET LS1

**LANDSCAPE NOTES:**

- A TREE PERMIT IS REQUIRED FOR ALL REMOVAL OF ALL TREES, PROTECTED AND UNPROTECTED.
- PLANT MATERIAL SHALL BE MEASURED AND SIZED ACCORDING TO THE LATEST EDITION OF THE TEXAS NURSERY & LANDSCAPE ASSOCIATION (TNLA) SPECIFICATIONS, GRADES AND STANDARDS.
- ALL PLANT SUBSTITUTIONS ARE SUBJECT TO CITY OF CELINA APPROVAL AND MUST BE SPECIFIED ON THE APPROVED LANDSCAPE PLAN.
- GROUND COVERS USED IN LIEU OF TURF GRASS MUST PROVIDE COMPLETE COVERAGE WITHIN ONE (1) YEAR OF PLANTING AND MAINTAIN ADEQUATE COVERAGE AS APPROVED BY THE CITY OF CELINA.
- TREES MUST BE PLANTED FOUR FEET (4') OR GREATER FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND/OR OTHER STRUCTURES. THE CITY OF CELINA HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- TREE PITS SHALL HAVE ROUGHENED SIDES AND BE TWO TO THREE TIMES WIDER THAN THE ROOT BALL OF THE TREE IN ORDER TO FACILITATE HEALTHY ROOT GROWTH.
- TREES SHALL NOT BE PLANTED DEEPER THAN THE BASE OF THE "TRUNK FLARE".
- THE TREE PIT SHALL BE BACKFILLED WITH NATIVE TOPSOIL FREE OF ROCK AND OTHER DEBRIS.
- BURLAP, TWINE AND WIRE BASKETS SHALL BE LOOSENEED AND PULLED BACK FROM THE TRUNK OF TREE AS MUCH AS POSSIBLE.
- TREES SHALL NOT BE WATERED TO EXCESS THAT RESULTS IN SOIL SATURATION. IF SOIL BECOMES SATURATED, THE WATERING SCHEDULE SHALL BE ADJUSTED TO ALLOW FOR DRAINAGE AND ABSORPTION OF THE EXCESS WATER.
- A 3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- NO PERSON(S) OR ENTITY MAY USE IMPROPER OR MALICIOUS MAINTENANCE OR PRUNING TECHNIQUES WHICH WOULD LIKELY LEAD TO THE DEATH OF THE TREE. IMPROPER OR MALICIOUS TECHNIQUES INCLUDE, BUT ARE NOT LIMITED TO, TOPPING OR OTHER UNSYMMETRICAL TRIMMING OF TREES, TRIMMING TREES WITH A BACKHOE, OR USE OF FIRE OR POISON TO CAUSE THE DEATH OF A TREE.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD OR OTHER MULCH.
- TREES OVERHANGING WALKS AND PARKING SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 7 FEET. TREES OVERHANGING PUBLIC STREET PAVEMENT DRIVE AISLES AND FIRE LANES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 14 FEET.
- A VISIBILITY TRIANGLE MUST BE PROVIDED AT ALL INTERSECTIONS. SHRUBS ARE NOT TO EXCEED 30 INCHES IN HEIGHT. TREES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 7 FEET AT TIME OF PLANTING.
- TREES PLANTED ON A SLOPE SHALL HAVE THE SOIL STAIN AT THE AVERAGE GRADE OF SLOPE.
- NO SHRUBS SHALL BE PERMITTED WITHIN AREAS LESS THAN 3 FEET IN WIDTH. ALL BEDS LESS THAN 3 FEET IN WIDTH SHALL BE GRASS, GROUNDCOVER OR SOME TYPE OF FIXED PAVING.
- THE OWNER, TENANT, AND/OR THEIR AGENTS, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE, ESTABLISHMENT, AND PERMANENCE OF PLANT MATERIAL. ALL LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE, BUT NOT LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, AND OTHER ACTIVITIES NECESSARY FOR THE MAINTENANCE OF LANDSCAPED AREAS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT IS DAMAGED, DESTROYED, OR REMOVED SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE AND VARIETY WITHIN 30 DAYS UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY OF CELINA.
- LANDSCAPE AND OPEN AREAS SHALL BE KEPT FREE OFF TRASH, LITTER AND WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO IRRIGATE ALL LANDSCAPE AREAS. OVERSPRAY ON STREETS AND WALKS IS PROHIBITED. A PERMIT FROM THE BUILDING INSPECTION DEPARTMENT IS REQUIRED FOR EACH IRRIGATION SYSTEM.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCR OACH ON RIGHT-OF-WAY, SIDEWALKS OR EASEMENTS TO THE EXTENT THAT THE VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- NO PLANTING AREAS SHALL EXCEED 3:1 SLOPE. 3' HORIZONTAL TO 1' VERTICAL.
- EARTHEN BERMS SHALL NOT INCLUDE CONSTRUCTION DEBRIS. CONTRACTOR MUST CORRECT SLIPPAGE OR DAMAGE TO THE SMOOTH FINISH GRADE OF THE BERM PRIOR TO ACCEPTANCE.
- ALL WALKWAYS SHALL MEET A.D.A. AND T.A.S. REQUIREMENTS.
- CONTACT CITY OF CELINA'S PLANNING DEPARTMENT AT FOR LANDSCAPE INSPECTION. NOTE LANDSCAPE INSTALLATION MUST COMPLY WITH APPROVED LANDSCAPE PLANS PRIOR FINAL ACCEPTANCE BY THE CITY OF CELINA AND/OR OBTAINING A CERTIFICATE OF OCCUPANCY.
- FINAL INSPECTION AND APPROVAL OF SCREENING WALLS, IRRIGATION AND LANDSCAPE IS SUBJECT TO ALL PUBLIC UTILITIES, INCLUDING BUT NOT LIMITED TO MANHOLES, VALVES, WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, TO BE ACCESSIBLE, ADJUSTED TO GRADE AND TO THE CITY OF CELINA'S PUBLIC WORKS DEPARTMENT STANDARDS.
- PRIOR TO CALLING FOR A LANDSCAPE INSPECTION, CONTRACTOR IS RESPONSIBLE FOR MARKING ALL MANHOLES, VALVES, WATER METERS, CLEANOUTS AND OTHER UTILITY APPURTENANCES WITH FLAGGING FOR FIELD VERIFICATION BY THE PUBLIC WORKS DEPARTMENT.

**PLANT LIST**

Code	Plant Name	Quantity	Size	Notes
BC	BALD CYPRESS / TAXODIUM DISTICHUM	2	4" CALIPER	AS SHOWN
LO	LIVE OAK / QUERCUS VIRGINIANA	1	8" CALIPER	AS SHOWN
CP	CHINESE PISTACHE / PISTACIA CHINENSIS	4	4" CALIPER	AS SHOWN
RB	FOREST PANSY REDBUD / CERCIS CANADENSIS 'FOREST PANSY'	2	2" CALIPER	AS SHOWN
MP	MEXICAN PLUM / PRUNUS CANADENSIS	3	2" CALIPER	AS SHOWN
CM	GRAPE MYRTLE / LAGERSTROEMIA INDICA	1	2" CALIPER	AS SHOWN
	TEXAS SAGE / LEUCOPHYLLUM FRUTESCENS	8	3 GALLON	AS SHOWN
	MEXICAN FEATHER GRASS / STIPA TENNUSSIMA	257	1 GALLON	12" O.C.
	LITTLE BLUESTEM GRASS / SCHIZACHYTRIUM SCOPARIUM	355	1 GALLON	12" O.C.
	COMMON BERMUDA SOLID SOD	707	SOLID SOD	SQUARE FEET
	DECOMPOSED GRANITE	374	4" DEPTH	SQUARE FEET
	BENDABOARD EDGING	324	4" HEIGHT	LINEAR FEET

6' MINIMUM SPREAD; MINIMUM 12' HEIGHT; FULL ROUNDED HEAD 6' MINIMUM BRANCHING HEIGHT; NURSERY GROWN

6' MINIMUM SPREAD; MINIMUM 12' HEIGHT; FULL ROUNDED HEAD 6' MINIMUM BRANCHING HEIGHT; NURSERY GROWN

6' MINIMUM SPREAD; MINIMUM 12' HEIGHT; FULL ROUNDED HEAD 6' MINIMUM BRANCHING HEIGHT; NURSERY GROWN

5' MINIMUM SPREAD; MINIMUM 8' HEIGHT; 2" MIN. CAL.; FULL HEAD NURSERY GROWN

5' MINIMUM SPREAD; MINIMUM 8' HEIGHT; 2" MIN. CAL.; FULL HEAD NURSERY GROWN

5' MINIMUM SPREAD; MINIMUM 8' HEIGHT; 2" MIN. CAL.; FULL HEAD NURSERY GROWN

FULL PLANTS

FULL PLANTS

MINIMUM 100% COVERAGE

MINIMUM 100% COVERAGE

REFER TO DETAIL 3/L2

**STUDIO DESIGN GROUP**

Studio 13 Design Group, PLLC.  
386 W. Main Street  
Lewisville, Texas 75057  
469-635-1900

TBAE Firm #BR643

December 3, 2025

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

**LANDSCAPE AND SCREENING**

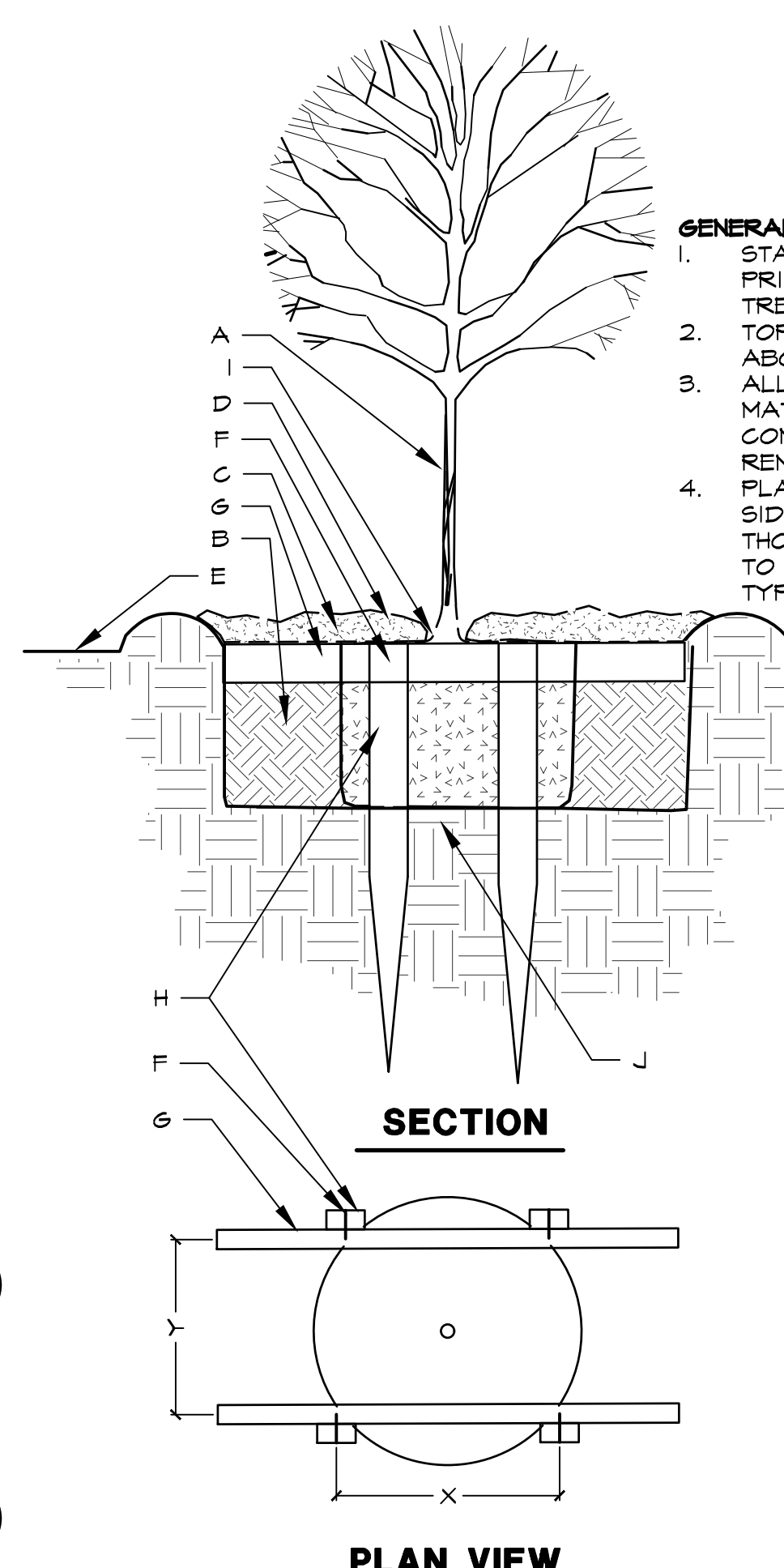
Landscape Plan

Project Name

Town/City of XXXXX, XXXX County, Texas

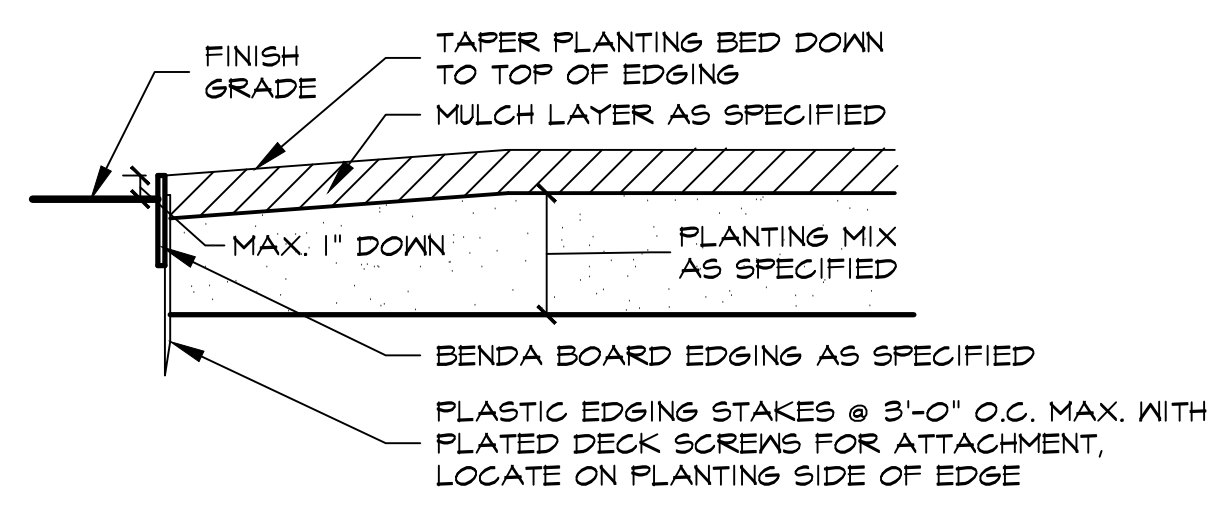
PLAN REVIEW REVISIONS	BY	DATE
1	LWR	1-3-2025
2	LWR	1-21-2025
3	LWR	2-5-2025

PROJECT	
LDM001	
PLATE	SHEET
2	LS2

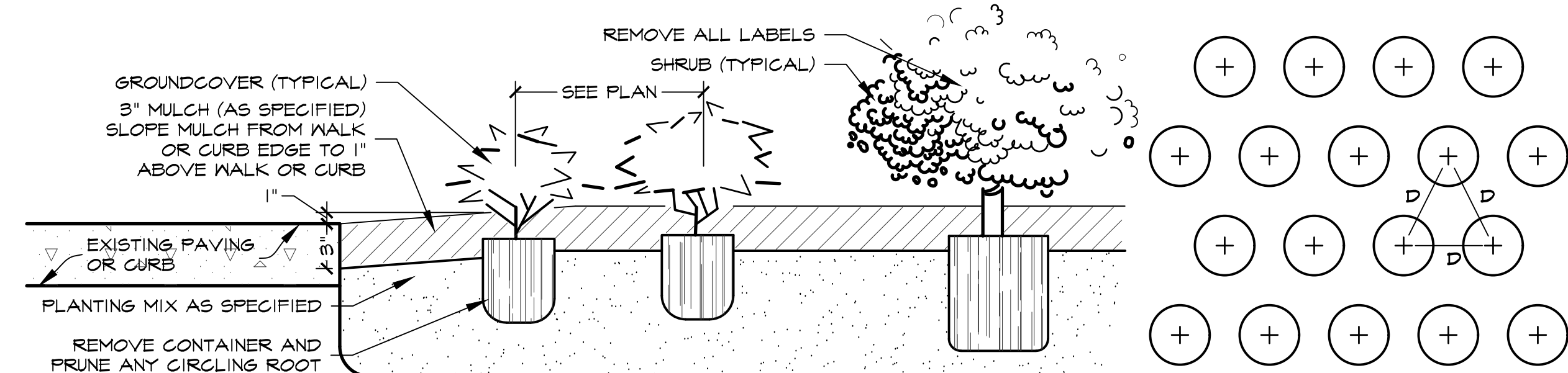


- GENERAL NOTES:**
- STABILIZE SOIL BELOW ROOT BALL PRIOR TO PLANTING TO PREVENT TREE FROM SETTLING.
  - TOP OF ROOTBALL SHALL 1" TO 2" ABOVE FINISHED GRADE.
  - ALL WIRE ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED COMPLETELY FROM ROOTBALL AND REMOVE TOP 1/3 OF BURLAP.
  - PLANTING PITS SHALL BE SQUARE, SIDES OF PITS SHALL BE THOROUGHLY SCARIFIED/ROUGHENED TO ELIMINATE FLARED AS SHOWN IN TYPICAL DETAIL.

