



**Planning and Zoning Commission
Regular Meeting
212 Main Street
City of Lake Dallas, Texas 75065
Thursday, April 17, 2025, at 6:00 p.m.
Agenda**

1. Call to Order and Determination of Quorum

2. Pledges of Allegiance

3. Citizen Agenda & Public Comment

An opportunity for citizens to address the Planning & Zoning Commission on matters which are not scheduled for consideration by the Planning & Zoning Commission. Speakers will be limited to five (5) minutes each. The Texas Open Meeting Act prohibits deliberation by the Planning & Zoning Commission of any subject which is not on the posted agenda, therefore the Planning & Zoning Commission will not be able to discuss or take any action on items brought up during the citizen presentations that are not on the agenda.

4. Consider and act on the Planning and Zoning Minutes for December 20, 2024 and February 20, 2025.

5. Consider and take appropriate action on a Replat Plat of Lots 1,2, and 3 of Block J part of the Lakeview Camp recorded in cabinet A, Page 181, P.R.D.C.T being A 1.69 acre tract of Land in the M.E.P.P.R.R Co. Survey abstract No. 924 of the City of Lake Dallas, Denton County, Texas.

6. Consider and take appropriate action on a Final Plat and associated Construction Plans for Lot 1 and 2, Block A of Swisher Road Industrial, being a final plat of +/- 13.296 acres situated in the J.W Simmons Survey, Abstract No.1162, of the City of Lake Dallas, Denton County, Texas..

7. Announcements and requests for future agenda items.

8. Adjourn.

I certify that the above notice of this meeting was posted on the bulletin board at City Hall of the City of Lake Dallas, Texas on or before April 14, 2025, at 5:00 p.m.

Codi Delcambre, City Secretary

If you plan to attend this public meeting and you have a disability that requires special arrangements at this meeting, please contact City Secretary's Office at (940) 497-2226 ext. 102 or fax (940) 497-4485 at least two (2) working days prior to the meeting so that appropriate arrangements can be made.

**State of Texas
County of Denton
City of Lake Dallas**

The Lake Dallas City Planning and Zoning Commission met in a regular meeting December 19, 2024 in the Lake Dallas City Hall, 212 Main Street, with notice of the meeting given, as required by Title 5, Chapter 551.041 of the Texas Government Code, Chairperson Melody Parlett called the meeting to order at 6:00 p.m.

1. Roll Call

Melody Parlett	Chairperson, Place 5
Layne Cline	Place 1
Sam Park	Place 2
Cheryl McClain	Place 4

Absent:

None.

Staff Present:

Daniel Rusnak, Permit Tech
Codi Delcambre, Director of Administrative Services/City Secretary

2. Pledge of Allegiance

3. Conduct a public hearing and provide recommendation for a Planned Development with a base zoning of R-1-6000 Single Family Dwelling District applicable to the development and use of approximately 0.986 acres of land being part of the Gotcher Addition, Abstract No. 043A, City of Lake Dallas, Denton County, Texas; located on Lot 7R Block 1. The property is generally located at 206 Gotcher Ave Lake Dallas, TX 75065. The property is currently zoned as a Planned Development with R-1-600 Single Family Dwelling District as the base.

City Planner Randi Rivera presented plan to the board. Applicant

Terry Lantrip thanked the board for their time and consideration.

Chairperson Parlett opened the public hearing.

No one spoke for or against the proposed Planned Development.

Chairperson Parlett closed the public hearing.

Motion: to recommend that the City Council approve a Planned Development with a base zoning of R-1-6000 Single Family Dwelling District applicable to the development and use of approximately 0.986 acres of land being part of the Gotcher Addition, Abstract No. 043A, City of Lake Dallas, Denton County, Texas; located on Lot 7R Block 1 was made by Sam Park and seconded by Layne Cline.

Board member Sam Park made the motion to recommend approval of the proposed request as described and presented. Board member Layne Cline seconded the Motion.

Ayes: Melody Parlett, Cheryl McClain, Sam Park, Layne Cline.

Nays: None

Motion Passed 4-0

4. Citizen Agenda & Public Comment:

An opportunity for citizens to address the Planning & Zoning Commission on matters which are not scheduled for consideration by the Planning & Zoning Commission. In order to address the Planning & Zoning Commission, please complete a Public Meeting Appearance Card and present it to the City Secretary prior to the start of the meeting. The Texas Open Meeting Act prohibits deliberation by the Planning & Zoning Commission of any subject which is not on the posted agenda, therefore the Planning & Zoning Commission will not be able to discuss or take any action on items brought up during the citizen presentations. Citizen presentation will be limited to five (5) minutes per person.

No one requested to speak.

5. Announcements or request for future agenda items.

None.

6. Adjournment of Regular Meeting.

Meeting was adjourned at 6:15 pm.

Passed and approved on the 17th day of April

Melody Parlett, Chairperson

Attest:

Daniel Rusnak, Permit Tech

**State of Texas
County of Denton
City of Lake Dallas**

The Lake Dallas City Planning and Zoning Commission met in a regular meeting February 20, 2025 in the Lake Dallas City Hall, 212 Main Street, with notice of the meeting given, as required by Title 5, Chapter 551.041 of the Texas Government Code, Chairperson Melody Parlett called the meeting to order at 6:00 p.m.

1. Roll Call

Melody Parlett	Chairperson, Place 5
Layne Cline	Place 1
Sam Park	Place 2
Cheryl McClain	Place 4

Absent:

None.

Staff Present:

Daniel Rusnak, Permit Tech
Codi Delcambre, Director of Administrative Services/City Secretary

2. Pledge of Allegiance

3. Citizen Agenda & Public Comment:

An opportunity for citizens to address the Planning & Zoning Commission on matters which are not scheduled for consideration by the Planning & Zoning Commission. In order to address the Planning & Zoning Commission, please complete a Public Meeting Appearance Card and present it to the City Secretary prior to the start of the meeting. The Texas Open Meeting Act prohibits deliberation by the Planning & Zoning Commission of any subject which is not on the posted agenda, therefore the Planning & Zoning Commission will not be able to discuss or take any action on items brought up during the citizen presentations. Citizen presentation will be limited to five (5) minutes per person.

No one requested to speak.

4. Consider and act on the Planning and Zoning Minutes for December 19, 2024.

This item was pulled from the agenda.

5. **Conduct a public hearing and provide recommendation for a Planned Development, on property currently zoned District C-3 in the Downtown Overlay District, to allow for a Mixed Use Building of the O T Garza Survey, more commonly known as 312 Main St, TX 75065, Lake Dallas, Denton County. Texas.**

The Planning and Zoning Commission received a presentation from City Engineer regarding the proposed Planned Development for 312 Main Street.

Chairperson Parlett opened the public hearing at 6:23 p.m.

No one spoke for or against the proposed Planned Development.

Chairperson Parlett closed the public hearing at 6:24 p.m.