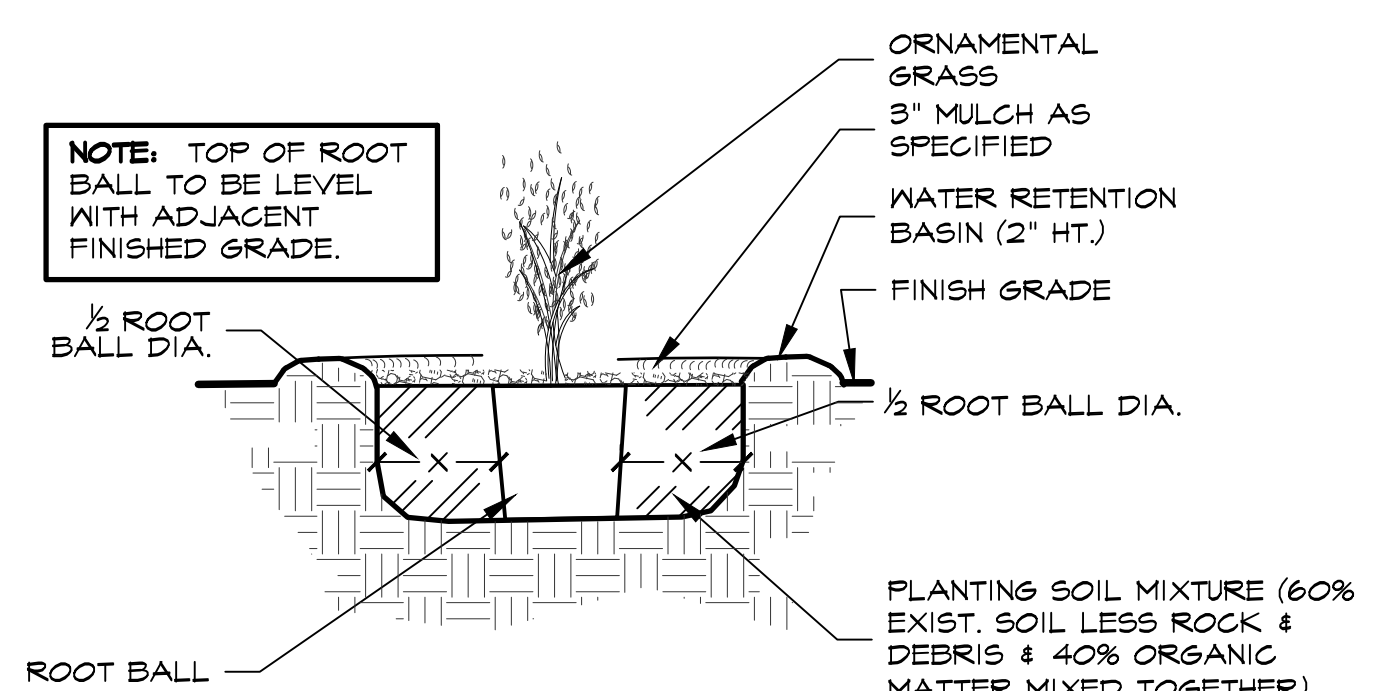
- CONSTRUCTION NOTES:**
- TREE
  - LOOSEN NATIVE BACKFILL (NO SOIL AMENDMENTS IN CONTRACT)
  - WATER RETENTION BASIN
  - 3" DEPTH MULCH AS SPECIFIED
  - FINISH GRADE
  - 2 1/2" DRYWALL SCREEN (UNFINISHED)
  - 2" X 2" X 4" CROSS MEMBER (UNTREATED LUMBER). NOTE: CROSS MEMBERS TO BE ORIENTED PARALLEL TO NORTH / SOUTH BEARING AND SHALL BE PROPORTIONAL IN LENGTH TO ROOT BALL (4' MIN).
  - 2" X 2" X 4" STAKE WITH 18" MIN. TAPER (UNTREATED LUMBER)
  - REMOVE TOP 1/3 OF BURLAP SURROUNDING ROOTBALL AFTER INSTALLATION (TO PREVENT "WICKING" OF MOISTURE) X DIMENSION EQUAL TO "Y" Y. DIMENSION EQUAL TO "X"
  - ROOTBALL SHALL BE PLACED ON UNDISTURBED NATIVE SOIL.



**3 TYPICAL BED EDGING DETAIL**  
NOT TO SCALE

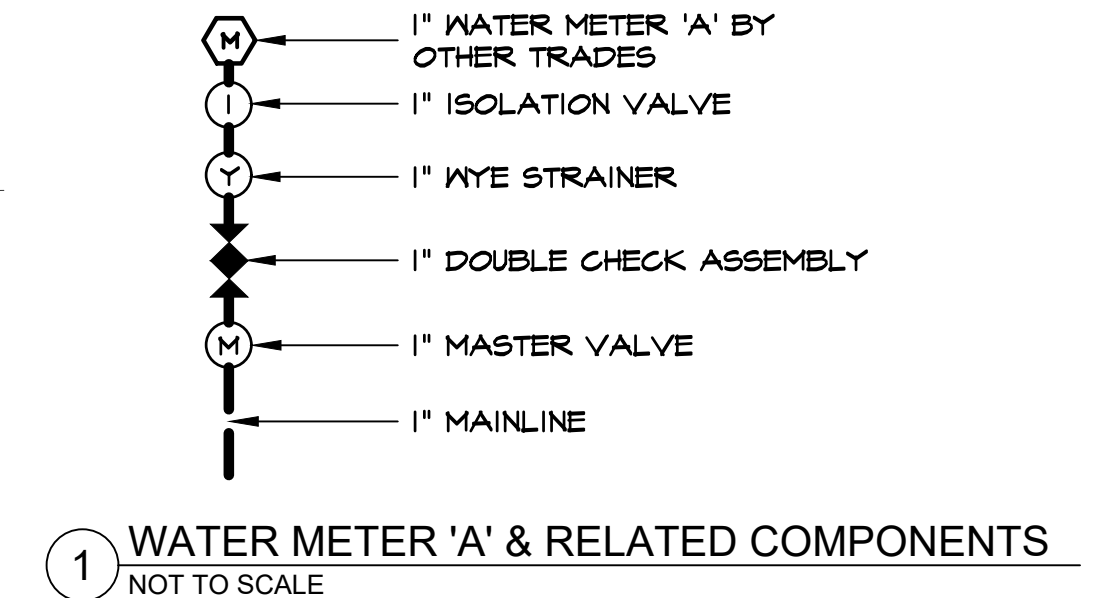
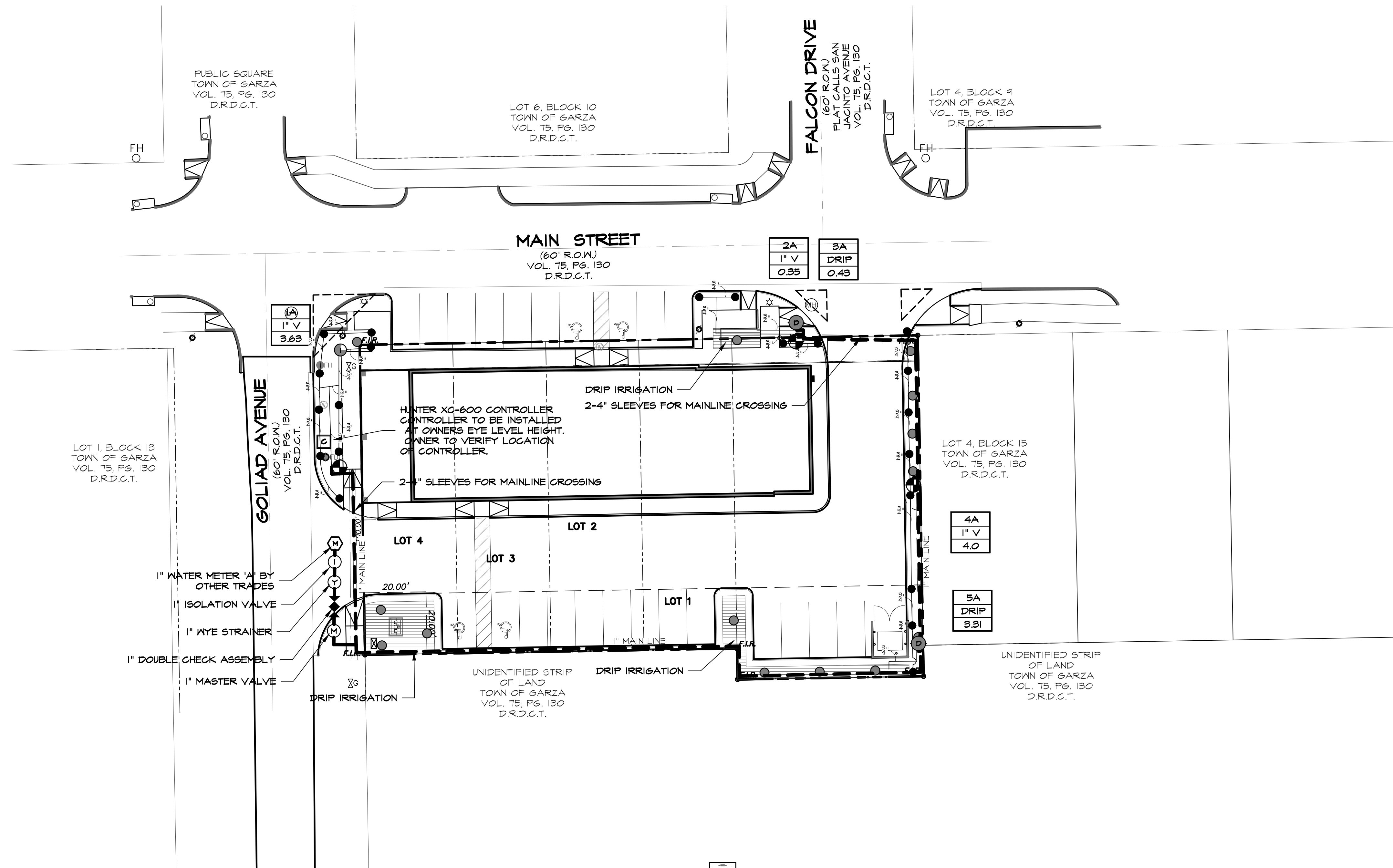


**2 SHRUB AND GROUND COVER PLANTING DETAIL**  
NOT TO SCALE



**1 POCKET PLANTING ORNAMENTAL GRASS DETAIL**  
NOT TO SCALE

Drawing: W:\Shared\Projects\LDM001 - Lake Dallas Mixed Use\DWG\LDM001.LS.dwg Saved By: Station10 Save Time: 1/22/2025 11:37 AM Plotted by: Station10 Plot Date: 2/5/2025 3:13 PM



LANDSCAPE AND SCREENING  
 Irrigation Meters & Sleeves Exhibit  
 Lake Dallas Mixed - Use  
 Lake Dallas, Dallas County, Texas

PLAN REVIEW REVISIONS	BY	DATE
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PROJECT	LDM001
PLATE	1
SHEET	IR1

- COORDINATE SLEEVE AND CONDUIT REQUIREMENTS WITH GENERAL CONTRACTOR. IRRIGATION SLEEVES SHALL BE AS FOLLOWS:
  - SLEEVES INTENDED FOR LATERAL LINES ARE TO BE ONE-FOUR INCH SLEEVE AND ARE TO BE NO MORE THAN A DEPTH OF TWO FEET BELOW TOP OF CURB. SLEEVES SHOULD EXTEND A MINIMUM OF 2'-0" BEYOND BACK OF CURB.
  - SLEEVES INTENDED FOR THE 2" MAINLINE ARE TO BE TWO-FOUR INCH SLEEVES SIDE BY SIDE AND ARE TO BE NO MORE THAN A DEPTH OF TWO FEET BELOW TOP OF CURB. SLEEVES SHOULD EXTEND A MINIMUM OF 2'-0" BEYOND BACK OF CURB.
- THE OWNER AND/OR LANDSCAPE ARCHITECT SHALL DETERMINE THE FINAL CONTROLLER LOCATION. THE IRRIGATION CONTRACTOR SHALL MAKE FINAL ELECTRICAL CONNECTION OF CONTROLLER PER LOCAL ELECTRICAL CODE. PROVIDE ALL NECESSARY FUSE BOXES, CONDUIT, FITTINGS, CONNECTORS OR OTHER ELECTRICAL DEVICES TO MAKE CONNECTION. OWNER SHALL PROVIDE ELECTRICAL SERVICE WITHIN 10 LINEAR FEET OF CONTROLLER LOCATION UNLESS NOTED OTHERWISE ON DRAWINGS.

**IRRIGATION LEGEND AND SCHEDULE**

SYM	DESCRIPTION	MANUFACTURER	MODEL	SIZE / NOZZLE	NOTES
	AUTOMATIC CONTROLLER	HUNTER	XC-600	N/A	INSTALL PER MANUFACTURER'S STANDARDS. IN ADDITION, INSTALL SOLAR-SYNC SYSTEM BY HUNTER.
	DRIP IRRIGATION CONTROL VALVE	HUNTER	ICZ-101	1"	INSTALL PER DETAIL IN 10" ROUND BOX W/ BOLT DOWN LID. ROUT AND PAINT VALVE NUMBER ON LID.
	DRIP IRRIGATION (LANDSCAPE BEDS)	HUNTER	HDL-06-18	N/A	INSTALL PER DETAIL W/ 40 PSI AT OUTFLOW OF DRIP ZONE VALVE. IN ADDITION, INSTALL ECO-INDICATOR BY HUNTER.
	DRIP IRRIGATION	HUNTER	PCN-10 BUBBLER (1.0 GPM)	1/2"	INSTALL PER DETAIL W/ 40 PSI AT BASE OF HEAD. INSTALL NOZZLES ON 4" PRS40 SPRAY BODIES. INSTALL ON ALL PROPOSED TREES, SEE LANDSCAPE PLANS.
	REMOTE CONTROL VALVE	HUNTER	ICV-101S ICV-1S16	Refer to Plan for Size	INSTALL PER DETAIL IN 10" ROUND PENTEK VALVE BOX WITH BOLT DOWN LID. ROUT AND PAINT VALVE NUMBER ON LID.
	LAWN MP ROTATOR	HUNTER	MP ROTATOR	MP1000, MP2000, MP3000, MP3500	INSTALL PER DETAIL W/ 40 PSI AT BASE OF HEAD. INSTALL LASCO P-1207 SWING JOINTS ON ALL SPRAY BODIES. INSTALL NOZZLES ON 4" PRS40 OR 12" PRS05-12 SPRAY BODIES.
	4" POP UP MP ROTATOR CORNER STRIP	HUNTER	STRIP SERIES	MFLC815 IVORY MPC8515 COPPER MPS8550 BROWN	INSTALL PER DETAIL W/ 40 PSI AT BASE OF HEAD. INSTALL NOZZLES ON 4" PRS40 SPRAY BODIES.
	QUICK-COUPLER VALVE	CHAMPION	QCV-100VL	1"	INSTALL PER DETAIL IN 12"x11" PENTEK VALVE BOX. ROUT AND PAINT LID AS DESCRIBED IN IRRIGATION NOTES.
	QUICK-COUPLER KEY	CHAMPION	CK-100	1"	FURNISH THREE (3) TO OWNER
	HOSE SNIWEL	CHAMPION	QCS-2	1"	FURNISH THREE (3) TO OWNER
	WATER METER	----	PER CITY	Refer to Plan for Size	INSTALLED BY GENERAL CONTRACTOR
	DOUBLE CHECK VALVE	Febco	250-BV Series	Refer to Plan for Size	FURNISH AND INSTALL PER LOCAL CODE BY LICENSED IRRIGATION CONTRACTOR.
	ISOLATION VALVE	Nibco	*T-113	Line Size	INSTALL PER DETAIL IN 12"x11" PENTEK VALVE BOX WITH BOLT DOWN LID.
	WYE STRAINER	Febco	LF650A	Refer to Plan for Size	INSTALL PER DETAIL IN 12"x11" PENTEK VALVE BOX WITH BOLT DOWN LID.
	MASTER VALVE	Hunter	ICV-101S ICV-1S16	Refer to Plan for Size	INSTALL PER DETAIL IN 12"x11" PENTEK VALVE BOX WITH BOLT DOWN LID.
	IRRIGATION SLEEVE	----	SCH. 40 W/ 12 GA. PULL WIRE IN SLEEVE	Refer to Plan for Size	DRIVEWAY SLEEVES INSTALLED BY GENERAL CONTRACTOR. SIDEWALK SLEEVES INSTALLED BY IRRIGATION CONTRACTOR.
	IRRIGATION MAIN LINE	----	SCH. 40	Refer to Plan for Size	18" INSTALLATION DEPTH.
	IRRIGATION LATERAL LINE	----	CLASS 200	Refer to Plan for Size	12" INSTALLATION DEPTH STANDARD. 18" INSTALLATION DEPTH UNDER PAVING.