Motion: to recommend that the City Council approve a Planned Development on property currently zoned District C-3 in the Downtown Overlay District, to allow for a Mixed Use Building of the O T Garza Survey, more commonly known as 312 Main St, TX 75065, Lake Dallas, Denton County. Texas was made by Layne Cline and seconded by Cheryl McClain.

Ayes: Melody Parlett, Cheryl McClain, Sam Park, Layne Cline.

Noes: None

Motion Passed

4-0

6. **Conduct a public hearing and provide recommendation for a proposed text amendment to zoning regulations in the Lake Dallas Municipal Code, Chapter 122 “Zoning,” Article XI, “M-1 Light Industrial District,” Section 122-441, “Permitted Uses,” amending the permitted uses allowed in the M-1 Light Industrial District.**
- a. **6:26 Melody opens public hearing.**
 - b. **6:27 Melody closes public hearing**

The Planning and Zoning Commission received a presentation from Codi Delcambre, Director of Administrative Services/City Secretary regarding the proposed text amendment.

Chairperson Parlett opened the public hearing at 6:26 p.m.

No one spoke for or against the proposed texted amendment.

Chairperson Parlett closed the public hearing at 6:27 p.m.

Motion: to recommend that the City Council approve a proposed text amendment to zoning regulations in the Lake Dallas Municipal Code, Chapter 122 “Zoning,” Article XI, “M-1 Light Industrial District,” Section 122-441, “Permitted Uses,” amending the permitted uses allowed in the M-1 Light Industrial District was made by Layne Cline and seconded by Cheryl McClain.

Ayes: Melody Parlett, Cheryl McClain, Sam Park, Layne Cline.

Noes: None

Motion Passed **4-0**

7. **Consider and take appropriate action on a Final Plat and associated Construction Plans for Lot 1, Block A of Ace Hardware Addition, being a replat of +/- 1.506 acres in the Susan O. McCarroll Survey, Abstract No. 958, a portion of Lots 1-4, Block A and a portion of Lot 1 and all of Lots 2-4, Block B of Barmarchar Sites, of the City of Lake Dallas, Denton County, Texas.**

Motion: to recommend that the City Council approve a Final Plat and associated Construction Plans for Lot 1, Block A of Ace Hardware Addition, being a replat of +/- 1.506 acres in the Susan O. McCarroll Survey, Abstract No. 958, a portion of Lots 1-4, Block A and a portion of Lot 1 and all of Lots 2-4, Block B of Barmarchar Sites, of the City of Lake Dallas, Denton County, Texas was made by Layne Cline and seconded by Sam Park.

Ayes: Melody Parlett, Cheryl McClain, Sam Park, Layne Cline.

Noes: None

Motion Passed **4-0**

8. **Consider and act on a recommendation to appoint a member to the Planning and Zoning Board.**

Motion: to recommend that the City Council appoint David James to the Planning and Zoning Commission was made by Sam Park and seconded by Cheryl McClain.

Ayes: Melody Parlett, Cheryl McClain, Sam Park, Layne Cline.

Noes: None

Motion Passed **4-0**

9. **Announcements and requests for future agenda items.**
None.
10. **Adjournment of Regular Meeting.**

Meeting was adjourned at 6:33 pm.

Passed and approved on the _____ day of _____, 2025.

Melody Parlett, Chairperson

Attest:

Daniel Rusnak, Permit Tech



**P&Z COMMISSION
AGENDA MEMO**

Prepared By: Randi Rivera, AICP, City Planning Consultant

April 17, 2025

Consider and take appropriate action on a Replat Plat of Lots 1,2, and 3 of Block J part of the Lakeview Camp recorded in cabinet A, Page 181, P.R.D.C.T being A 1.69 acre tract of Land in the M.E.P.P.R.R Co. Survey abstract No. 924 of the City of Lake Dallas, Denton County, Texas.

DESCRIPTION:

Planning and Zoning Commission shall consider the Replat of the Drozd Addition, located off of Nick Street, to replat one lot into three lots.

BACKGROUND INFORMATION:

The applicant is proposing to replat the 1.69 acre tract on Land in the M.E.P.P.R.R Co. Survey abstract No. 924, City of Lake Dallas into three lots less than one acre. An access easement, which is currently identified as Noyes St, will be granted by the replat in order to access the new lots being proposed.



RECOMMENDED MOTIONS:

The City P&Z Commission can:

RECOMMEND TO APPROVE the Replat for Lot 1, 2, and 3, Block J of the Drozd Addition.

OR

RECOMMEND TO APPROVE WITH CONDITIONS the Replat for Lot 1, 2, and 3, Block J of the Drozd Addition with the following conditions: *[insert requirements of the Code of Ordinances which must be satisfied to approve said plat]*

OR

RECOMMEND TO DISAPPROVE the Replat for Lot 1, 2, and 3, Block J of the Drozd Addition, with the following conditions: *[insert requirements of the Code of Ordinances which must be satisfied to approve said plat]*

ATTACHMENTS:

Replat

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS §
 COUNTY OF DENTON §

I, **LOUIS MICHAEL DROZD, THOMAS BUNYAN DROZD and DEAN PHILLIP DROZD**, the undersigned, owners of the land shown on this plat within the area described as follows:

BEING a 1.69 acre tract of land out of the M.E.P. & P.R.R. CO. SURVEY, ABSTRACT NO. 924, situated in the City of Lake Dallas, Denton County, Texas, being a called 1.688 acre tract of land conveyed to Louis Michael Drozd, Thomas Bunyan Drozd and Dean Phillip Drozd by Deed of Executor of record in Volume 4416, Page 920 of the Deed Records of Denton County, Texas, being a portion of Block J of Lakeview Camp, a subdivision of record in Cabinet A, Page 181 of the Plat Records of Denton County, Texas and being more particularly described by metes and bounds as follows:

COMMENCING, at a brass disk stamped "CORPS OF ENGINEERS" found in the Southwest right-of-way line of Marina Drive, being the Northeast corner of Block I of said Lakeview Camp;

THENCE, along the Southwest right-of-way line of Marina Drive, being the common Northeast line of said Lakeview Camp, the following two (2) courses and distances:

- N21°39'14"W, a distance of 354.70 feet to a brass disk stamped "CORPS OF ENGINEERS" found, being an East corner of a tract of land conveyed to Thomas Drozd by General Warranty Deed of record in Document Number 2022-26011 of the Official Records of Denton County, Texas;
- N16°55'19"W, a distance of 103.81 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set for the POINT OF BEGINNING, being the Northeast corner of said Thomas Drozd tract and an East corner of said 1.688 acre tract;

THENCE, along the common line between said 1.688 acre tract and said Thomas Drozd tract, the following two (2) courses and distances:

- S84°48'41"W, a distance of 164.31 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set, being the Northwest corner of said Thomas Drozd tract and an interior ell corner of said 1.688 acre tract;
- S10°41'43"E, a distance of 111.03 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the North line of Lot 1, Block F of said Lakeview Camp, being the Southwest corner of said Thomas Drozd tract and the Southeast corner of said 1.688 acre tract;