- PROGRAM AND STATION NUMBER FOR AUTOMATIC CONTROLLER
- VALVE SIZE IN INCHES
- GALLONS PER MINUTE, PER VALVE

**IRRIGATION NOTES (TWO-WIRE SYSTEM)**

- PROVIDE A COMPLETE, FUNCTIONING AUTOMATIC IRRIGATION SYSTEM INCLUDING LABOR, MATERIALS, FEES, TAXES, EQUIPMENT, AND OTHER COSTS INCIDENTAL TO ACCOMPLISHING WORK.
- ACQUIRE WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT OR LICENSED IRRIGATOR FOR MATERIAL SUBSTITUTES PRIOR TO BEGINNING INSTALLATION.
- FORTY EIGHT (48) HOURS BEFORE IRRIGATION CONSTRUCTION BEGINS, IRRIGATION CONTRACTOR MUST CALL (800) DIG-TESS AND IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UTILITIES AND/OR OBSTACLES PRIOR TO BEGINNING WORK. ANY DAMAGE TO UTILITIES AND/OR FINISHES FROM INFERIOR WORKMANSHIP BY THE IRRIGATION CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- PIPING IS DIAGRAMMATIC AND SHOWN FOR CLARITY ONLY. ADJUST AS REQUIRED FOR EXISTING UTILITIES, OBSTRUCTIONS, TREE ROOT BALLS, ETC. PIPING AND VALVES SHOWN IN PAVING FOR CLARITY ONLY AND SHALL BE INSTALLED IN ADJACENT LANDSCAPE AREA. COORDINATE WITH THE CITY OR ENTITY INSPECTING THE IRRIGATION SYSTEM AND DETERMINE THE LOCAL RULES AND CODES TO ABIDE BY REGARDING MAINLINE AND LATERAL PIPING LOCATIONS.
- COORDINATE SLEEVE AND CONDUIT REQUIREMENTS WITH GENERAL CONTRACTOR. IRRIGATION SLEEVES SHALL BE AS FOLLOWS:
  - SLEEVES INTENDED FOR LATERAL LINES ARE TO BE ONE-FOUR INCH SLEEVE AND ARE TO BE NO MORE THAN A DEPTH OF TWO FEET BELOW TOP OF CURB. SLEEVES SHOULD EXTEND A MINIMUM OF 2'-0" BEYOND BACK OF CURB.
  - SLEEVES INTENDED FOR THE 2" MAINLINE ARE TO BE TWO-FOUR INCH SLEEVES SIDE BY SIDE AND ARE TO BE NO MORE THAN A DEPTH OF TWO FEET BELOW TOP OF CURB. SLEEVES SHOULD EXTEND A MINIMUM OF 2'-0" BEYOND BACK OF CURB.
- LOCATE EACH END OF IRRIGATION SLEEVES DIMENSIONALLY ON THE RECORD "AS BUILT" DRAWINGS.
- THE IRRIGATION CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE IRRIGATION SYSTEM WITH THE LANDSCAPE CONTRACTOR TO ENSURE ALL PLANT MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS.
- THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO PLANT MATERIAL DUE TO SYSTEM FAILURE FROM INFERIOR WORKMANSHIP FOR THE DURATION OF THE INSTALLATION OF PLANT MATERIAL AND MAINTENANCE PERIOD FOLLOWING INSTALLATION.
- THE IRRIGATION CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIAL NECESSARY TO HAND DIG WITHIN ALL EXISTING TREE DRIPLINE ZONES AT NO ADDITIONAL COST TO THE OWNER. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO STAKE AND RECEIVE APPROVAL FROM ALL DISCIPLINES PRIOR TO AN TRENCHING AND HAND DIGGING IN AREAS OF EXISTING TREE COVERAGE OR ANY ADDITIONAL AREAS THAT MIGHT BE QUESTIONABLE.
- EXTEND EXTRA WIRE AND MAINLINE PAST THE FARTHEST VALVE, ROUTED PARALLEL AND PLACE IN 12"x11" PENTEK VALVE BOX WERE NOTED ON PLANS FOR FUTURE EXPANSION OF IRRIGATION SYSTEM AT A LATER DATE.
- TWO WIRE PATH SHALL BE DIRECT BURIAL, 14 AWG OR STANDARD DECODER CABLE BY HUNTER WITH YELLOW JACKET (DIYLN), RATED FOR DIRECT BURIAL APPLICATIONS, UF, UL, APPROVED. HUNTER ICD DECODERS SHALL BE USED ON ALL ZONE VALVE CONNECTIONS TO TWO WIRE PATH. CONTRACTOR TO USE MANUFACTURERS RECOMMENDATIONS OF WIRE SPLICING AND BURIAL TECHNIQUES AS DETAILED AT WWW.HUNTERINDUSTRIES.COM.
- THE OWNER AND/OR LANDSCAPE ARCHITECT SHALL DETERMINE THE FINAL CONTROLLER LOCATION. THE IRRIGATION CONTRACTOR SHALL MAKE FINAL ELECTRICAL CONNECTION OF CONTROLLER PER LOCAL ELECTRICAL CODE. PROVIDE ALL NECESSARY FUSE BOXES, CONDUIT, FITTINGS, CONNECTORS OR OTHER ELECTRICAL DEVICES TO MAKE CONNECTION. OWNER SHALL PROVIDE ELECTRICAL SERVICE WITHIN 10 LINEAR FEET OF CONTROLLER LOCATION UNLESS NOTED OTHERWISE ON DRAWINGS.
- CONNECT REMOTE SENSORS TO CONTROLLER WITH GROUND WIRE IN SERIES PRIOR TO CONNECTING TO REMOTE CONTROL VALVES.
- ALL P.V.C. MAINLINES AND LATERAL LINES SHALL RECEIVE AS FOLLOWS:
  - 1 1/2" MINIMUM COVER FOR MAIN LINES
  - 18" MINIMUM COVER FOR PIPING LOCATED UNDER PAVING
  - 12" MINIMUM COVER FOR LATERAL LINES
- THE MINIMUM DISTANCE BETWEEN THE MAINLINE AND LATERAL LINE FITTINGS (EXCEPT FOR REDUCER BUSHINGS) SHALL BE 18".
- THE MINIMUM HORIZONTAL DISTANCE OF 36" SHALL BE MAINTAINED BETWEEN ANY VALVES THAT ARE INSTALLED SIDE BY SIDE.
- WHERE SERVICE TREES ARE INSTALLED ON THE MAINLINE FOR INSTALLATION OF THE ELECTRIC VALVES AND/OR QUICK COUPLING VALVES, THE CONTRACTOR SHALL LIMIT THE NUMBER OF THESE PER SERVICE TEE. DO NOT INSTALL MORE THAN A TOTAL OF EITHER THREE ELECTRIC VALVES OR A COMBINATION OF TWO ELECTRIC VALVES AND ONE QUICK COUPLER VALVE AT EACH TEE. THE MINIMUM DISTANCE BETWEEN FITTINGS SHALL BE 18" AS REFERENCED IN THE ABOVE NOTES.
- ALL P.V.C PIPE AND FITTINGS ARE TO BE PRIMED WITH PURPLE PVC PRIMER SOLVENT BEFORE APPLYING PVC CEMENT IN ACCORDANCE WITH THE UNIFORM PLUMBING CODE.
- INSTALL QUICK COUPLING VALVES IN 12"x11" PENTEK VALVE BOXES PER DETAIL SHOWN. CONNECT QUICK COUPLING VALVES TO MAINLINE PIPE WITH LASCO UNITIZED, O-RING SWING JOINTS PER DETAIL SHOWN, #T22-22. SUPPLY OWNER WITH THREE COUPLER KEYS WITH SNIWEL HOSE BIBB EACH, #33DK-10 AND #3H-0 RESPECTIVELY. VALVES TO BE INSTALLED SO THAT THE TOP OF THE QUICK COUPLER IS 2" BELOW BOTTOM OF VALVE BOX LID. PURPLE LID SHALL READ "NON-POTABLE, NOT SAFE FOR DRINKING" IN ENGLISH AND SPANISH.
- ALL LATERAL LINES SHALL BE 3/4" CLASS 200 PVC UNLESS OTHERWISE NOTED ON PLANS.
- ZONE VALVES LABELED AS "OPEN" ARE INTENDED FOR THE USE OF SUPPLYING HUNTER AFB-ADJ TREE BUBBLERS ON EACH PROPOSED TREE. IRRIGATION CONTRACTOR SHALL FIELD VERIFY THAT THESE ZONES DO NOT EXCEED 20 GALLONS PER MINUTE. THE IRRIGATION CONTRACTOR SHALL STAKE EACH TREE BUBBLER HEAD LOCATION AND RECEIVE APPROVAL FROM THE OWNER AND/OR THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- ALL STATE OF TEXAS LAWS/RULES AND ALL LOCAL CODES/ORDINANCES AREA MADE PART OF THESE PLANS AND SPECIFICATIONS WHETHER SHOWN OR NOT. THESE LAWS AND ORDINANCES WILL SUPERCEDE THE PLANS, DETAILS, AND/OR SPECIFICATIONS FOR THIS PROJECT. THE IRRIGATION CONTRACTOR IS CAUTIONED THAT HE/SHE IS TO INCLUDE ANY AND ALL COST NECESSARY TO MEET OR EXCEED THE LAWS OF THE STATE OF TEXAS AND LOCAL CODES CONCERNING LANDSCAPE IRRIGATION.

**HYDRAULIC CALCULATION NOTES**

TEN DAYS PRIOR TO COMMENCING WORK, VERIFY STATIC PRESSURE. IF STATIC PRESSURE IS LESS THAN THE ASSUMED STATIC PRESSURE DO NOT START WORK UNTIL NOTIFIED IN WRITING TO PROCEED BY OWNER. IF CONTRACTOR PROCEEDS WITH WORK WITHOUT AUTHORIZATION FROM OWNER, THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE TO CORRECT, MODIFY OR REPAIR ANY ITEMS OR MATERIALS THAT MAY BE REQUIRED TO PROVIDE A FULLY FUNCTIONING AND OPERATIONAL IRRIGATION SYSTEM IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS. HYDRAULIC CALCULATIONS FOR THIS SYSTEM ARE BASED ON THE STATIC PRESSURE AS STATED ABOVE. THE STATIC PRESSURE SHOWN IS AN ASSUMED PRESSURE, A PRESSURE MEASURED AT THE SITE, OR AN ESTIMATED PRESSURE PROVIDED BY THE COUNTY OR CITY. THE OWNER UNDERSTANDS THIS PROJECT MAY NOT PROVIDE 100% COVERAGE AT ALL TIMES.

**HYDRAULIC CALCULATION (FARTHEST HEAD)**

ITEM	SIZE	PSI	NOTES
SERVICE	X"	0.00	TYPE "K" COPPER 20 LN. FT. (37.12 GPM)
WATER METER	X"	0.00	(0.00 GPM)
BALL VALVE	X"	1.00	(0.00 GPM)
WYE FILTER	X"	0.30	(0.00 GPM)
BACKFLOW PREVENTER	X"	4.00	(0.00 GPM)
MASTER VALVE	X"	0.00	(0.00 GPM)
MAIN LINE	X"	0.00	XX LINEAR FEET (0.00 GPM)
ZONE VALVE (**A)	X"	0.00	(0.00 GPM)
LATERAL PIPING	NA	0.00	
CRITICAL HEAD 'A'	NA	40.00	
TOTAL LOSS		45.30	
ASSUMED STATIC PRESSURE		70.00	
PRESSURE DIFFERENTIAL		-24.70	

**HYDRAULIC CALCULATION (LARGEST ZONE)**

ITEM	SIZE	PSI	NOTES
SERVICE	X"	0.00	TYPE "K" COPPER 20 LN. FT. (37.12 GPM)
WATER METER	X"	0.00	(0.00 GPM)
BALL VALVE	X"	1.00	(0.00 GPM)
WYE FILTER	X"	0.30	(0.00 GPM)
BACKFLOW PREVENTER	X"	4.00	(0.00 GPM)
MASTER VALVE	X"	0.00	(0.00 GPM)
MAIN LINE	X"	0.00	XX LINEAR FEET (0.00 GPM)
ZONE VALVE (**A)	X"	0.00	(0.00 GPM)
LATERAL PIPING	NA	0.00	
CRITICAL HEAD 'B'	NA	40.00	
TOTAL LOSS		45.30	
ASSUMED STATIC PRESSURE		70.00	
PRESSURE DIFFERENTIAL		-24.70	



February 5, 2025

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

LANDSCAPE AND SCREENING

Irrigation Details

Lake Dallas Mixed - Use

Lake Dallas, Dallas County, Texas

DATE

BY

PLAN REVIEW REVISIONS

#

PROJECT

LDM001

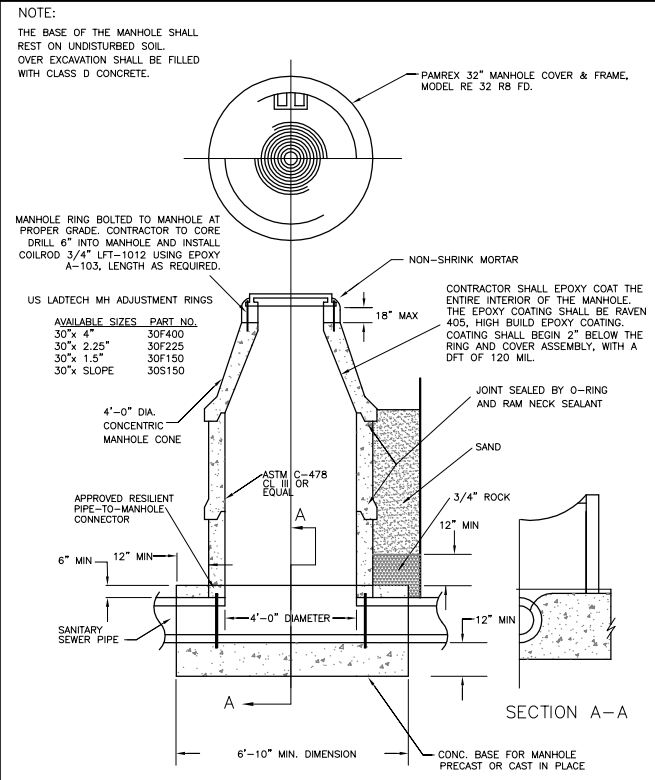
PLATE

2

SHEET

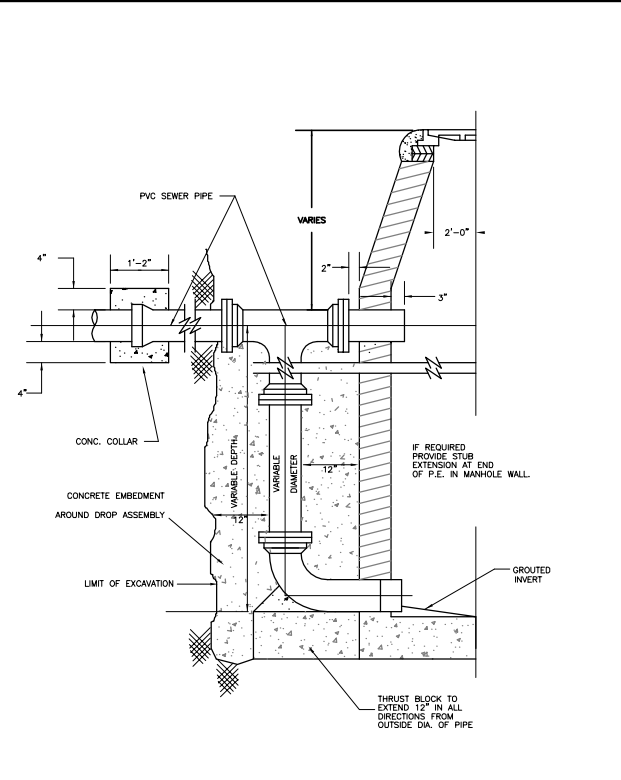
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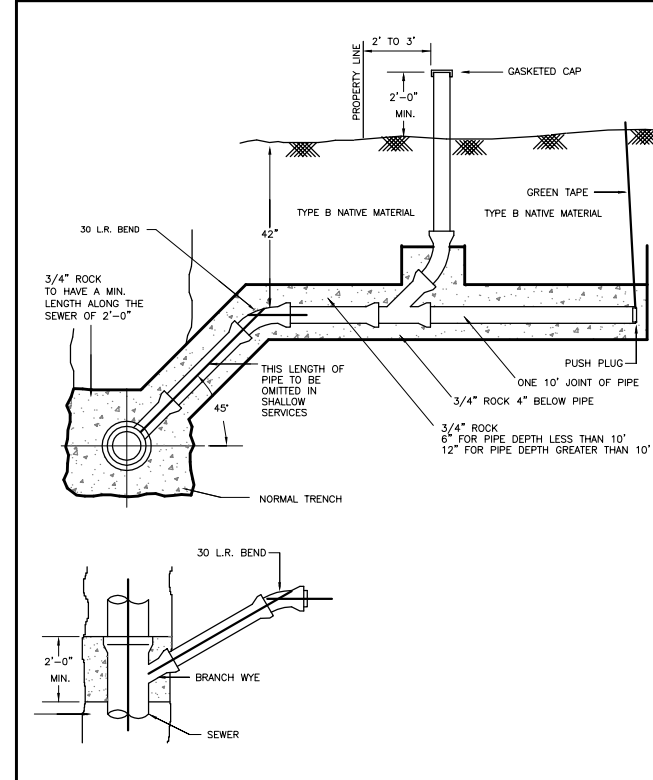
PRECAST SEWER MANHOLE