THENCE, N88°07'41"W, along the North line of Lot 1, Block F of said Lakeview Camp, being the common South line of said 1.688 acre tract, a distance of 125.50 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the East line of Block E of said Lakeview Camp, being the Northwest corner of Lot 1, Block F of said Lakeview Camp and the Southwest corner of said 1.688 acre tract;

THENCE, N00°09'08"E, along the East line of said Block E, being the common West line of said Block J, a distance of 368.73 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the South right-of-way line of said Nick Street (30' right-of-way), being the Northwest corner of said Block E and the Northwest corner of said Block J and said 1.688 acre tract;

THENCE, N86°12'04"E, along the South right-of-way line of said Nick Street, being the common North line of said 1.688 acre tract, a distance of 190.20 feet to 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the intersection of the South right-of-way line of said Nick Street and the Southwest right-of-way line of said Marina Drive;

THENCE, along the Southwest right-of-way line of said Marina Drive, being the common Northeast line of said 1.688 acre tract, the following two (2) courses and distances:

- S13°48'27"E, a distance of 32.42 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set;
- S16°55'19"E, a distance of 240.39 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set for the POINT OF BEGINNING, containing 1.69 acres or 73,513 square feet of land, more or less.

And designated herein as the **DROZD ADDITION** to the City of Lake Dallas, Texas, and whose name is subscribed hereto, hereby dedicated to the public in fee simple all streets, alleys, rights-of-way and parks, and dedicate to the public forever all water courses, drains, easements and public places thereon shown for the purpose and consideration therein expressed.

OWNER: **LOUIS MICHAEL DROZD**

OWNER: **THOMAS BUNYAN DROZD**

BY: _____
 Signature Date

BY: _____
 Signature Date

BY: _____
 Printed Name and Title

BY: _____
 Printed Name and Title

STATE OF TEXAS §
 COUNTY OF _____ §

STATE OF TEXAS §
 COUNTY OF _____ §

BEFORE ME, the undersigned authority, on this day personally appeared **Louis Michael Drozd**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

BEFORE ME, the undersigned authority, on this day personally appeared **Thomas Bunyan Drozd**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of _____, 2025.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of _____, 2025.

Notary Public in and for the State of Texas

Notary Public in and for the State of Texas

OWNER: **DEAN PHILLIP DROZD**

BY: _____
 Signature Date

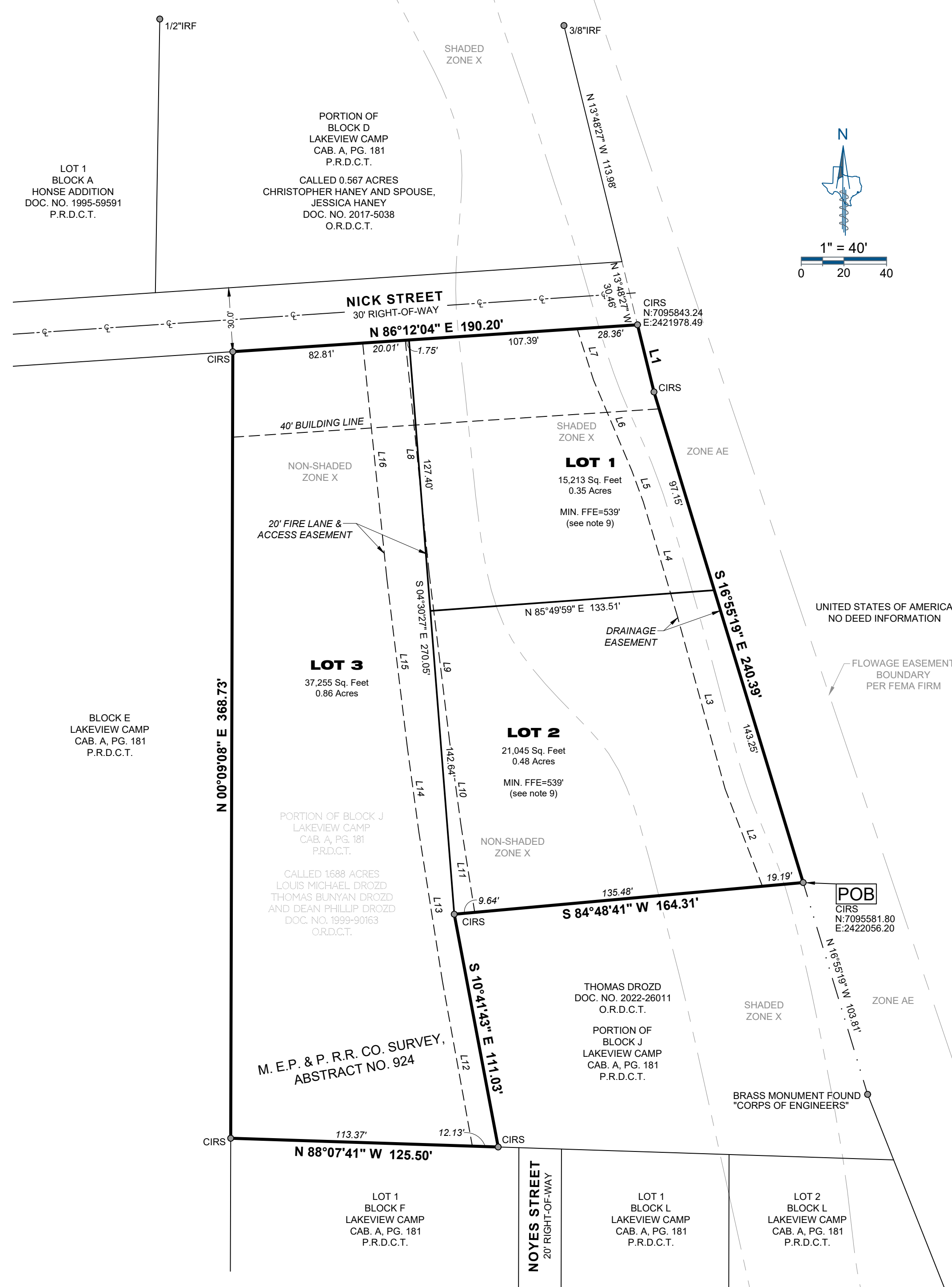
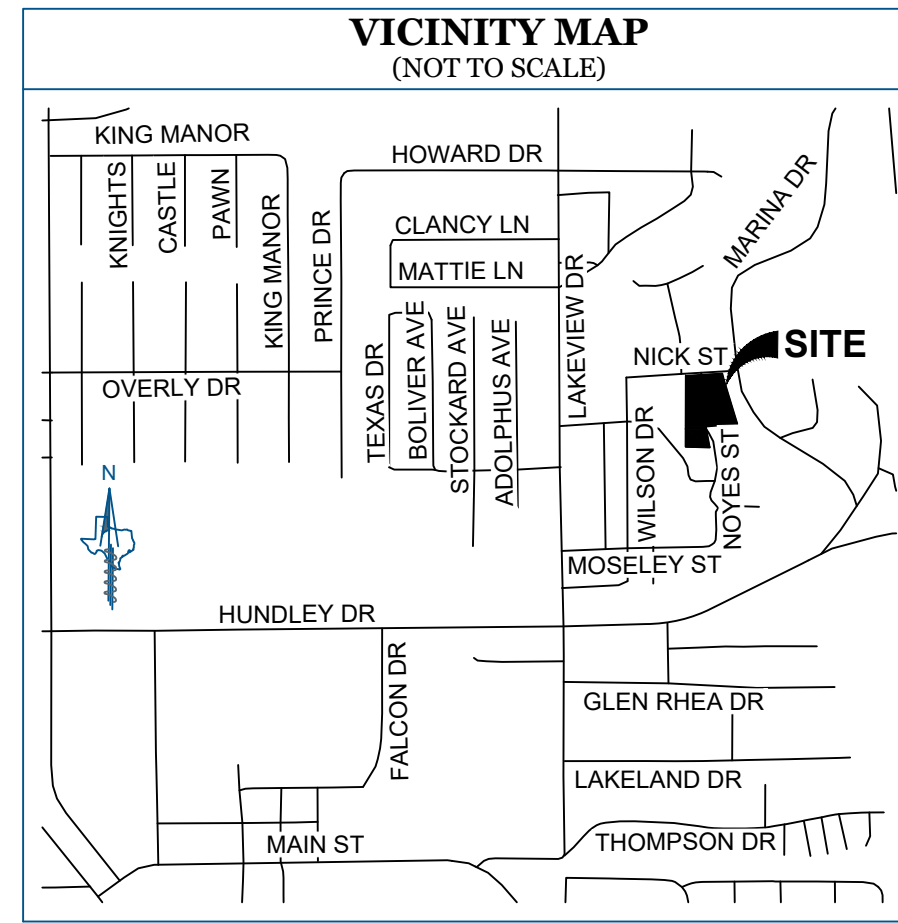
BY: _____
 Printed Name and Title