05 March 2018  
FIG. S1



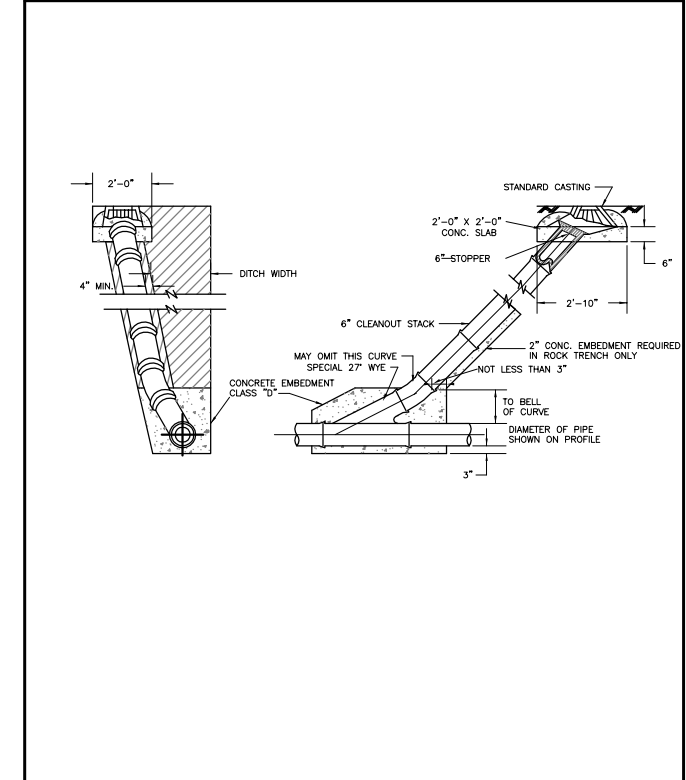
DROP SEWER MANHOLE

06 Feb 2018  
FIG. S2



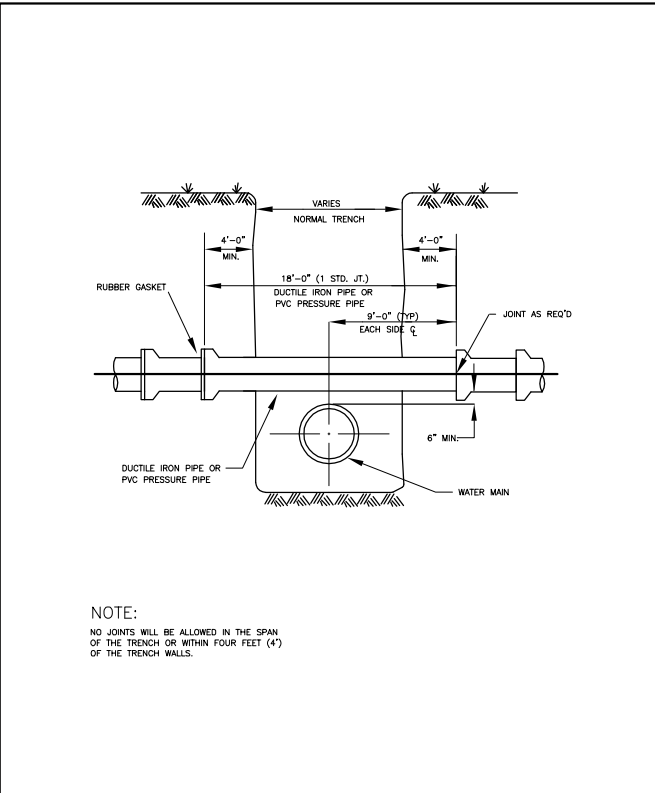
STANDARD SEWER CONNECTION

06 Feb 2018  
FIG. S3



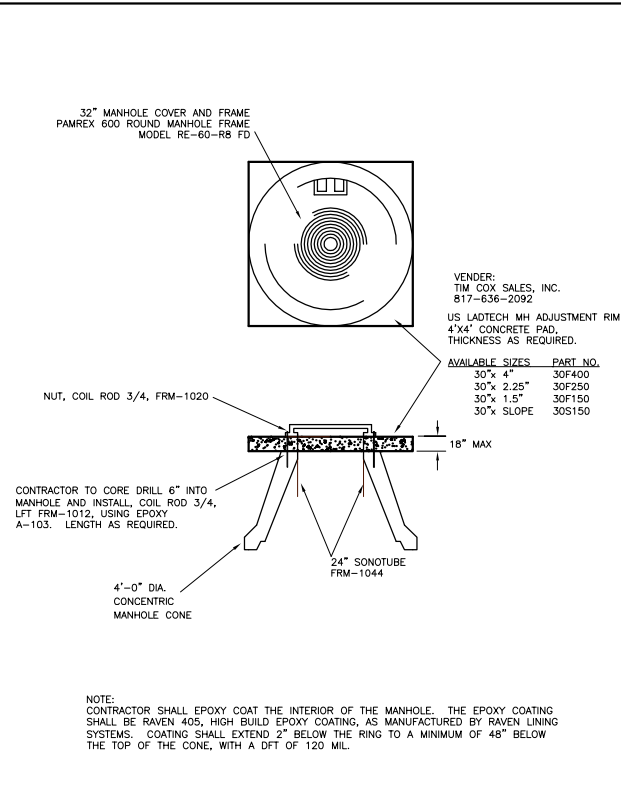
MAIN LINE SEWER CLEANOUT

06 Feb 2018  
FIG. S4



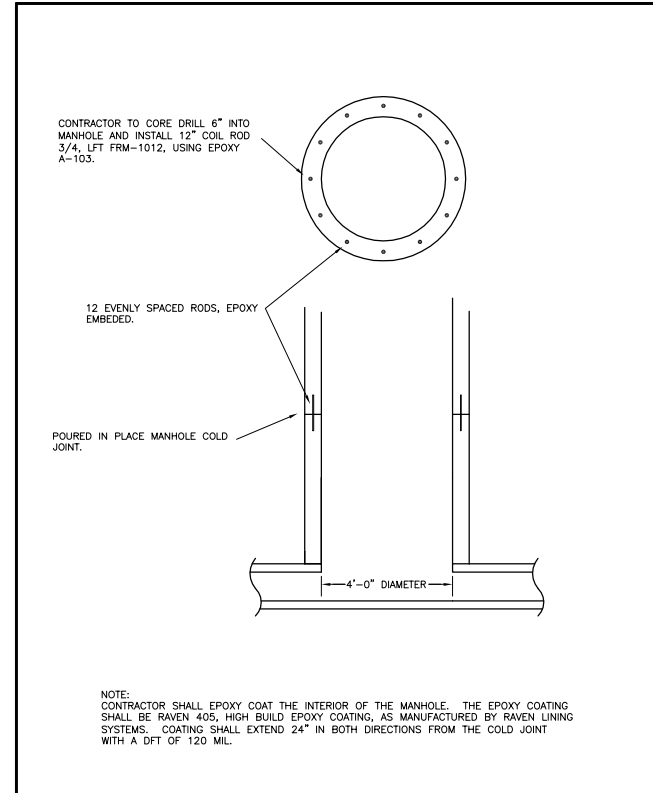
REPLACEMENT OF SEWER PIPE LATERAL

06 Feb 2018  
FIG. S5



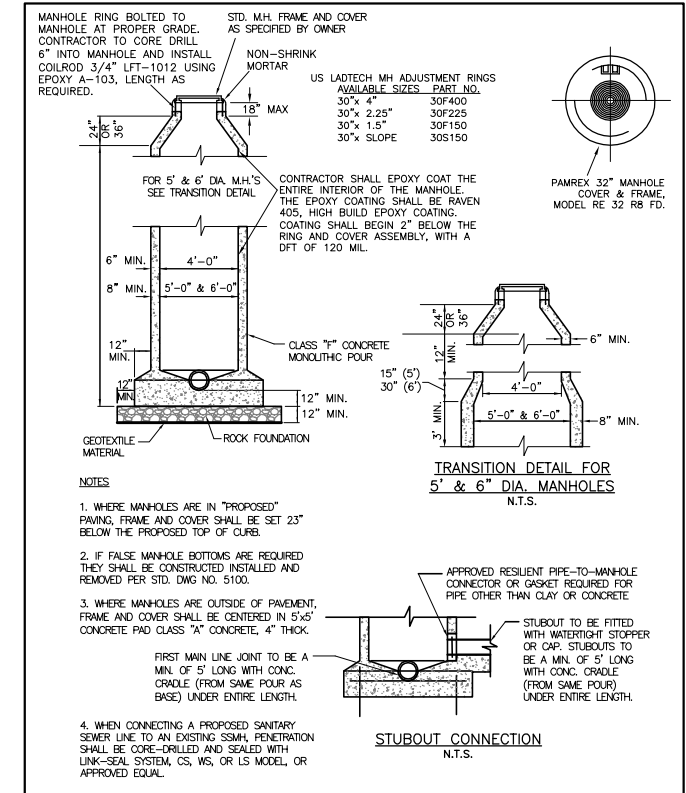
REPAIR/RAISING MANHOLE RING AND COVER

03 Oct 2017  
FIG. S6



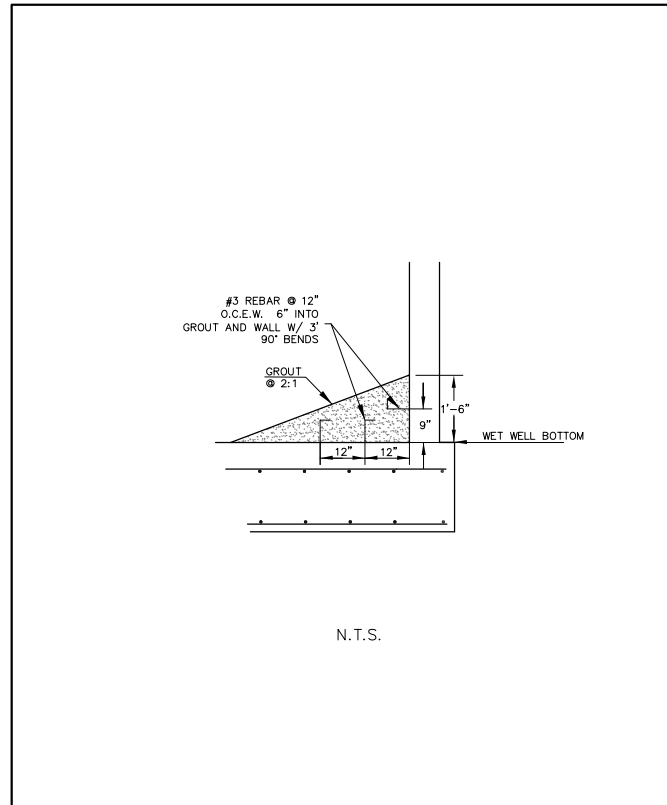
POURED IN PLACE MANHOLE REPAIR/EXTENSION

17 Jan 2020  
FIG. S7



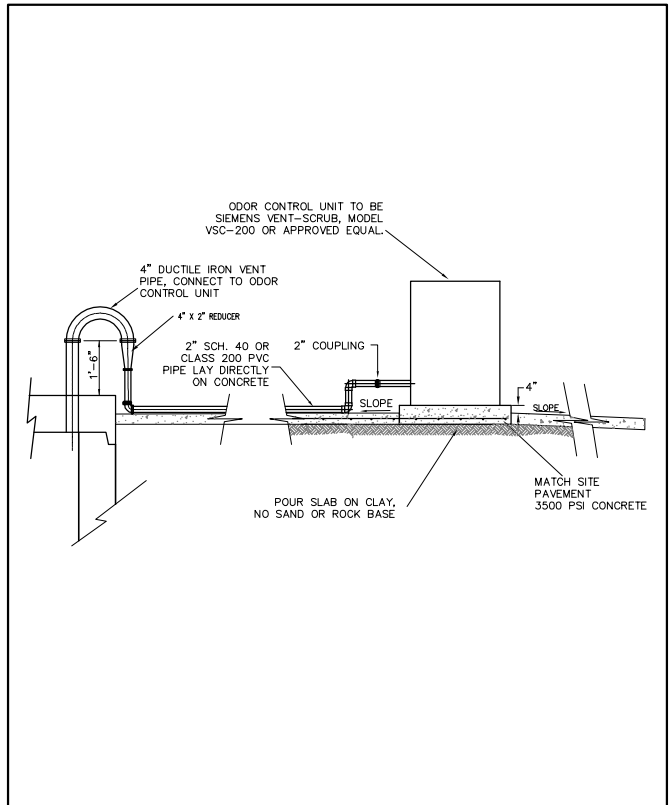
CAST IN PLACE SEWER MANHOLE

17 Jan 2020  
FIG. S14



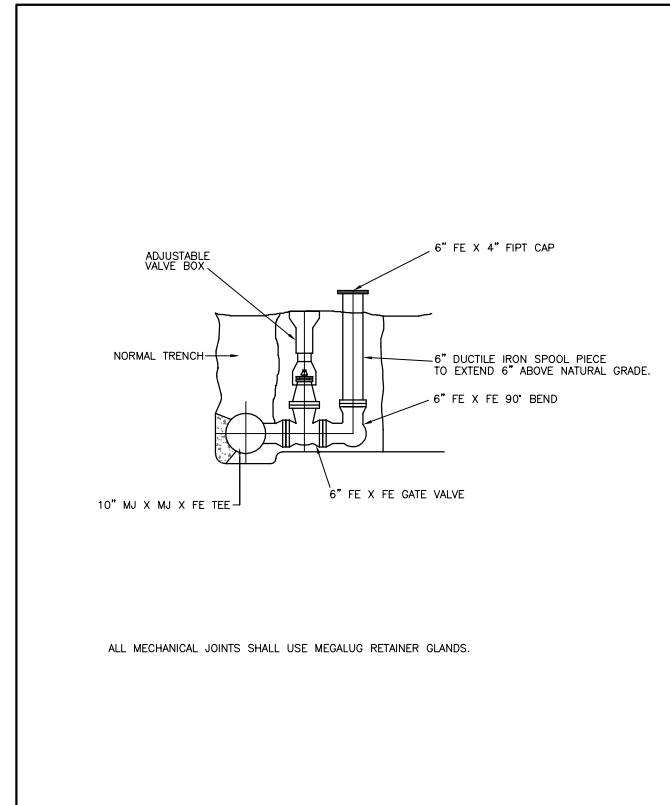
LIFT STATION WET WELL GROUTING

06 Feb 2018  
FIG. S10



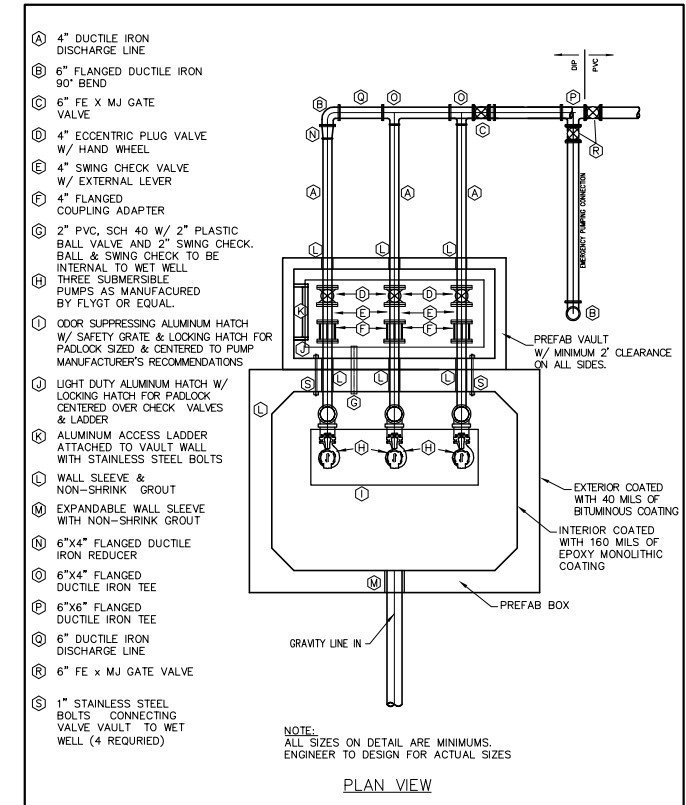
LIFT STATION ODOR CONTROL SYSTEM

06 Feb 2018  
FIG. S11



EMERGENCY PUMPING CONNECTION

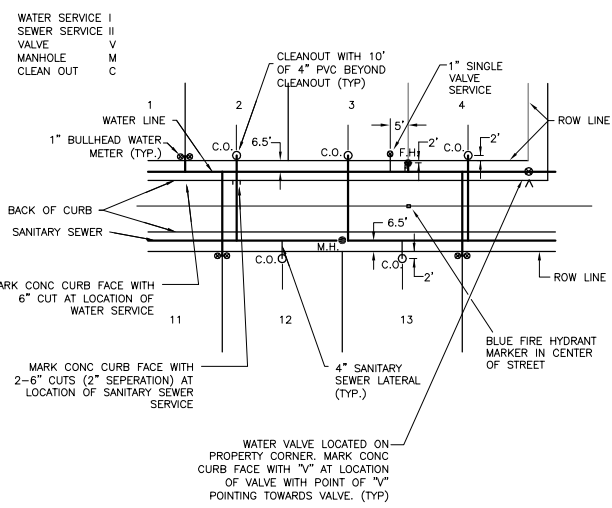
06 Feb 2018  
FIG. S12



TYPICAL LIFT STATION CONFIGURATION

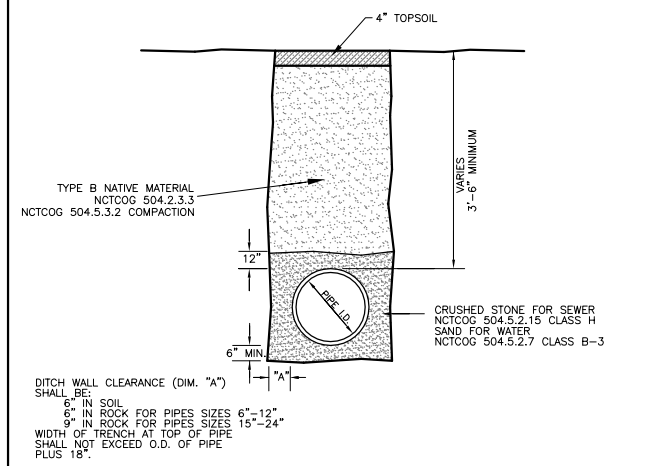
06 Feb 2018  
FIG. S13

- NOTE:
- 4" PVC SANITARY SEWER SERVICE TO BE LOCATED AT CENTER OF LOT & 1" SINGLE WATER SERVICE TO BE LOCATED 5' FROM PROPERTY LINE WHERE BULLHEAD SERVICES ARE NOT APPLICABLE.
  - ALL WATER AND SEWER SERVICES WILL EXTEND TWO FEET (2') BEYOND PROPERTY LINE.
  - IN CURBED STREETS, THE LOCATION OF UTILITIES SHALL BE SHOWN BY NOTCHING THE CURB ADJACENT TO THE UTILITY AS FOLLOWS:
  - DEPENDING ON THE PROPOSED LOCATION OF WATER AND SEWER UTILITIES AND LOCATION/WIDTH OF SIDEWALKS, LCMUA MAY REQUIRE ALTERNATE LOCATIONS FOR WATER METERS.