STATE OF TEXAS §
 COUNTY OF _____ §

BEFORE ME, the undersigned authority, on this day personally appeared **Dean Phillip Drozd**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of _____, 2025.

Notary Public in and for the State of Texas



GENERAL NOTES

- The purpose of this plat is to create one (3) lot of record from one (1) lot of record.
- This property is located in Zone AE and Zone X (Non-shaded) according to the F.E.M.A. Flood Insurance Rate Map dated June 19, 2020 as shown on Map Number 48121C0395H.
- The bearings and grid coordinates shown on this plat are based on GPS observations utilizing the AllTerra RTK Network, North American Datum of 1983 (Adjustment Realization 2011)(Texas North Central Zone 4202).
- Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law, and is subject to fines and/or withholding of utilities and building permits.
- All interior property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.
- Any franchised public utility, including the City of Lake Dallas shall have the right to move and keep moved all or part of any building, fences, trees, shrubs, other growths or improvements which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on any of the easements shown on the plat. Any franchised public utility including the City of Lake Dallas, shall have the right at all times of ingress and egress to and from and upon such easements for the purposes of constructing, reconstructing, inspecting, patrol, maintaining, and adding to or removing all or part of its respective systems without the necessity at any time of procuring the permission of anyone.
- All tree removal must abide by the tree preservation and mitigation plan on file with City of Lake Dallas Planning Department.
- Buildings shown hereon in their approximate locations per georeferenced NearMap imagery (NAD 83) dated 06-09-2023.
- The minimum finished floor elevations (MIN. FFE) shown hereon are 2' above the published water surface elevation of Lake Lewisville according to the F.E.M.A. Flood Insurance Rate Map dated June 19, 2020 as shown on Map Number 48121C0395H. This elevation was not determined by the surveyor.
- Floodplain Restriction: No construction shall be allowed within a floodplain easement unless specifically approved by the City of Lake Dallas. Where construction is permitted, all finished floor elevations shall be a minimum of two (2) foot above the base flood elevation (100-year flood or one percent probability flood elevation.) Any existing creeks, lakes, reservoirs, or drainage channels traversing along or across portions of this addition, will remain as an open channel at all times and will be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage courses along or across said lots. The City of Lake Dallas will not be responsible for the maintenance and operation of said drainage ways or for the control of erosion. Each property owner shall keep the natural drainage channels traversing adjacent to his property clean and free of debris, silt, or any substance which would result in unsanitary conditions and the City shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the property owner to alleviate any undesirable conditions which may occur. The natural drainage channel, as in the case of all natural drainage channels, is subject to storm water overflow and natural bank erosion to an extent that cannot be definitely defined. The City of Lake Dallas shall not be liable for damages of any nature resulting from the occurrence of these natural phenomena, nor resulting from a failure of any structures within the natural drainage channels. The natural drainage channel crossing each lot is shown by the floodplain easement line as shown on the plat.

CERTIFICATE OF SURVEYOR

STATE OF TEXAS §
 COUNTY OF DENTON §

I, the undersigned, a Registered Professional Land Surveyor in the State of Texas, hereby state that this plat is true and correct and was prepared from an actual survey of the property made under my supervision on the ground.

PRELIMINARY

this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document

Matthew Raabe, R.P.L.S. #6402 _____ Date _____

STATE OF TEXAS §
 COUNTY OF DENTON §

BEFORE ME, the undersigned authority, on this day personally appeared **MATTHEW RAABE**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of _____, 2025.

Notary Public in and for the State of Texas

LEGEND

R.O.W.	=	RIGHT-OF-WAY
PG.	=	PAGE
VOL.	=	VOLUME
POB	=	POINT OF BEGINNING
IRF	=	IRON ROD FOUND
CIRF	=	CAPPED IRON ROD FOUND
CIRS	=	CAPPED IRON ROD SET "EAGLE SURVEYING"
DOC. NO.	=	DOCUMENT NUMBER
PLAT RECORDS,	=	DENTON COUNTY, TEXAS
P.R.D.C.T.	=	DENTON COUNTY, TEXAS
D.R.D.C.T.	=	DEED RECORDS, DENTON COUNTY, TEXAS
O.R.D.C.T.	=	OFFICIAL RECORDS, DENTON COUNTY, TEXAS

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 13°48'27" E	32.42'
L2	N 20°58'43" W	48.94'
L3	N 15°27'39" W	85.07'
L4	N 16°36'56" W	54.86'
L5	N 20°13'25" W	15.50'
L6	N 22°55'35" W	46.06'
L7	N 17°43'12" W	25.32'
L8	N 05°51'24" W	109.86'
L9	N 06°55'38" W	79.60'
L10	N 07°45'08" W	39.57'
L11	N 08°58'07" W	41.20'
L12	S 10°17'17" E	78.69'
L13	S 08°58'07" E	70.82'
L14	S 07°45'08" E	39.93'
L15	S 06°55'38" E	79.93'
L16	S 05°51'24" E	110.77'