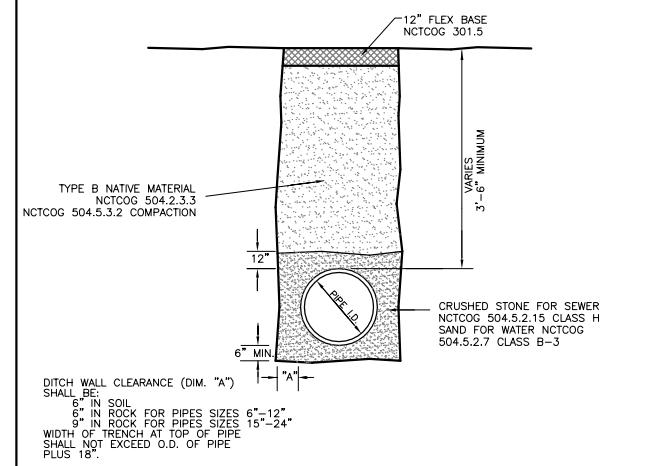
TYPICAL SERVICE LOCATION

17 Jan 2020  
FIG. G1



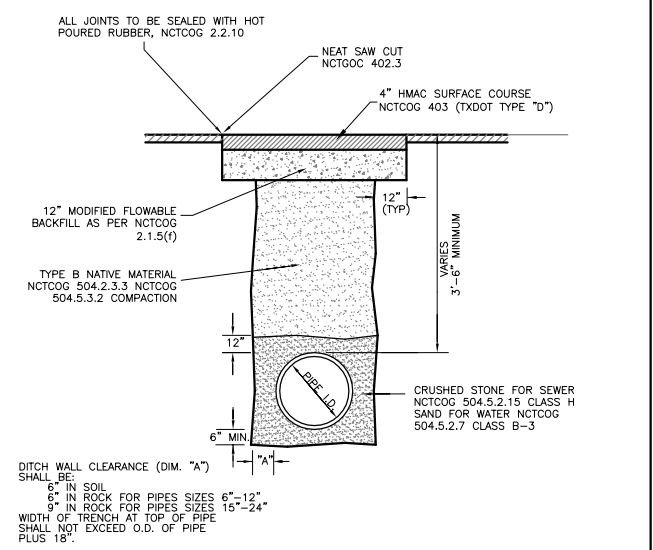
TRENCH IN UNPAVED AREAS

17 Jan 2020  
FIG. G2



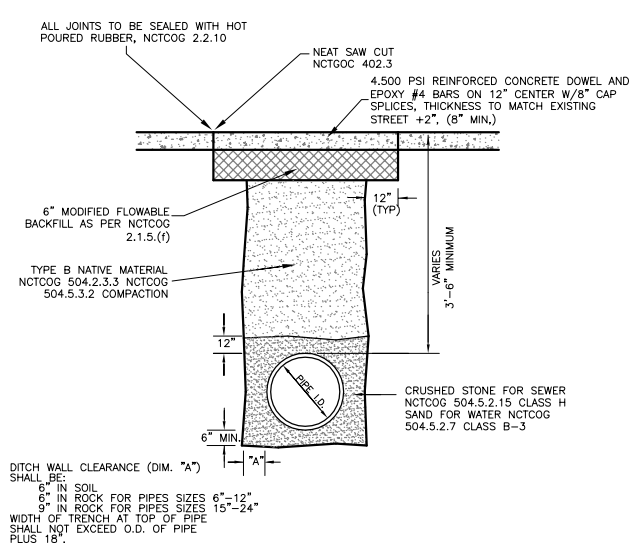
GRAVEL STREET REPAIR

25 Jan 2018  
FIG. G3



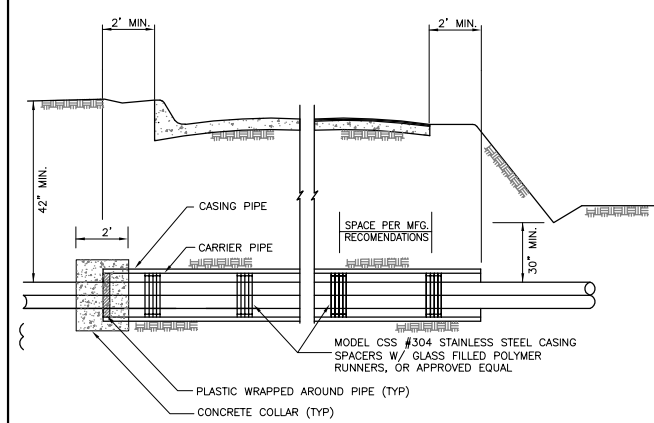
ASPHALT STREET REPAIR

17 Jan 2020  
FIG. G4



CONCRETE PAVEMENT REPAIR

17 Jan 2020  
FIG. G5



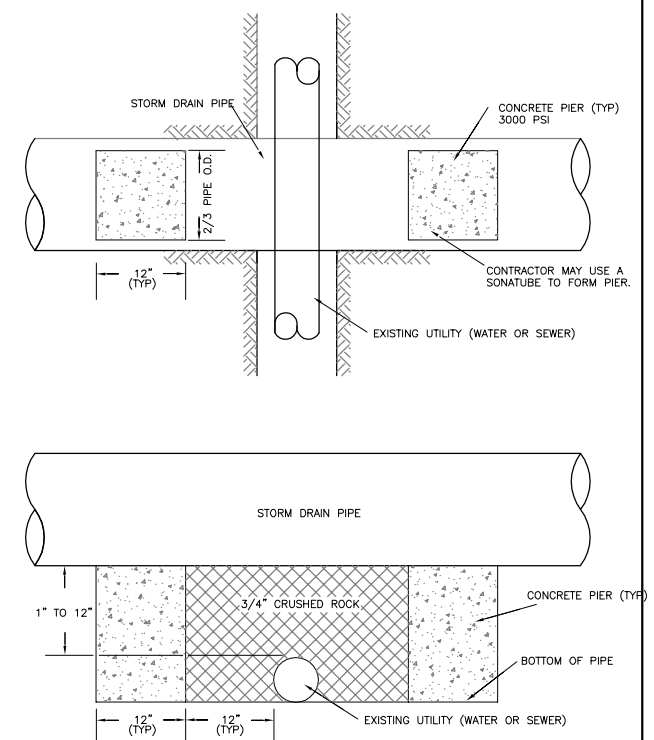
NOTES:  
1. CASING IN STATE RIGHT-OF-WAY SHALL BE AIR PRESSURE TESTED TO 5 PSIG FOR 10 MINUTES.  
2. BELL RESTRAINTS THROUGH CASING AND ±40 LF AT EACH END.  
3. ALL STREET CROSSINGS SHALL BE BY BORE OR IF WATERLINE IS CONSTRUCTED PRIOR TO STREET, OPEN CUT INSTALLATION PER THIS DETAIL SHALL BE REQUIRED.

CARRIER PIPE SIZE	STEEL CASING PIPE SIZE	CASING THICKNESS
4"	10"	1/4"
6"	12"	1/4"
8"	14"	1/4"
10"	16"	1/4"
12"	18"	1/4"
14"	20"	1/4"
16"	22"	5/16"