CERTIFICATE OF APPROVAL

CITY OF LAKE DALLAS

Approved by City Council: _____

City Manager _____

Attested by City Secretary _____

Date of Approval _____

**MINOR REPLAT
 LOTS 1, 2 & 3, BLOCK J
 DROZD ADDITION**

BEING A REPLAT OF A PORTION OF BLOCK J, LAKEVIEW CAMP RECORDED IN CABINET A, PAGE 181, P.R.D.C.T., BEING A 1.69 ACRE TRACT OF LAND IN THE M.E.P. P.R.R. CO. SURVEY, ABSTRACT NO. 924, CITY OF LAKE DALLAS, DENTON COUNTY, TEXAS

Project	2308.045
Date	03/10/2025
Drafter	EN

EAGLE SURVEYING, LLC
 222 S. Elm Street, Suite: 200
 Denton, TX 76201
 (940) 222-3009
 TX Firm #10194177

SURVEYOR
 Eagle Surveying, LLC
 Contact: Brad Eubanks
 222 S. Elm Street, Suite: 200
 Denton, TX 76201
 (940) 222-3009

OWNER
 Louis Michael Drozd
 Thomas Bunyan Drozd
 and Dean Phillip Drozd
 114 Noyes Street
 Lake Dallas, TX 75067



**P&Z COMMISSION
AGENDA MEMO**

Prepared By: Randi Rivera, AICP, City Planning Consultant

April 17, 2025

Consider and take appropriate action on a Final Plat and associated Construction Plans for Lot 1 and 2, Block A of Swisher Road Industrial, being a final plat of +/- 13.296 acres situated in the J.W Simmons Survey, Abstract No.1162, of the City of Lake Dallas, Denton County, Texas.

DESCRIPTION:

Planning and Zoning Commission shall consider the Final Plat and Construction Plans for Swisher Industrial, located at 250 Swisher Road Lake Dallas, TX 75065, to construct an industrial building, parking lot, and loading dock doors located on 7.9037 acres, Lot 2 Block A .

BACKGROUND INFORMATION:

The applicant is proposing a 344,285 SF industrial building off Swisher Road with a decel lane turning into the property. The applicant is proposing dock doors on the east side of the property and limiting industrial trucks to access the property through the east driveway.



On February 22, 2024, the request to rezone the property from C2 to a Planned Development District with a base zoning of M1 was approved by the City Council for this development. The proposed site plan is in conformance with the standards outlined in the approved PD, as well as other applicable City regulations.

RECOMMENDED MOTIONS:

The City P&Z Commission can:

RECOMMEND TO APPROVE the Final Plat for Lot 1 and 2, Block A of Swisher Road Industrial and associated construction plans.

OR

RECOMMEND TO APPROVE WITH CONDITIONS the Final Plat for Lot 1 and 2, Block A of Swisher Road Industrial and associated construction plans, with the following conditions: *[insert requirements of the Code of Ordinances which must be satisfied to approve said plat]*

OR

RECOMMEND TO DISAPPROVE the Final Plat for Lot 1 and 2, Block A of Swisher Road Industrial and associated construction plans, with the following conditions: *[insert requirements of the Code of Ordinances which must be satisfied to approve said plat]*

ATTACHMENTS:

Final Plat

Site Plan

CIVIL CONSTRUCTION PLANS FOR LPC SWISHER ROAD INDUSTRIAL

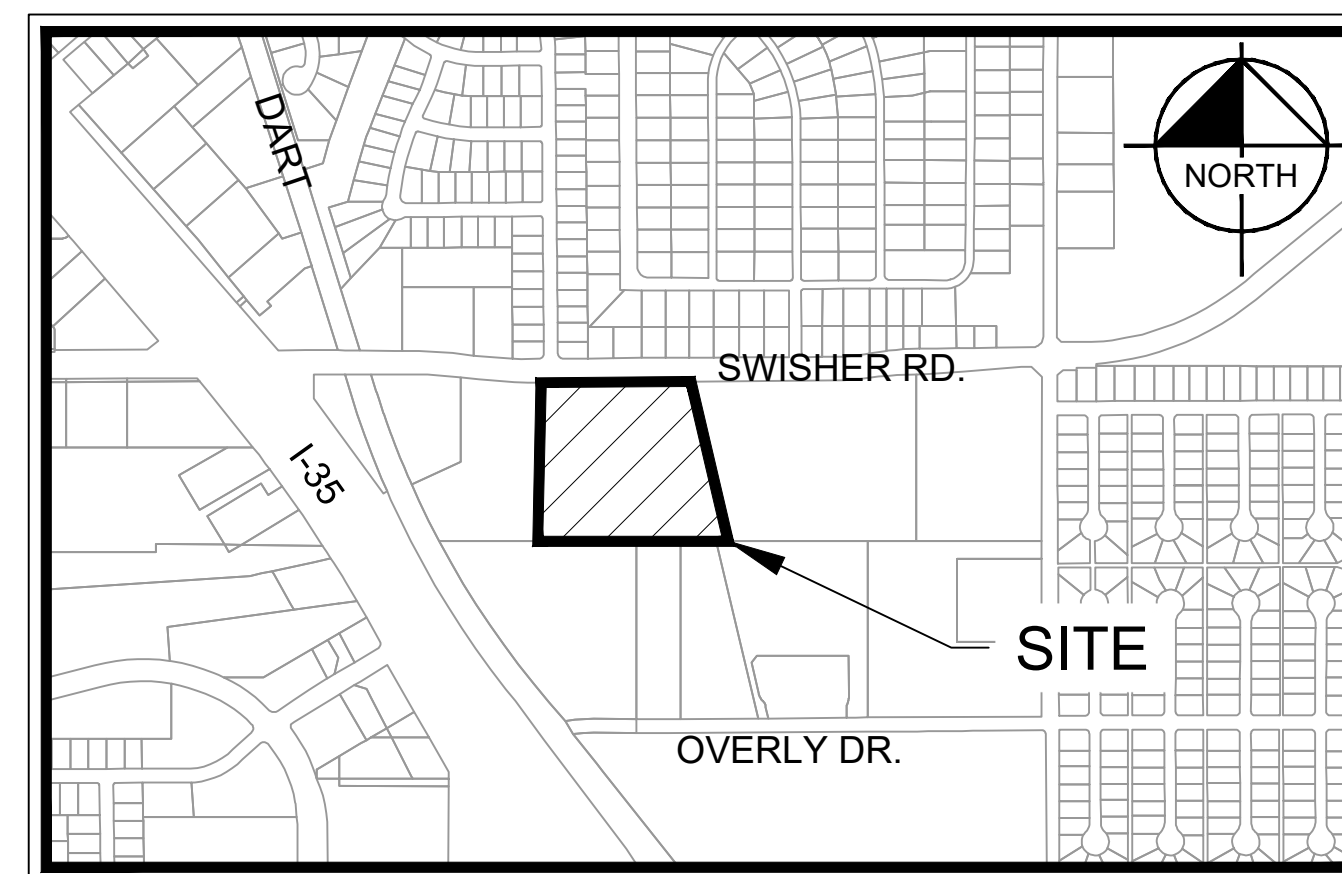
J.W. SIMMONS SURVEY, ABSTRACT NO. 1162, TRACTS 3 & 3A

**250 SWISHER ROAD
CITY OF LAKE DALLAS
DENTON COUNTY, TEXAS**

PLANS SUBMITTAL/REVIEW LOG

LAKE DALLAS 1st SUBMITTAL -NOT FOR CONSTRUCTION	10/17/2024
LAKE DALLAS 2ND SUBMITTAL -NOT FOR CONSTRUCTION	12/23/2024
LAKE DALLAS 3RD SUBMITTAL -NOT FOR CONSTRUCTION	02/03/2025
LAKE DALLAS 4TH SUBMITTAL -NOT FOR CONSTRUCTION	03/25/2025

RECOMMENDED FOR APPROVAL	
_____	DATE
GENERAL MANAGER, LAKE CITIES MUNICIPAL AUTHORITY	



- NOTES:
1. THE SITEWORK FOR THE PROJECT SHALL MEET OR EXCEED THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR THE NCTCOG - NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (LATEST EDITION), THE CITY STANDARDS, AND ANY SPECIAL PROVISIONS ADOPTED BY THE CITY. CITY STANDARDS GOVERN OVER NCTCOG IN THE EVENT OF A CONFLICT.
 2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO CONTRACT COMPLETION AND THE FINAL CONNECTION OF SERVICES.
 3. IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A 24" X 36" SHEET.



Know what's below.
Call before you dig.

CAUTION!
THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION IN VICINITY.

INDEX OF SHEETS

SHEET NO.	DESCRIPTION	DATE	REVISION
C-0.0	COVER SHEET	03/25/2025	
SHEETS 1-2	FINAL PLAT	03/25/2025	
SP	SITE PLAN	03/25/2025	
C-0.1	GENERAL NOTES	03/25/2025	
C-0.2	LCMUA GENERAL NOTES	03/25/2025	
C-1.0	DEMOLITION PLAN	03/25/2025	
C-1.1	DEMOLITION DETAILS	03/25/2025	
C-2.0	DIMENSION CONTROL & PAVING PLAN	03/25/2025	
C-3.0	EXISTING DRAINAGE AREA MAP	03/25/2025	
C-4.0	PROPOSED DRAINAGE AREA MAP	03/25/2025	
C-5.0	EROSION CONTROL PLAN	03/25/2025	
C-5.1	EROSION CONTROL DETAILS	03/25/2025	
C-6.0	OVERALL GRADING PLAN	03/25/2025	
C-6.1	GRADING PLAN	03/25/2025	
C-6.2	GRADING PLAN	03/25/2025	
C-6.3	GRADING PLAN	03/25/2025	
C-6.4	GRADING PLAN	03/25/2025	
C-6.5	DECELERATION LANE PLAN	03/25/2025	
C-7.0	STORM PLAN	03/25/2025	
C-7.1	STORM PROFILES	03/25/2025	
C-7.2	STORM PROFILES	03/25/2025	
C-7.3	STORM CALCULATIONS	03/25/2025	
C-7.4	STORM DETAILS	03/25/2025	
C-8.0	WATER PLAN	03/25/2025	
C-8.1	WATER PROFILES	03/25/2025	
C-9.0	SEWER PLAN	03/25/2025	
C-9.1	SEWER PROFILES	03/25/2025	
C-10.0	FRANCHISE PLAN	03/25/2025	
C-11.0	LCMUA CONSTRUCTION DETAILS	03/25/2025	
C-11.1	LCMUA CONSTRUCTION DETAILS	03/25/2025	
C-11.2	LCMUA CONSTRUCTION DETAILS	03/25/2025	
C-11.3	LCMUA CONSTRUCTION DETAILS	03/25/2025	
C-11.4	LCMUA CONSTRUCTION DETAILS	03/25/2025	
TCP(1-4) - 18	TRAFFIC CONTROL PLAN	03/25/2025	
LT 1.01	TREE PRESERVATION PLAN	03/25/2025	
LT 1.02	TREE INVENTORY & DETAILS	03/25/2025	
LP 1.01	LANDSCAPE PLAN	03/25/2025	
LP 1.02	LANDSCAPE SCHEDULE & NOTES	03/25/2025	

DEVELOPER

LINCOLN PROPERTY COMPANY
2000 MCKINNEY AVENUE, SUITE 1000
DALLAS, TX 75201
PHONE: (214) 740-3300
CONTACT: MATT BALSAMAN

ARCHITECT

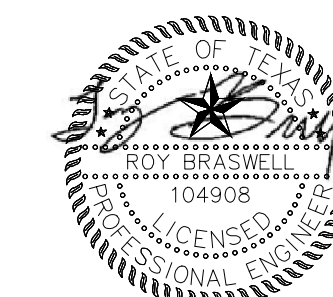
ALLIANCE ARCHITECTS
1600 N. COLLINS BOULEVARD
SUITE 1000
RICHARDSON, TEXAS 75080
PHONE: (972) 233-0400
CONTACT: TOM MAXWELL

ENGINEER

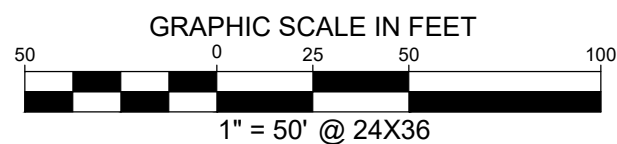
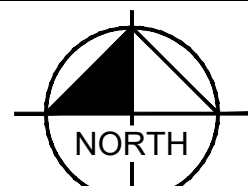
Kimley»Horn

100 WEST OAK STREET, SUITE 203
DENTON, TEXAS 76201
PHONE: 940-287-3620
CONTACT: TREY BRASWELL, P.E.
TEXAS REGISTERED ENGINEERING FIRM NO. F-928