CARRIER PIPE IS AWWA C900 OR C905 PVC DR 18

STREET BORE

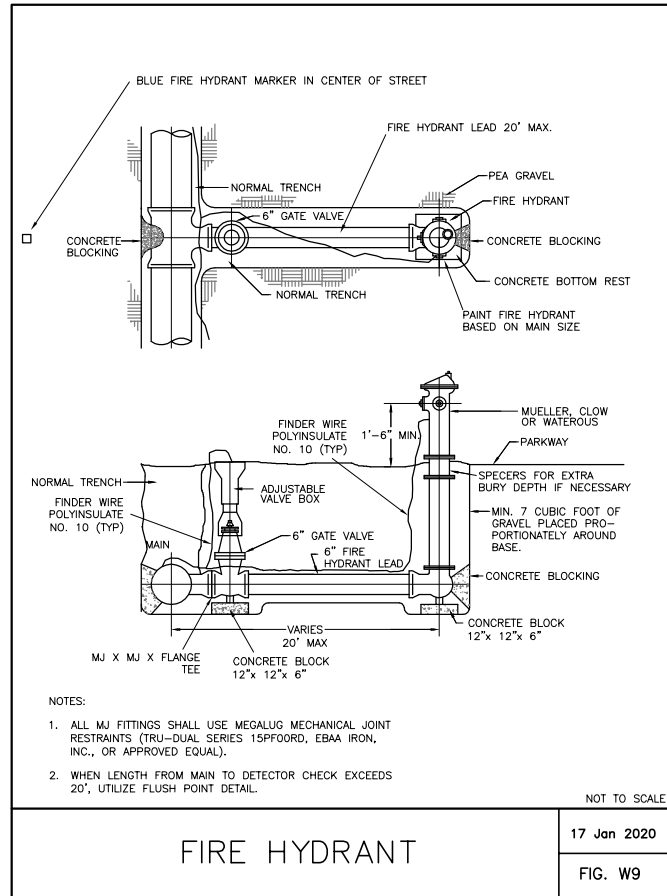
17 Jan 2020  
FIG. G6



BRIDGING EXISTING UTILITIES

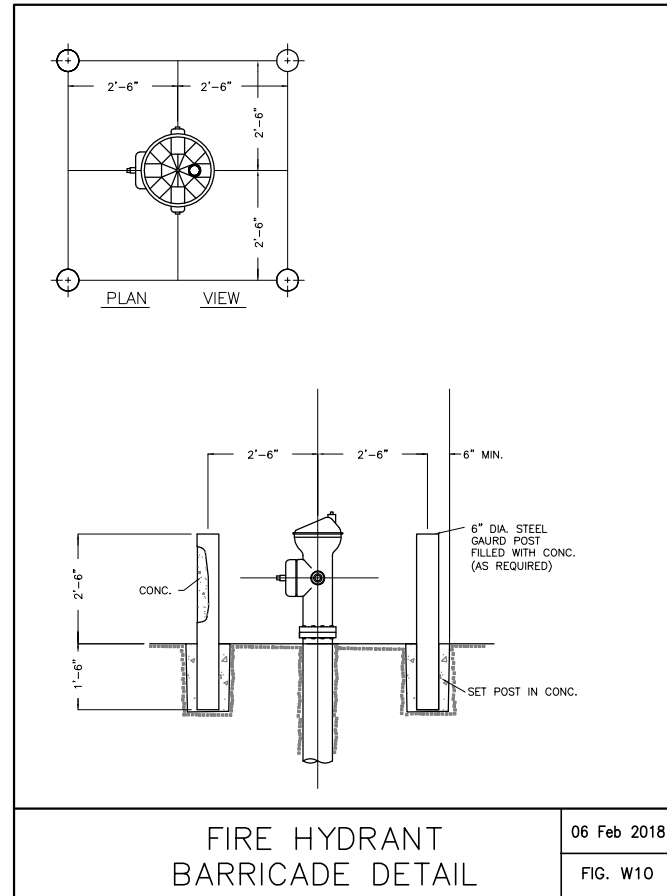
25 Jan 2018  
FIG. G7





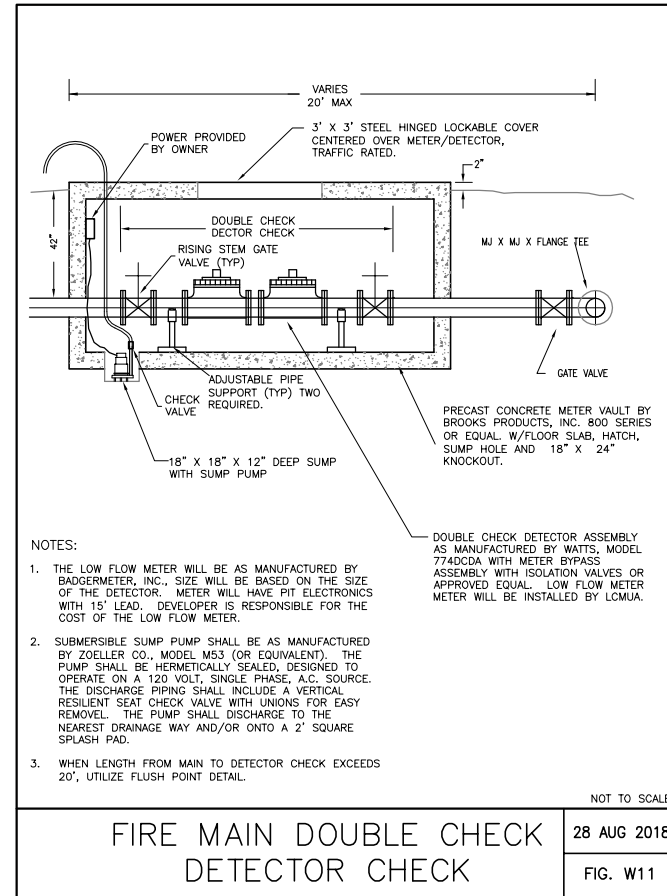
FIRE HYDRANT

17 Jan 2020  
FIG. W9



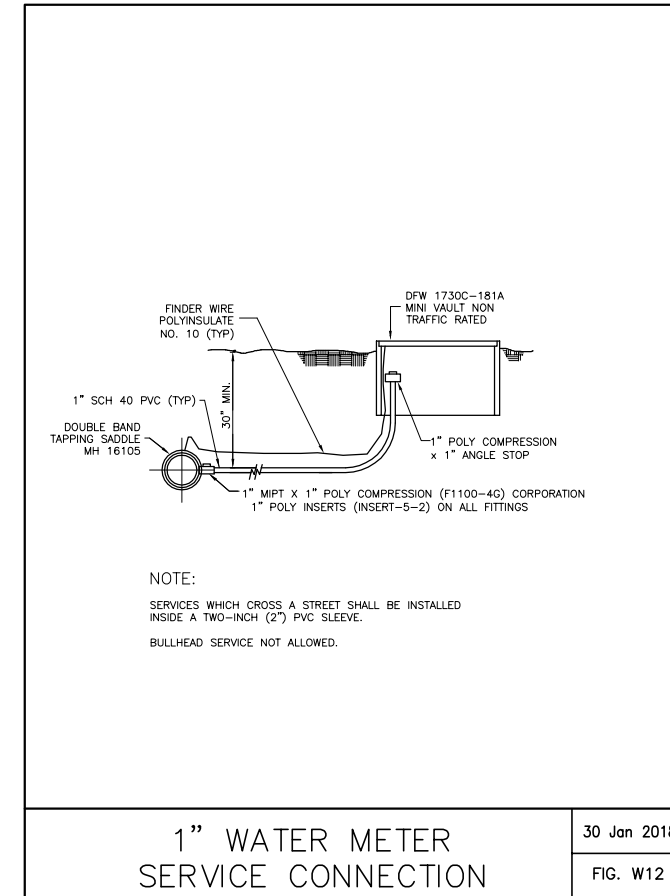
FIRE HYDRANT BARRICADE DETAIL

06 Feb 2018  
FIG. W10



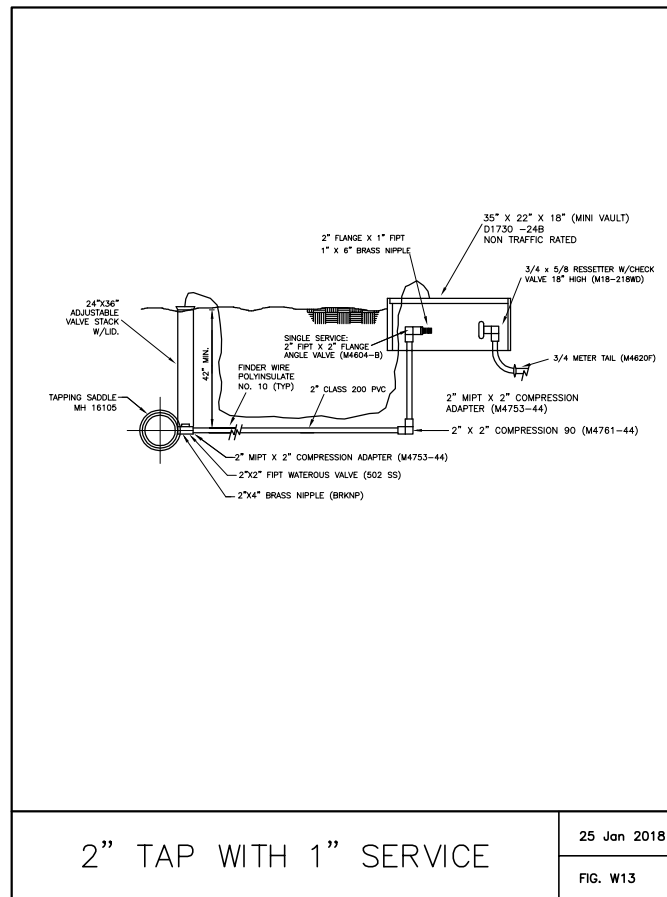
FIRE MAIN DOUBLE CHECK DETECTOR CHECK

28 AUG 2018  
FIG. W11



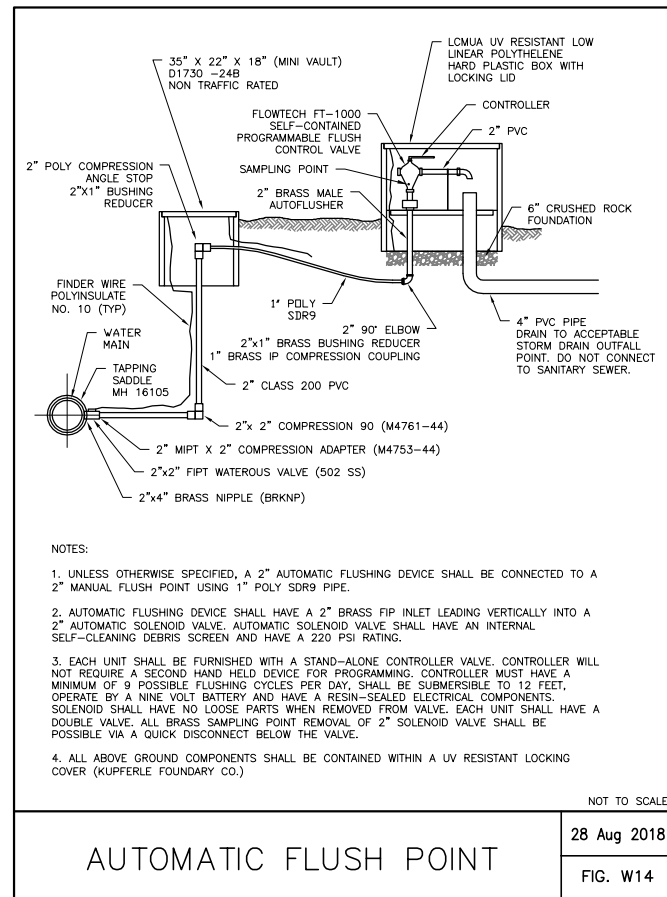
1" WATER METER SERVICE CONNECTION

30 Jan 2018  
FIG. W12



2" TAP WITH 1" SERVICE

25 Jan 2018  
FIG. W13



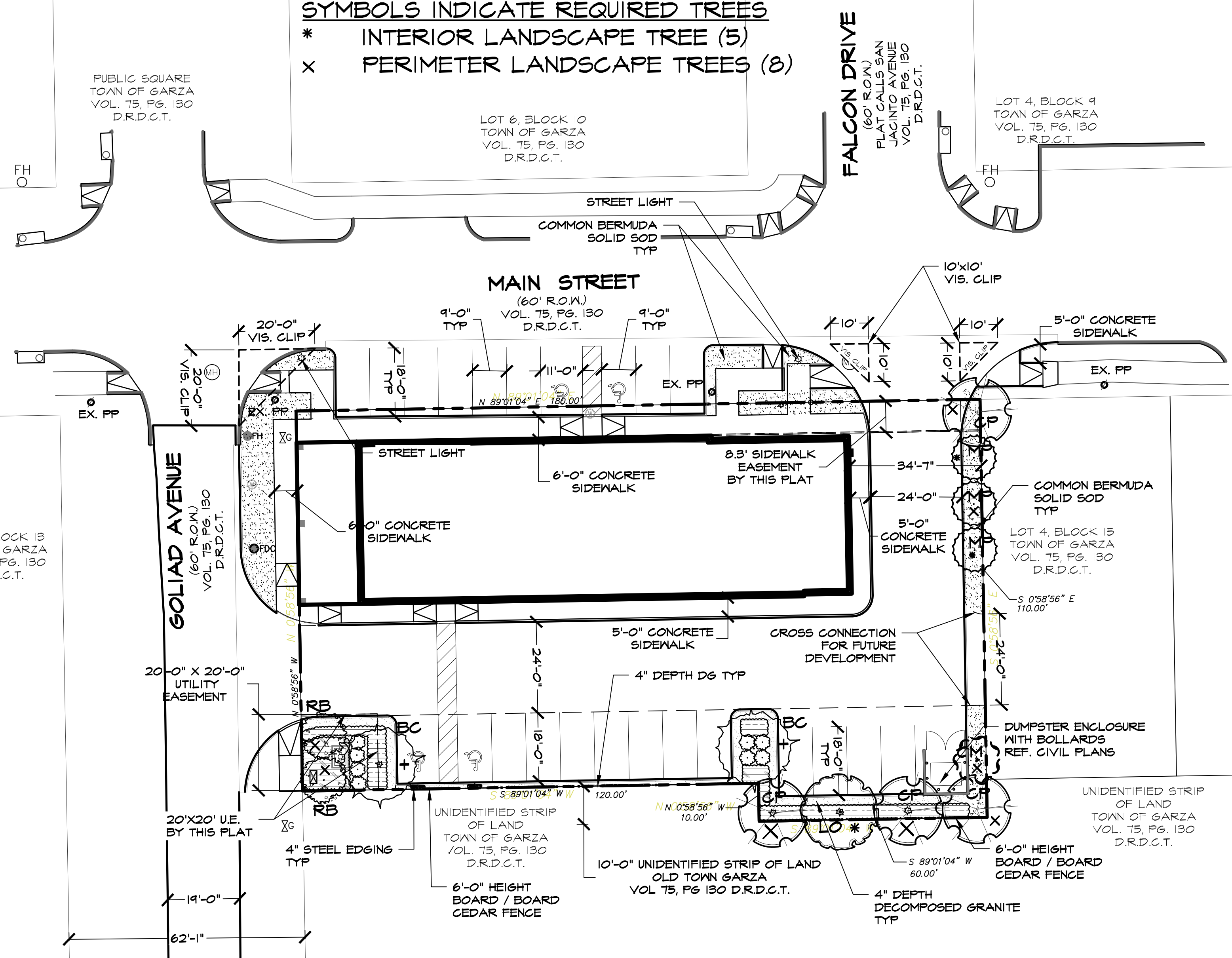
AUTOMATIC FLUSH POINT

28 Aug 2018  
FIG. W14

Plotted by: Station10 Plot Date: 2/5/2025 3:13 PM

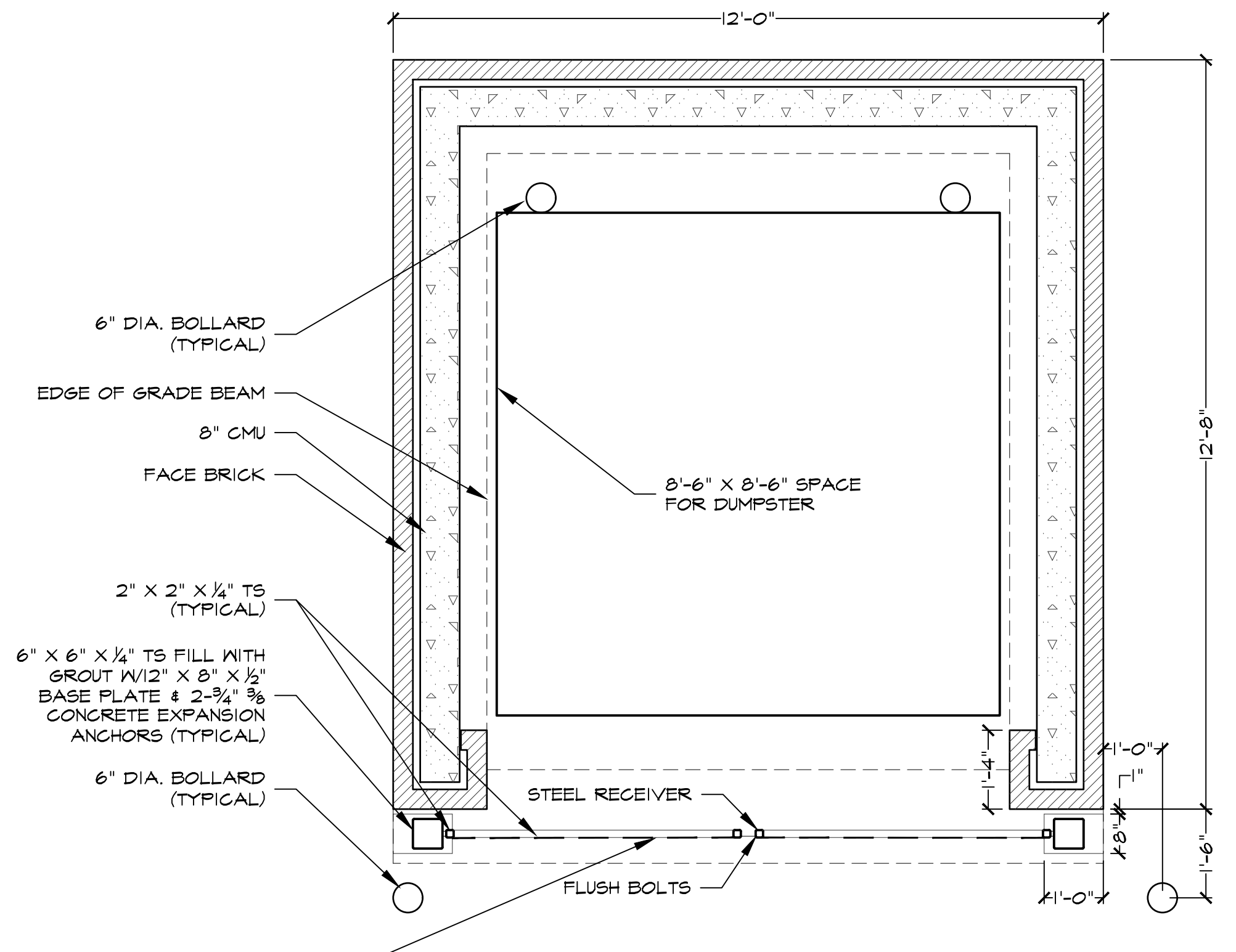
Drawing: W:\Shared\Projects\LDM001 - Lake Dallas Mixed Use\DWG\LDM001.dwg Saved By: Station10 Save Time: 1/22/2025 11:37 AM

**SYMBOLS INDICATE REQUIRED TREES**  
 \* INTERIOR LANDSCAPE TREE (5)  
 X PERIMETER LANDSCAPE TREES (8)



**LANDSCAPE LEGEND**

- BALD CYPRESS / TAXODIUM DISTICHUM (3" CALIPER)
- CHINESE PISTACHE / PISTACIA CHINENSIS (3" CALIPER)
- LIVE OAK / QUERCUS VIRGINIANA (3" CALIPER)
- RED BUD / CERCIS CANADENSIS (2" CALIPER - 6' MIN HEIGHT)
- MEXICAN PLUM / PRUNUS MEXICANA (2" CALIPER - 6' MIN HEIGHT)
- CRAPE MYRTLE / LAGERSTROEMIA INDICA (2" CALIPER - 6' MIN HEIGHT)
- TEXAS SAGE / LEUCOPHYLLUM FRUTESCENS (3 GALLON)
- LITTLE BLUESTEM GRASS / SCHIZACHYRIUM SCOPARIUM (1 GALLON, PLANTS SPACED 24" O.C.)
- MEXICAN FEATHER GRASS / STIPA TENNUSSIMA (1 GALLON, PLANTS SPACED 12" O.C.)
- COMMON BERMUDA SOD (MINIMUM 100% COVERAGE)
- DECOMPOSED GRANITE (DG) (MINIMUM 100% COVERAGE @ 4" DEPTH)



**DUMPSTER ENCLOSURE PLAN**

SCALE: 1/2" = 1'-0"

- CODE OF ORDINANCES  
 Chapter 122 - ZONING  
 ARTICLE XXII. - SCREENING AND LANDSCAPING  
 DIVISION 1. GENERALLY

**DIVISION 1. GENERALLY**  
 Sec. 122-1228. Minimum requirements for off-street parking and vehicular use areas.

Parking lots, vehicular use areas and parked vehicles are to be effectively screened from the public view and adjacent property. Both the interior and perimeter of such areas shall be landscaped in accordance to the following criteria. Areas used for parking or vehicular storage that are under, on or within buildings are exempt from this section.

- Interior landscaping.** A minimum of ten percent of the gross parking areas shall be devoted to living landscaping which includes grass, ground cover, plants, shrubs and trees. Gross parking area is to be measured from the edge of the parking and/or driveway paving and sidewalks. The following additional criteria shall apply to the interior of parking lots:
  - Interior landscape areas shall be protected from vehicular encroachment of overhang through appropriate wheel stop or curbs.
  - There shall be a minimum of one tree planted for each 400 square feet or fraction thereof of required interior landscape area.
  - Interior areas of parking lots shall contain planting islands located so as to best relieve the expanse of paving. Planter islands must be located no further apart than every 12 parking spaces

(Supp. No. 7) Created: 2024-10-22 16:16:32 [EST] Page 5 of 7

and at the terminus of all rows of parking. Such islands shall contain at least one tree. The remainder shall be landscaped with shrubs, lawn, ground cover and other appropriate material not to exceed three feet in height. Interior planter islands shall have a minimum size of ten by 20 feet.

- Perimeter landscaping.** All parking lots and vehicular use areas shall be screened from all abutting properties and/or public rights-of-way with a wall, fence, hedge, berm or other durable landscape barrier. Any living barrier shall be established in a planting strip with a minimum width of two feet. Plants and materials used in living barriers shall be at least 30 inches high at the time of planting and shall be of a type and species that will attain a minimum height of three feet one year after planting. Any landscape barrier not containing live plants or trees shall be a minimum of three feet high at time of installation. Perimeter landscaping shall be designed to screen off-street parking lots and other vehicular use areas from public rights-of-way and adjacent properties.

- Whenever an off-street parking or vehicular use area abuts a public right-of-way, a perimeter landscape area at least 15 feet in depth shall be maintained between the abutting right-of-way and the off-street parking or vehicular use area. An appropriate landscape screen or barrier shall be installed in this area, and the remaining area shall be landscaped with at least grass or other ground cover. Necessary access ways from the public right-of-way shall be permitted through all such landscaping. The maximum width for access ways shall be 50 feet for nonresidential two-way movements, 30 feet for residential two-way movements, 20 feet for nonresidential one-way movements, and 15 feet for residential one-way movements.
  - Whenever an off-street parking or vehicular use area abuts an adjacent property line, a perimeter landscape area at least ten feet in width shall be maintained between the edge of the parking area and the adjacent property line. Landscaping shall be designed to visually screen the parking area. Whenever such property is zoned or used for residential purposes, the landscape buffer shall include a wall, hedge or berm not greater than eight feet in height nor less than three feet in height.
  - Perimeter landscape areas shall contain at least one tree for each 50 lineal feet or fraction thereof of perimeter area.
- (Ordinance 06-09, § 2, 3-23-06)

**Sec. 122-1229. Landscaping requirements for nonvehicular open space.**

In addition to the landscaping of off-street parking and vehicular use areas, all remaining open spaces on any developed lot or parcel shall conform to the following minimum requirements:

- Grass, ground cover, shrubs and other landscape materials shall be used to cover all open ground within 20 feet of any building or paving or other use such as storage.
- All structures shall be treated with landscaping so as to enhance the appearance of the structure and to screen any detractive or unsightly appearance.
- Landscaping shall be provided on each developed lot in accordance with the following standards:
  - In all residential zoning districts, a minimum of 15 percent of the landscaping shall be located in the required front yard.
  - In all nonresidential zoning districts, a minimum of 15 percent of the total site area shall be devoted to feature landscaping, with not less than 50 percent of the landscaping being located in the required front yard.

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(4) Trees shall be planted in non-vehicular open space to meet the following requirements. Existing trees that are preserved on a developed site may be credited to the following requirements:

Percentage of Site in Nonvehicular Open Space	Tree Ratio Per Open Space
Less than 30	1 tree/2,500 sq. ft.
30-49	1 tree/3,000 sq. ft.
50 or over	1 tree/4,000 sq. ft.

Lake Dallas, Texas, Code of Ordinances (Supp. No. 7) Created: 2024-10-22 16:16:32 [EST] Page 1 of 7

**LANDSCAPE REQUIREMENTS**

- INTERIOR LANDSCAPING**
  - REQUIRED**  
 MINIMUM 10% OF THE GROSS PARKING DEVOTED TO LIVING LANDSCAPE.  
 \* GROSS PARKING AREA = 8,285 SF x 10% = 828.5 SF REQUIRED  
**PROVIDED**  
 INTERIOR LANDSCAPE AREA PROVIDED 1,428 SF (17.2%)
  - REQUIRED**  
 MINIMUM 1 TREE PLANTED FOR EACH 400 SF OF REG. INTERIOR LANDSCAPE AREA  
 \* REG. LANDSCAPE AREA = 825.5 SF / 400 = 2.06 (3 TREES)  
**PROVIDED**  
 PROVIDED 3 TREES PER INTERIOR TREE PLANTING REQUIREMENT
  - REQUIRED**  
 1 TREE AT THE TERMINUS OF ALL ROWS OF PARKING  
**PROVIDED**  
 PROVIDED 1 TREES AT THE TERMINUS OF EACH PARKING ROW

- PERIMETER LANDSCAPING**
  - REQUIRED**  
 WHERE AN OFF-STREET OR VEHICULAR USE ABUTS A PUBLIC ROW, A PERIMETER LANDSCAPE AREA AT LEAST 15' DEPTH SHALL BE MAINTAINED BETWEEN THE ABUTTING ROW AND VEHICULAR USE AREA OR OFF-STREET PARKING.  
**PROVIDED**  
 PROVIDED A 15' AREA BETWEEN GOLIAD AVE. ROW AND PARKING SPACES ADJACENT / SIDING GOLIAD AVE. ROW  
 \*\*NOTE\*\* NO PERIMETER REQUIRED FOR PARKING ALONG MAIN STREET
  - REQUIRED**  
 WHERE A OFF-STREET PARKING OR VEHICULAR USE AREA ABUTS AN ADJACENT PROPERTY LINE A PERIMETER LANDSCAPE AREA AT LEAST 10' WIDE SHALL BE MAINTAINED.  
**PROVIDED**  
 10' WIDE PERIMETER LANDSCAPE BUFFER NOT REQUIRED PER APPROVED PLANNED DEVELOPMENT ORDINANCE.
  - REQUIRED**  
 PERIMETER LANDSCAPE AREA SHALL CONTAIN AT LEAST 1 TREE FOR EACH 50 LINEAL FEET OR FRACTION THEREOF PERIMETER LANDSCAPE AREA  
 \*\*NORTH PROPERTY LINE = 180 LF 180 / 50 = 4 (0 TREES)  
 NOTE-PERIMETER BUFFER ON NORTH PROPERTY LINE NOT REQUIRED  
 \*\*SOUTH PROPERTY LINE = 180LF 180 / 50 = 3.6 (4 TREES)  
 \*\*WEST PROPERTY LINE = 100 LF 100 / 50 = 2 (1 TREES) (AT 50%)  
 NOTE-ONLY 50% OF WEST PROPERTY LINE REQUIRES PERIMETER BUFFER  
 \*\*EAST PROPERTY LINE = 120LF 120 / 50 = 2.4 (3 TREES)  
 TOTAL TREES REQUIRED = 8  
**PROVIDED**  
 PERIMETER LANDSCAPE AREA SHALL CONTAIN AT LEAST 1 TREE FOR EACH 50 LINEAL FEET OR FRACTION THEREOF PERIMETER LANDSCAPE AREA  
 \*\*NORTH PROPERTY LINE = 180 LF 180 / 50 = 4 (0 TREES)  
 \*\*SOUTH PROPERTY LINE = 180LF 180 / 50 = 4 (4 TREES)  
 \*\*WEST PROPERTY LINE = 100 LF 100 / 50 = 2 (1 TREES)  
 \*\*EAST PROPERTY LINE = 120LF 120 / 50 = 3 (3 TREES)  
 TOTAL TREES PROVIDED = 8

**DIVISION 2. - SCREENING**

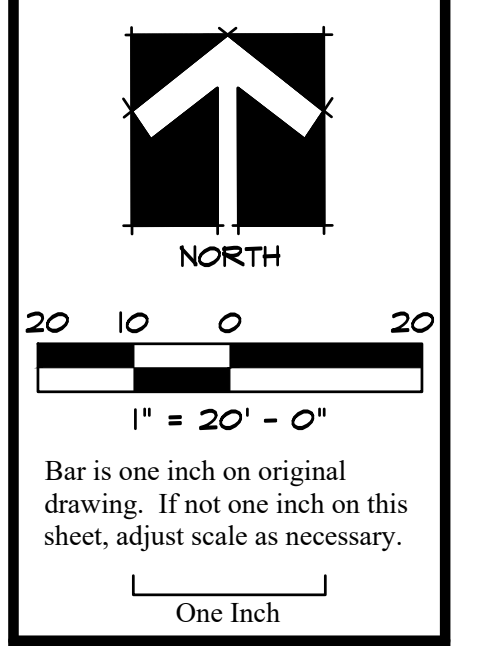
- REQUIRED**
- SEC. 122-1182. - LOCATION OF REQUIRED SCREENING.
- WHERE THE SIDE, REAR OR SERVICE SIDE OF A MULTIFAMILY, OR NONRESIDENTIAL USE IS ADJACENT TO A SINGLE-FAMILY, TWO-FAMILY RESIDENTIAL DISTRICT, SCREENING NOT LESS THAN SIX FEET IN HEIGHT SHALL BE ERECTED SEPARATING THE USE FROM THE ADJACENT RESIDENTIAL DISTRICT; SUCH SCREENING SHALL BE IN ACCORDANCE WITH SCREENING ALTERNATE A OR E, GIVEN IN SECTION 122-1183. NO SCREENING IS REQUIRED ADJACENT TO A STREET.
  - SCREENING ALTERNATE E. SCREENING ALTERNATE E CONSISTS OF A SOLID WOOD BOARD ON BOARD FENCE TO A MINIMUM HEIGHT OF SIX FEET, MEASURED FROM THE AVERAGE GRADE OF THE NEAREST PROPERTY LINE OF THE PROPERTY ADJACENT TO THAT ON WHICH THE SCREENING IS REQUIRED. THE WOOD FENCE MUST MEET THE FOLLOWING REQUIREMENTS OR THEIR EQUIVALENT: PICKETS TO BE #1 FULL CUT GRADE CEDAR 2" x 4" RAILS; AND STEEL POSTS OF .045 GAUGE AND OF 2 1/4" DIAMETER.

**PROVIDED**

SCREENING ALTERNATE E. SCREENING ALTERNATE E CONSISTS OF A SOLID WOOD BOARD ON BOARD FENCE TO A MINIMUM HEIGHT OF SIX FEET, MEASURED FROM THE AVERAGE GRADE OF THE NEAREST PROPERTY LINE OF THE PROPERTY ADJACENT TO THAT ON WHICH THE SCREENING IS REQUIRED. THE WOOD FENCE MUST MEET THE FOLLOWING REQUIREMENTS OR THEIR EQUIVALENT: PICKETS TO BE #1 FULL CUT GRADE CEDAR 2" x 4" RAILS; AND STEEL POSTS OF .045 GAUGE AND OF 2 1/4" DIAMETER.

**STUDIO DESIGN GROUP**  
 Studio 13 Design Group, PLLC.  
 136 W. Main Street  
 Lewisville, Texas 75057  
 469-635-1900  
 TBAE Firm #BR643

December 3, 2025



**LANDSCAPE AND SCREENING**  
 Landscape Plan  
 Lake Dallas Mixed - Use  
 Lake Dallas, Dallas County, Texas

#	PLAN REVIEW REVISIONS	BY	DATE
1	Revised Per City Comments - December 2, 2024	LWR	1-3-2025
2	Revised Per City Comments - January 21, 2025	LWR	1-21-2025
3	Revised Per City Comments - February 5, 2025	LWR	2-5-2025

PROJECT: LDM001  
 PLATE: 1 SHEET: LS1

**LANDSCAPE NOTES:**

- A TREE PERMIT IS REQUIRED FOR ALL REMOVAL OF ALL TREES, PROTECTED AND UNPROTECTED.
- PLANT MATERIAL SHALL BE MEASURED AND SIZED ACCORDING TO THE LATEST EDITION OF THE TEXAS NURSERY & LANDSCAPE ASSOCIATION (TNLA) SPECIFICATIONS, GRADES AND STANDARDS.
- ALL PLANT SUBSTITUTIONS ARE SUBJECT TO CITY OF CELINA APPROVAL AND MUST BE SPECIFIED ON THE APPROVED LANDSCAPE PLAN.
- GROUND COVERS USED IN LIEU OF TURF GRASS MUST PROVIDE COMPLETE COVERAGE WITHIN ONE (1) YEAR OF PLANTING AND MAINTAIN ADEQUATE COVERAGE AS APPROVED BY THE CITY OF CELINA.
- TREES MUST BE PLANTED FOUR FEET (4') OR GREATER FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND/OR OTHER STRUCTURES. THE CITY OF CELINA HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- TREE PITS SHALL HAVE ROUGHENED SIDES AND BE TWO TO THREE TIMES WIDER THAN THE ROOT BALL OF THE TREE IN ORDER TO FACILITATE HEALTHY ROOT GROWTH.
- TREES SHALL NOT BE PLANTED DEEPER THAN THE BASE OF THE "TRUNK FLARE".
- THE TREE PIT SHALL BE BACKFILLED WITH NATIVE TOPSOIL FREE OF ROCK AND OTHER DEBRIS.
- BURLAP, TWINE AND WIRE BASKETS SHALL BE LOOSENEED AND PULLED BACK FROM THE TRUNK OF TREE AS MUCH AS POSSIBLE.
- TREES SHALL NOT BE WATERED TO EXCESS THAT RESULTS IN SOIL SATURATION. IF SOIL BECOMES SATURATED, THE WATERING SCHEDULE SHALL BE ADJUSTED TO ALLOW FOR DRAINAGE AND ABSORPTION OF THE EXCESS WATER.
- A 3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- NO PERSON(S) OR ENTITY MAY USE IMPROPER OR MALICIOUS MAINTENANCE OR PRUNING TECHNIQUES WHICH WOULD LIKELY LEAD TO THE DEATH OF THE TREE. IMPROPER OR MALICIOUS TECHNIQUES INCLUDE, BUT ARE NOT LIMITED TO, TOPPING OR OTHER UNSYMMETRICAL TRIMMING OF TREES, TRIMMING TREES WITH A BACKHOE, OR USE OF FIRE OR POISON TO CAUSE THE DEATH OF A TREE.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD OR OTHER MULCH.
- TREES OVERHANGING WALKS AND PARKING SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 7 FEET. TREES OVERHANGING PUBLIC STREET PAVEMENT DRIVE AISLES AND FIRE LANES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 14 FEET.
- A VISIBILITY TRIANGLE MUST BE PROVIDED AT ALL INTERSECTIONS. SHRUBS ARE NOT TO EXCEED 30 INCHES IN HEIGHT. TREES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 7 FEET AT TIME OF PLANTING.
- TREES PLANTED ON A SLOPE SHALL HAVE THE SOIL STAIN AT THE AVERAGE GRADE OF SLOPE.
- NO SHRUBS SHALL BE PERMITTED WITHIN AREAS LESS THAN 3 FEET IN WIDTH. ALL BEDS LESS THAN 3 FEET IN WIDTH SHALL BE GRASS, GROUNDCOVER OR SOME TYPE OF FIXED PAVING.
- THE OWNER, TENANT, AND/OR THEIR AGENTS, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE, ESTABLISHMENT, AND PERMANENCE OF PLANT MATERIAL. ALL LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE, BUT NOT LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, AND OTHER ACTIVITIES NECESSARY FOR THE MAINTENANCE OF LANDSCAPED AREAS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT IS DAMAGED, DESTROYED, OR REMOVED SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE AND VARIETY WITHIN 30 DAYS UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY OF CELINA.
- LANDSCAPE AND OPEN AREAS SHALL BE KEPT FREE OFF TRASH, LITTER AND WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO IRRIGATE ALL LANDSCAPE AREAS. OVERSPRAY ON STREETS AND WALKS IS PROHIBITED. A PERMIT FROM THE BUILDING INSPECTION DEPARTMENT IS REQUIRED FOR EACH IRRIGATION SYSTEM.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCR OACH ON RIGHT-OF-WAY, SIDEWALKS OR EASEMENTS TO THE EXTENT THAT THE VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- NO PLANTING AREAS SHALL EXCEED 3:1 SLOPE. 3' HORIZONTAL TO 1' VERTICAL.
- EARTHEN BERMS SHALL NOT INCLUDE CONSTRUCTION DEBRIS. CONTRACTOR MUST CORRECT SLIPPAGE OR DAMAGE TO THE SMOOTH FINISH GRADE OF THE BERM PRIOR TO ACCEPTANCE.
- ALL WALKWAYS SHALL MEET A.D.A. AND T.A.S. REQUIREMENTS.
- CONTACT CITY OF CELINA'S PLANNING DEPARTMENT AT FOR LANDSCAPE INSPECTION. NOTE LANDSCAPE INSTALLATION MUST COMPLY WITH APPROVED LANDSCAPE PLANS PRIOR FINAL ACCEPTANCE BY THE CITY OF CELINA AND/OR OBTAINING A CERTIFICATE OF OCCUPANCY.
- FINAL INSPECTION AND APPROVAL OF SCREENING WALLS, IRRIGATION AND LANDSCAPE IS SUBJECT TO ALL PUBLIC UTILITIES, INCLUDING BUT NOT LIMITED TO MANHOLES, VALVES, WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, TO BE ACCESSIBLE, ADJUSTED TO GRADE AND TO THE CITY OF CELINA'S PUBLIC WORKS DEPARTMENT STANDARDS.
- PRIOR TO CALLING FOR A LANDSCAPE INSPECTION, CONTRACTOR IS RESPONSIBLE FOR MARKING ALL MANHOLES, VALVES, WATER METERS, CLEANOUTS AND OTHER UTILITY APPURTENANCES WITH FLAGGING FOR FIELD VERIFICATION BY THE PUBLIC WORKS DEPARTMENT.

**PLANT LIST**

Code	Plant Name	Quantity	Size	Notes
BC	BALD CYPRESS / TAXODIUM DISTICHUM	2	4" CALIPER	AS SHOWN
LO	LIVE OAK / QUERCUS VIRGINIANA	1	8" CALIPER	AS SHOWN
CP	CHINESE PISTACHE / PISTACIA CHINENSIS	4	4" CALIPER	AS SHOWN
RB	FOREST PANSY REDBUD / CERCIS CANADENSIS 'FOREST PANSY'	2	2" CALIPER	AS SHOWN
MP	MEXICAN PLUM / PRUNUS CANADENSIS	3	2" CALIPER	AS SHOWN
CM	GRAPE MYRTLE / LAGERSTROEMIA INDICA	1	2" CALIPER	AS SHOWN
	TEXAS SAGE / LEUCOPHYLLUM FRUTESCENS	8	3 GALLON	AS SHOWN
	MEXICAN FEATHER GRASS / STIPA TENNUSSIMA	257	1 GALLON	12" O.C.
	LITTLE BLUESTEM GRASS / SCHIZACHYTRIUM SCOPARIUM	355	1 GALLON	12" O.C.
	COMMON BERMUDA SOLID SOD	707	SOLID SOD	SQUARE FEET
	DECOMPOSED GRANITE	374	4" DEPTH	SQUARE FEET
	BENDABOARD EDGING	324	4" HEIGHT	LINEAR FEET

6' MINIMUM SPREAD; MINIMUM 12' HEIGHT; FULL ROUNDED HEAD 6' MINIMUM BRANCHING HEIGHT; NURSERY GROWN

6' MINIMUM SPREAD; MINIMUM 12' HEIGHT; FULL ROUNDED HEAD 6' MINIMUM BRANCHING HEIGHT; NURSERY GROWN

6' MINIMUM SPREAD; MINIMUM 12' HEIGHT; FULL ROUNDED HEAD 6' MINIMUM BRANCHING HEIGHT; NURSERY GROWN

5' MINIMUM SPREAD; MINIMUM 8' HEIGHT; 2" MIN. CAL.; FULL HEAD NURSERY GROWN

5' MINIMUM SPREAD; MINIMUM 8' HEIGHT; 2" MIN. CAL.; FULL HEAD NURSERY GROWN

5' MINIMUM SPREAD; MINIMUM 8' HEIGHT; 2" MIN. CAL.; FULL HEAD NURSERY GROWN

FULL PLANTS

FULL PLANTS

MINIMUM 100% COVERAGE

MINIMUM 100% COVERAGE

REFER TO DETAIL 3/L2

**STUDIO DESIGN GROUP**

Studio 13 Design Group, PLLC.  
386 W. Main Street  
Lewisville, Texas 75057  
469-635-1900  
TBAE Firm #BR643

December 3, 2025

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

**LANDSCAPE AND SCREENING**

Landscape Plan

Project Name

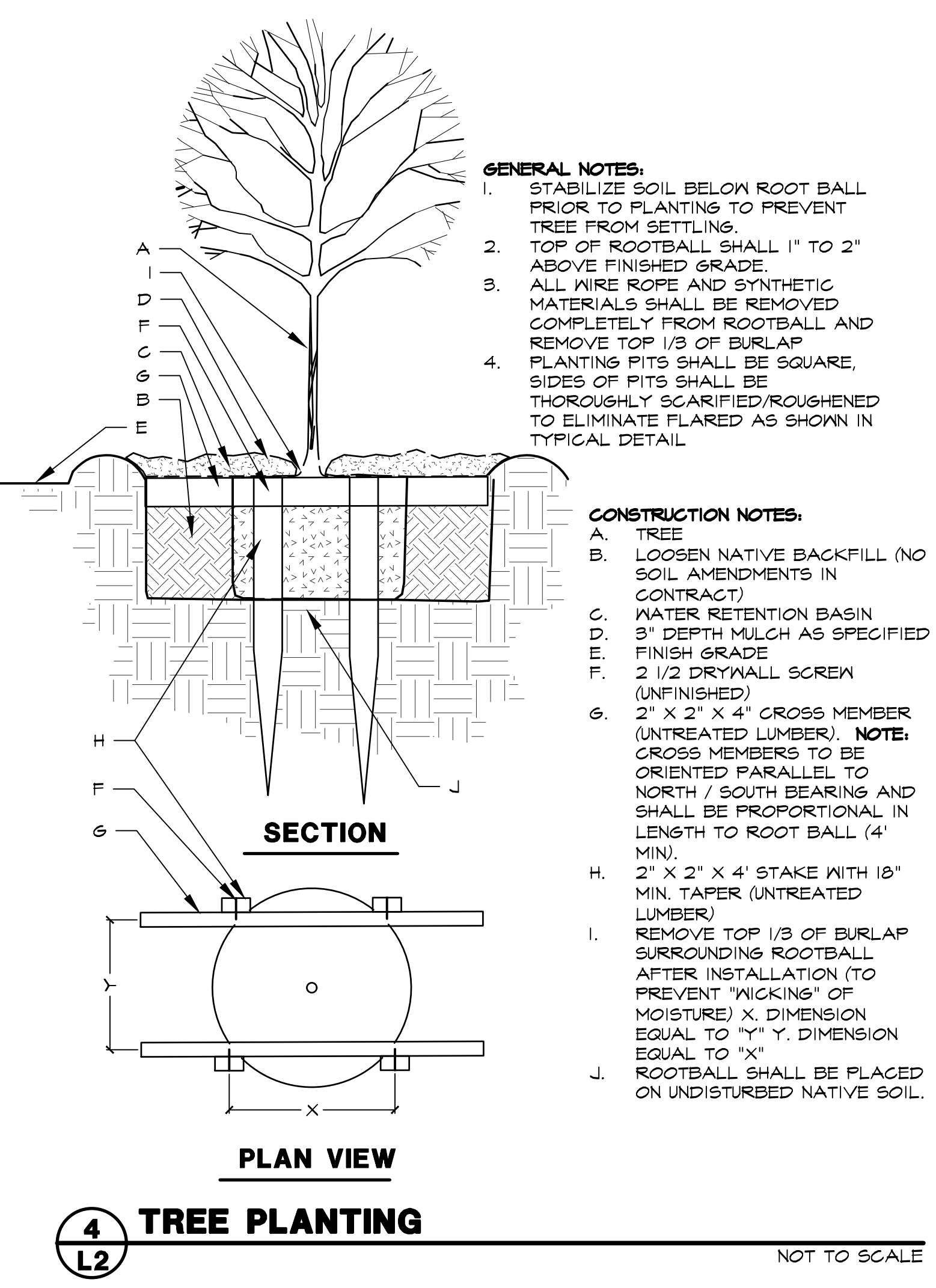
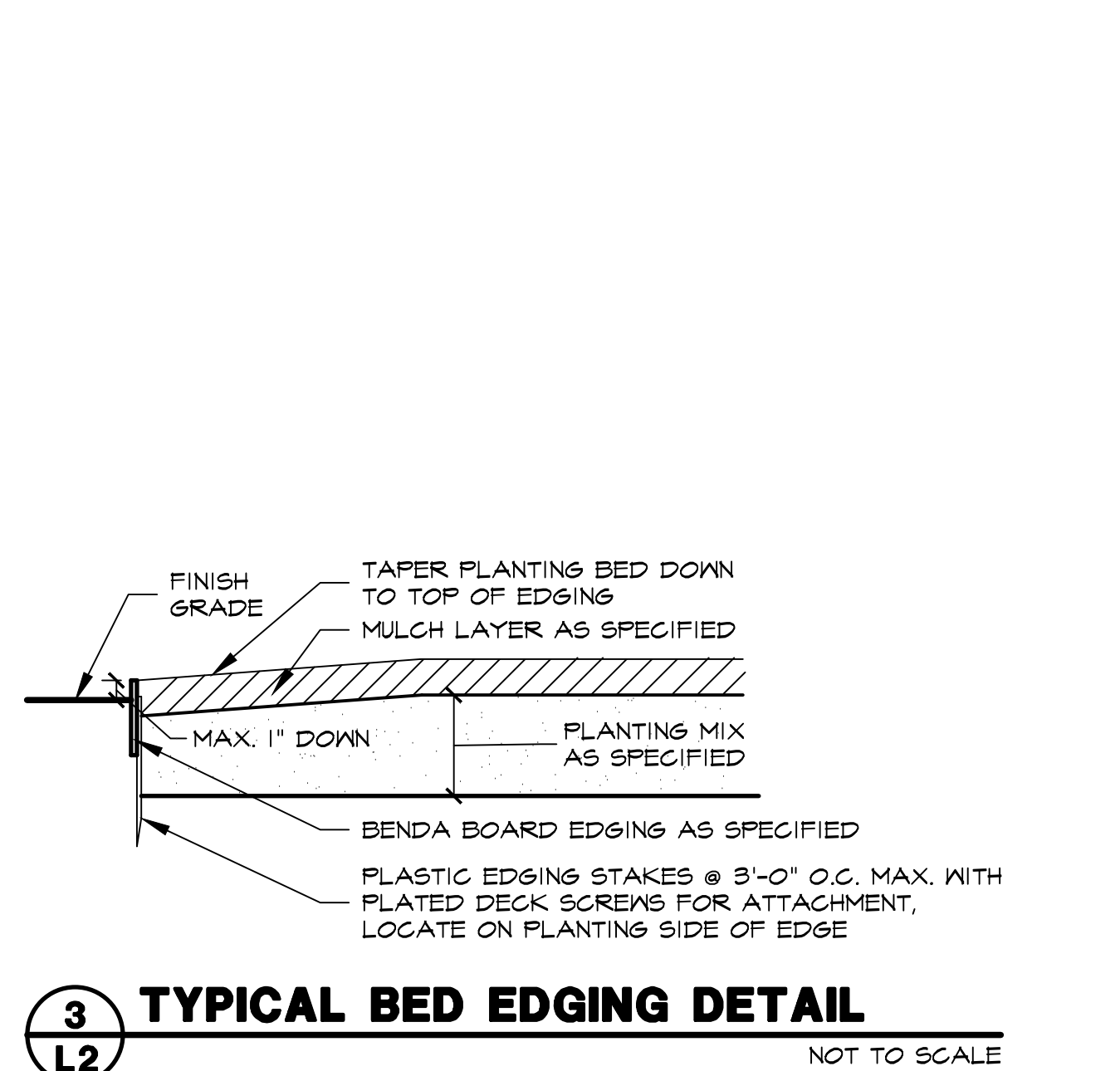
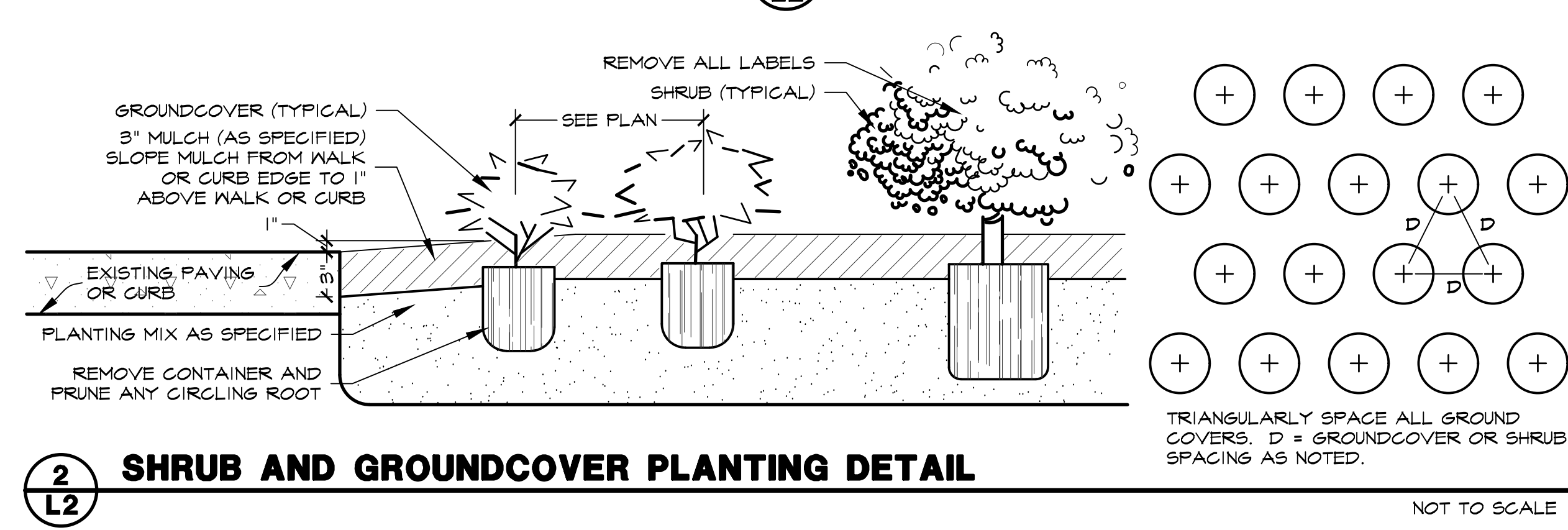
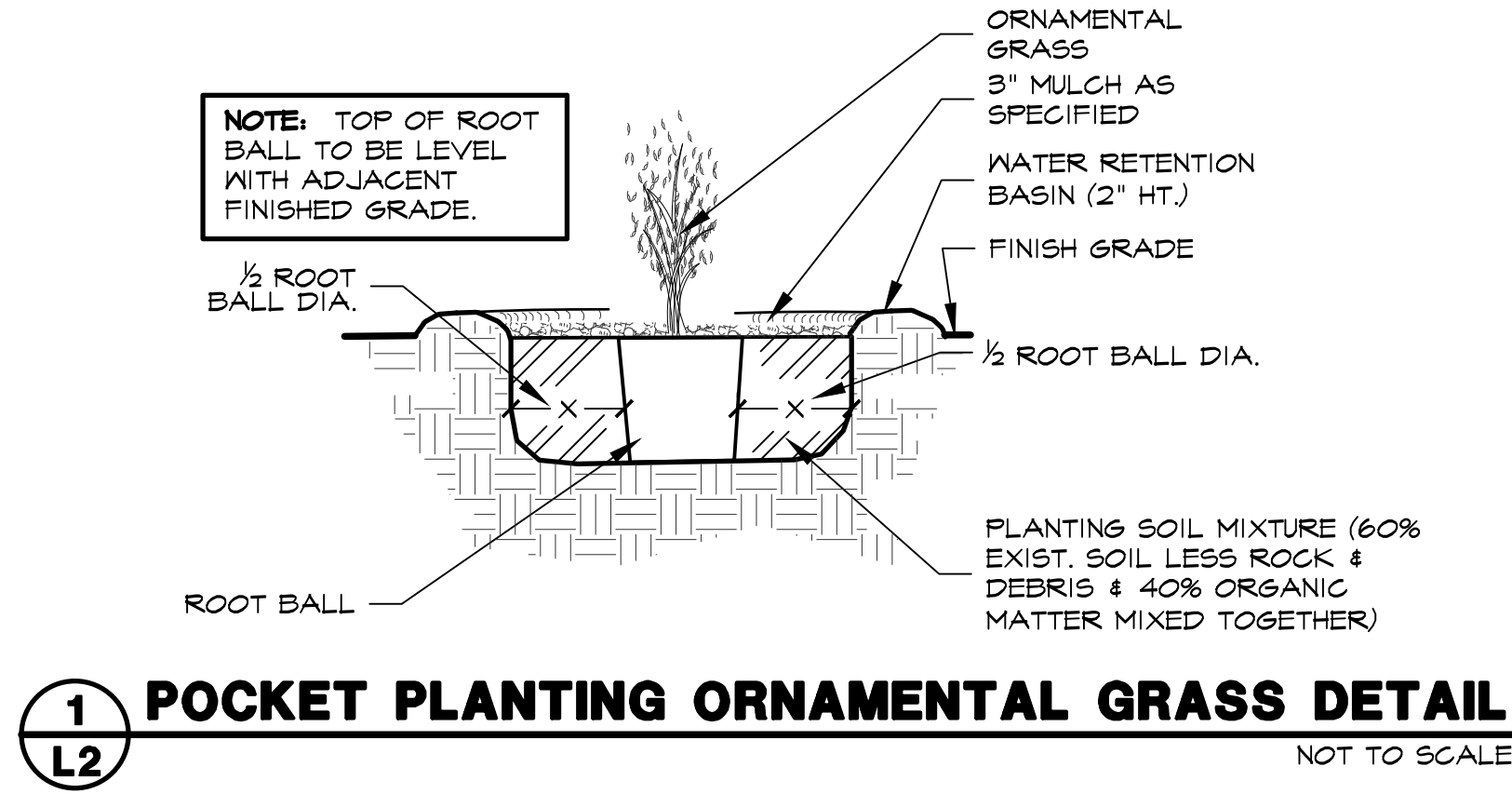
Town/City of XXXXX, XXXX County, Texas