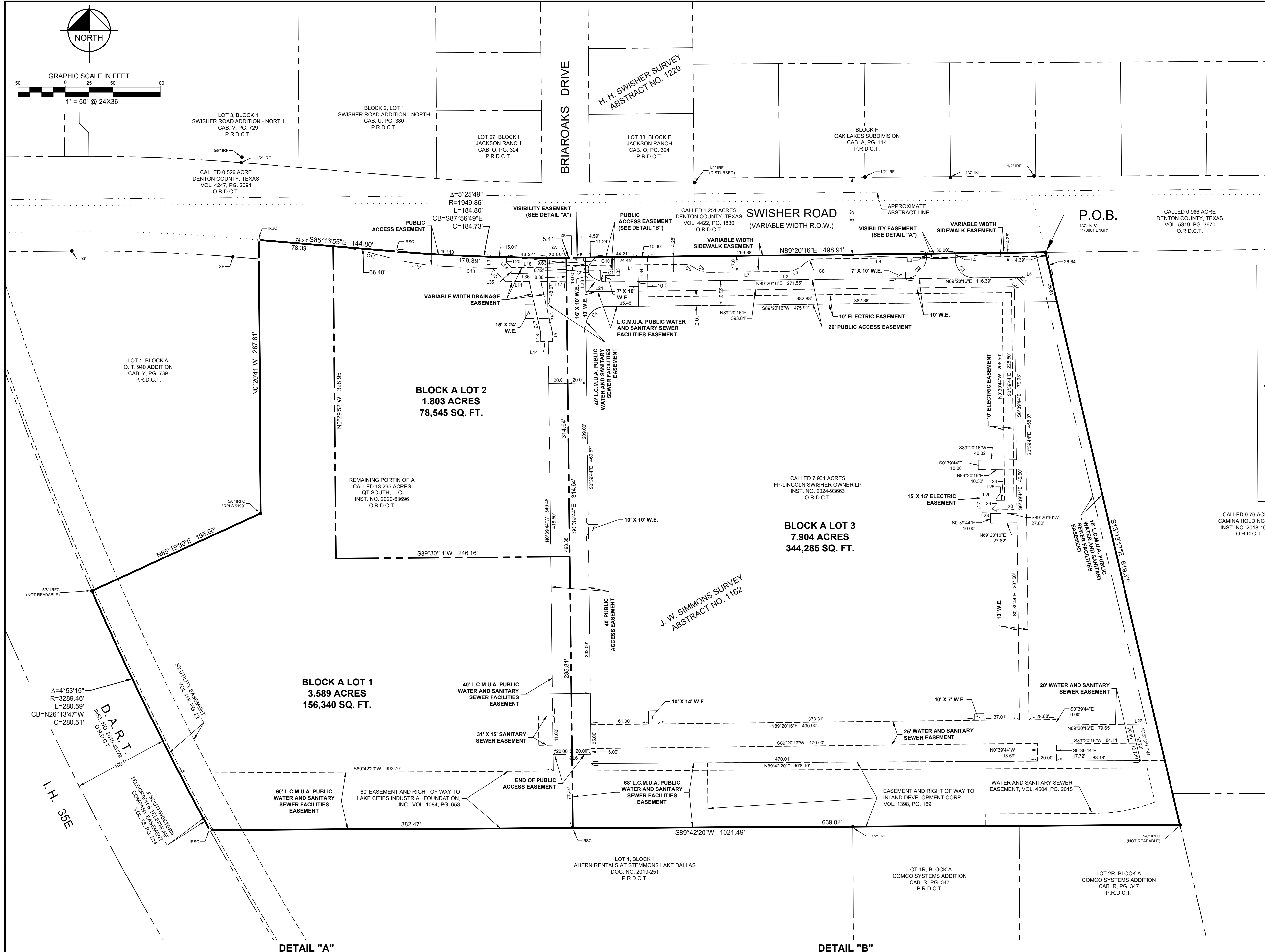
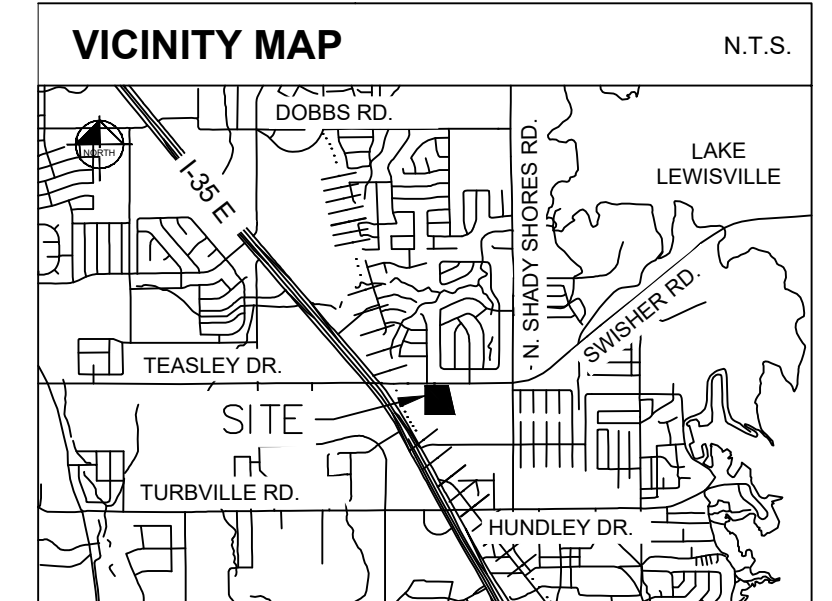
MARCH 2025