PLAN REVIEW REVISIONS	BY	DATE
1	LWR	1-3-2025
2	LWR	1-21-2025
3	LWR	2-5-2025

PROJECT: LDM001

PLATE: 2 SHEET: LS2

Drawing: W:\Shared\Projects\LDM001 - Lake Dallas Mixed Use\DWG\LDM001.L2.dwg Saved By: Station10 Save Time: 1/22/2025 11:37 AM Plotted by: Station10 Plot Date: 2/5/2025 3:13 PM









1

## UNDERSTANDING LOCAL GOVERNANCE


**Dillon’s Rule**

- Local Governments are subdivisions of the state, and their powers are limited to what the state grants them

**Home Rule**

- Local Governments are granted some autonomy and can make broad legislative decisions
- Home rule states grant local governments the authority to act independently of state statute, within limits

What is Lake Dallas?  
Lake Dallas is a Home Rule



2

2

# LAKE DALLAS COMPREHENSIVE PLAN

## What is a Comprehensive Plans :

A comprehensive plan for a city is a long-term, strategic document that outlines a city's vision for the future, including how it wants to grow, develop, and manage its resources. It acts as a roadmap for guiding future decisions related to land use, infrastructure, and community development. Essentially, it's a blueprint for the city's future, setting the stage for how it will evolve over the next 10-20 year.

## Comprehensive Plans Should Be:

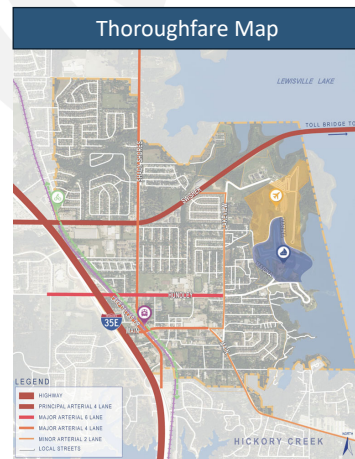
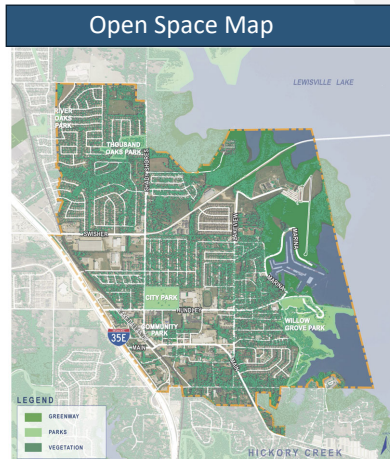
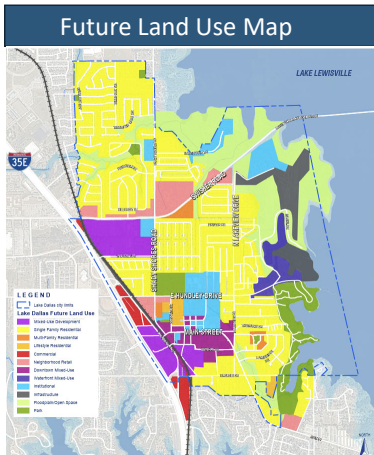
Future Oriented	Continuous
Based on a determination of present and projected conditions	Act as a guiding document

**LAKE DALLAS**  
VISION 2030 COMPREHENSIVE PLAN  
JULY 2018



3

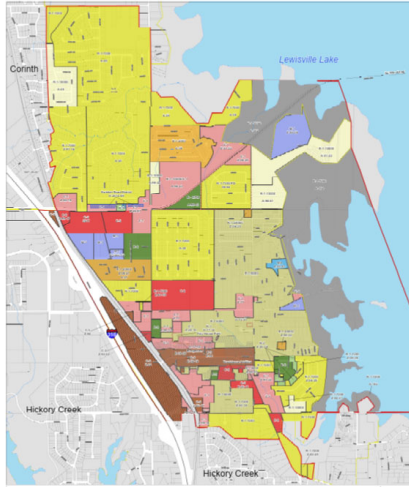
# ADDITIONAL DOCUMENTS IN THE COMPREHENSIVE PLAN



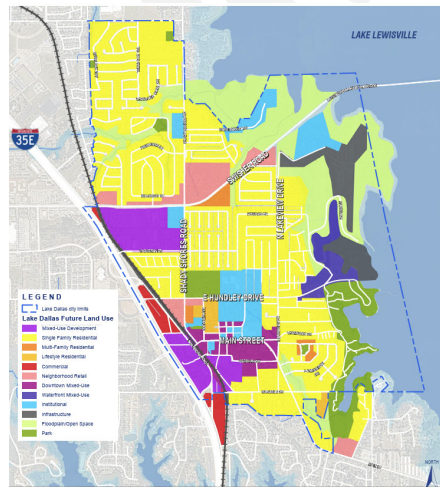
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## ZONING VS FUTURE LAND USE MAP

Zoning is specific and acts as a regulatory framework that implements regulations



Future Land Use Map acts as a vision for the future and does not have regulatory actions

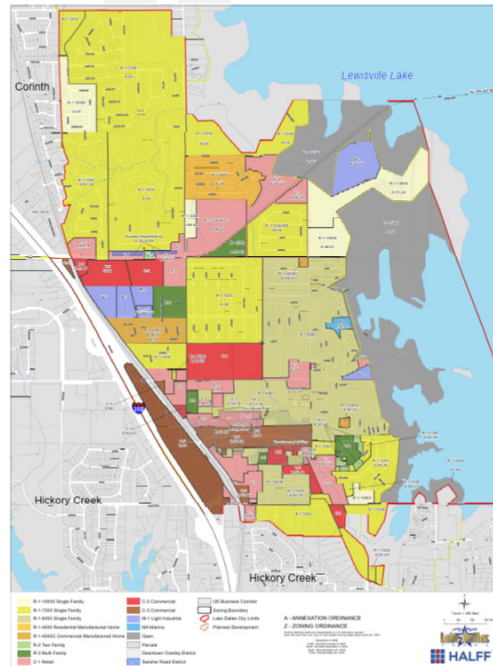


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## WHAT IS ZONING?

The division of a city or area into districts and the prescription and application of different regulations in each district generally is referred to as zoning. A comprehensive zoning ordinance necessarily divides a city into certain districts and prescribes regulations for each one having to do with the architectural design of structures, the area to be occupied by them, and the use to which the property may be devoted. The use of a building may be restricted to that of trade, industry or residence.

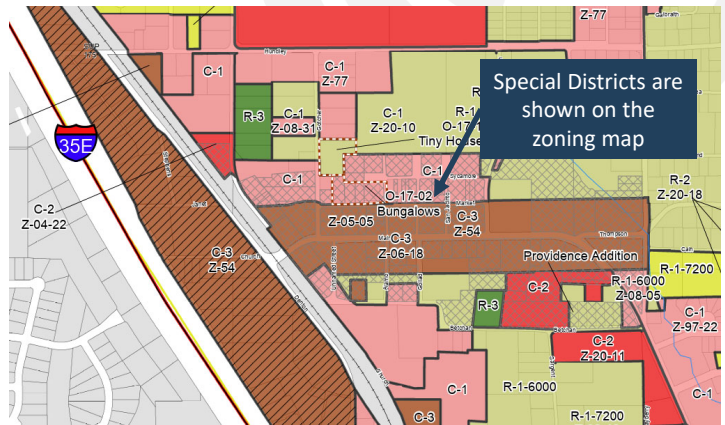


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## SPECIAL DISTRICTS

- ▼ ARTICLE XV. - SPECIAL DISTRICTS
  - DIVISION 1. - PD PLANNED DEVELOPMENT DISTRICT
  - DIVISION 2. - IH-35E BUSINESS CORRIDOR DISTRICT
  - DIVISION 3. - DOWNTOWN DISTRICT
  - DIVISION 4. - SWISHER ROAD DISTRICT



## PURPOSE OF ZONING

- 1 Lessen Congestion in the streets
- 2 Secure safety from fire, panic, and other dangers
- 3 Promote health, safety, morals and the general welfare
- 4 Create a balance of land use
- 5 Facilitate the adequate provision of infrastructure schools, parks, and other public requirements



## ZONING REGULATIONS GENERALLY

The height, number of stories, and size of buildings

The percentage of a lot that may be occupied

The size of yards, courts, and other open spaces

Parking Requirements

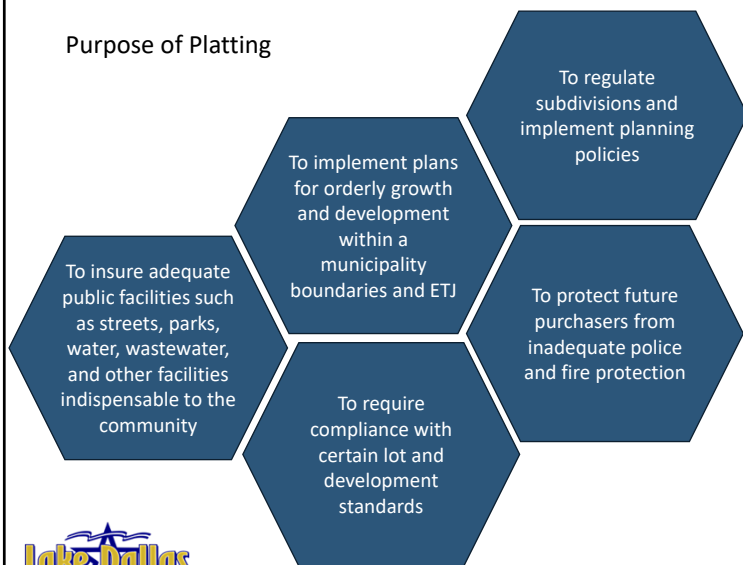
The location and use of buildings, other structures and land for business, industrial, residential and other purposes

City Staff will review request for compliance with comprehensive plan, existing ordinances and good urban planning practices. Then act as a liaison for P&Z and Council to provide professional advice, not policymaking.

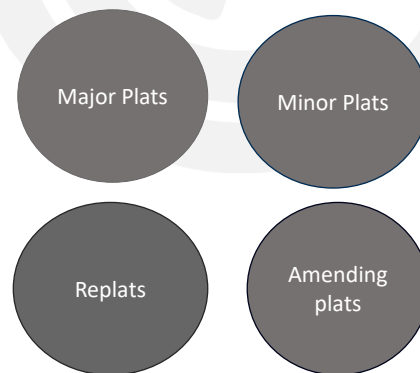


## PLATTING

### Purpose of Platting



### Types of Plats



## PURPOSE OF PLANNING + ZONING COMMISSION


To make recommendations regarding boundaries of **zoning** districts and zoning regulations (per Chapter 211 of Texas Local Government Code)

Authority regarding **planning** (per Chapter 212 of Texas Local Government Code)




## APPLICATION HAS BEEN REVIEWED AND IS PUT ON AN AGENDA WHAT'S NEXT?


### Step 1 Notices



72- hour posting requirement mandated by the Texas Open Meetings Act



Written notices within 200 feet of subject tract



Notice must be sent before the 10<sup>th</sup> day before the public hearing date

### Step 2 Public Hearing

A public hearing is a formal meeting where members of the public can voice their opinions, concerns, or support regarding a specific issue, proposal, or policy. These hearings are usually open to all and ensure that diverse perspectives are considered before final decisions are made.

Public Hearing required for certain applications such as Zoning Change Requests. Meetings must comply with Open Meetings Act.

### Step 3 Motions

- Recommend To Approve
- Recommend To Approve With Conditions
- Recommend To Disapprove

Recommendation goes to Council for Final Consideration



# P+Z CONSIDERATION

## Zoning Decisions

Afforded broad discretion in zoning decisions, since zoning is a legislative function.

Zoning decisions must be based on rational foundation and directly related to promoting public good.

Potential legal challenges to a zoning decision:

1. Arbitrary and capricious
2. Discriminatory
3. Administrative error

## Platting Decisions

No discretion allowed in platting decisions

If Plat meets city regulations, must be approved.

Variances



# ADDITIONAL RESOURCES

## Architectural Elevations



Sec. 122-374. - Exterior surfaces.

- Exterior surfaces of structures in district C-2 shall consist of masonry materials covering no less than 80 percent of total exterior surfaces exclusive of windows, doors and gables.
- Upon recommendation from the planning and zoning commission following public hearing, the city council may consider and grant or deny an exemption from the foregoing exterior masonry requirement. The city council shall hold a public hearing following recommendation by the commission. The application shall include a site plan, elevations and proof of an architectural theme or individual theme that would require a different type of exterior. The application fee shall be as set forth in the city's master fee schedule.

(Ordinance 06-09, § 2, 3-23-06; Ordinance 12-13, § 13, 7-26-12)



## Engineering Desing Manual



Engineering Standards

City of Lake Dallas, Texas

## WORK CITED

- <https://www.nctcog.org/training-development-institute/planning-development-academy/jan6-7pandz>
- <https://www.planning.org/knowledgecenter/>
- <https://txplanningguide-ojs-utexas.tdl.org/txplanningguide/article/view/39/27>
- <https://www.tml.org/DocumentCenter/View/4121/Platting-and-Subdivision-QA-Website-Final>
- <https://texascityattorneys.org/wp-content/uploads/2020/02/Zoning-Platting-101-Riley-Fletcher-2020-Updated.pdf>



Questions?