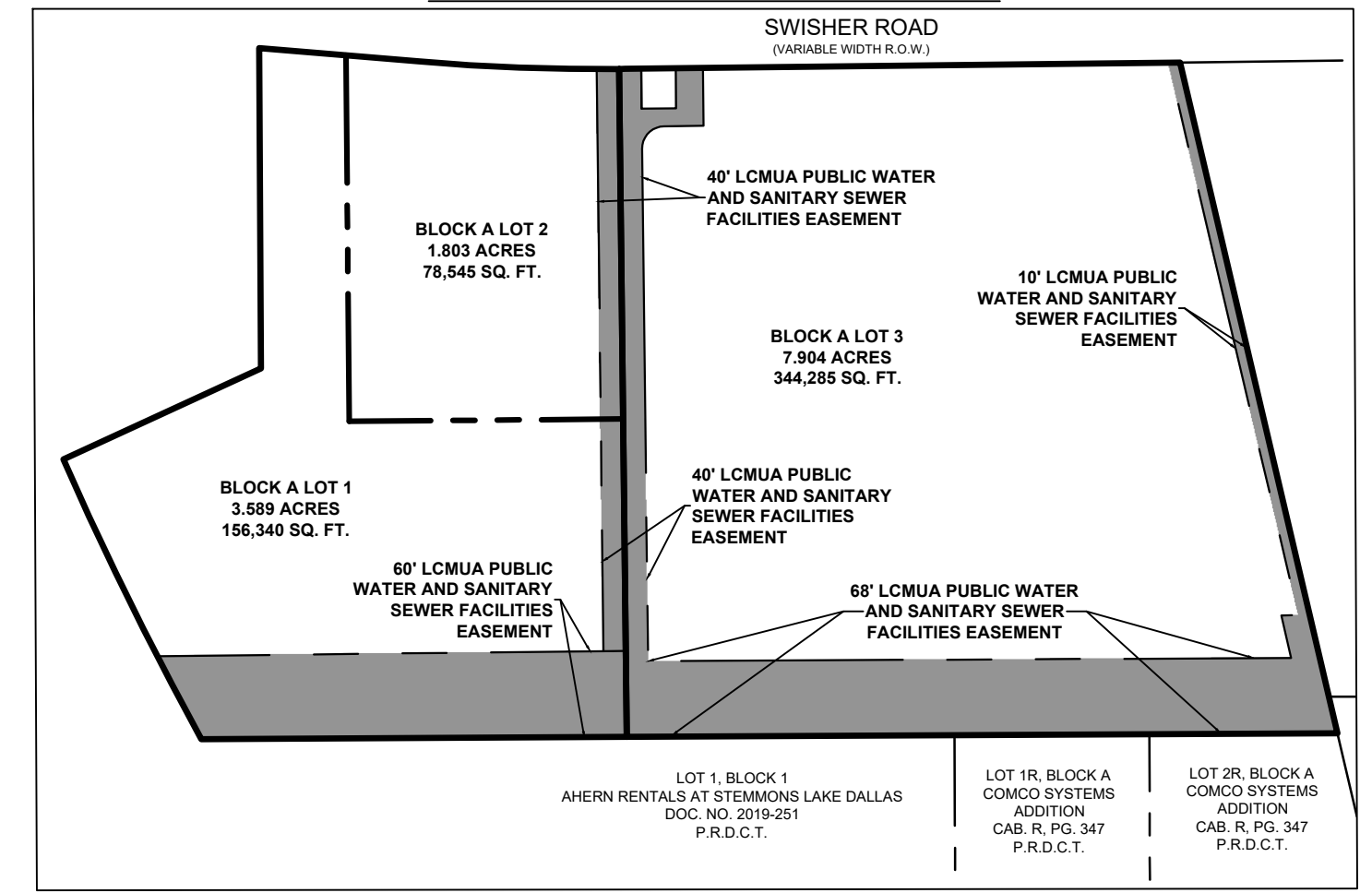
03/25/2025



LEGEND	
IRSC	5/8" IRON ROD WITH "KHA" CAP SET
IRFC	IRON ROD WITH CAP FOUND
RF	IRON ROD FOUND
ADF	ALUMINUM DISK FOUND
MON	MONUMENT FOUND
FCP	FENCE CORNER POST FOUND
P.O.B.	POINT OF BEGINNING
BL	BUILDING LINE
D.E.	DRAINAGE EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
U.E.	UTILITY EASEMENT
W.E.	WATER EASEMENT
ESMT	EASEMENT
CAB	CABINET
VOL	VOLUME
PG	PAGE
INST	INSTRUMENT
D.R.D.C.T.	DEED RECORDS, DENTON COUNTY, TEXAS
O.R.D.C.T.	OFFICIAL RECORDS, DENTON COUNTY, TEXAS
L.C.M.U.A.	LAKE CITIES MUNICIPAL UTILITY AUTHORITY



LIMITS OF L.C.M.U.A. EASEMENT



LINE TYPE LEGEND	
	BOUNDARY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	BUILDING LINE
	CENTERLINE

SEE SHEET 2 FOR NOTES, LINE AND CURVE TABLES

FINAL PLAT
SWISHER ROAD INDUSTRIAL

LOTS 1, 2 AND 3, BLOCK A

13.296 ACRES SITUATED IN THE
J. W. SIMMONS SURVEY, ABSTRACT NO. 1162
CITY OF LAKE DALLAS, DENTON COUNTY, TEXAS

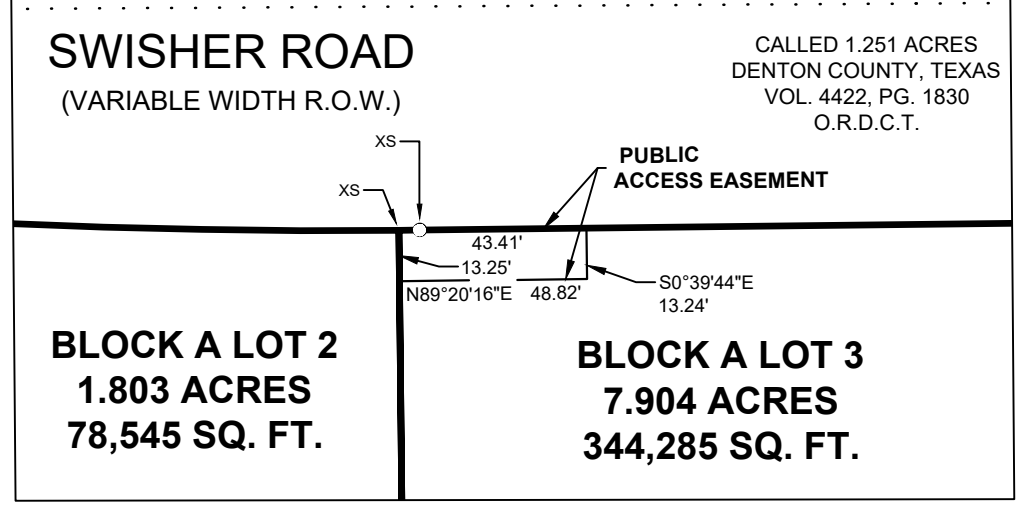
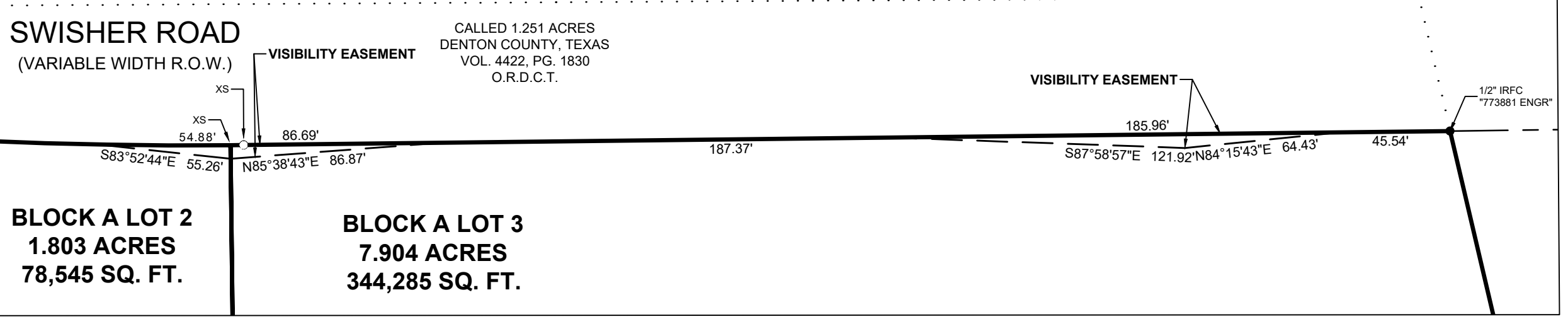
SURVYOR: **Kimley»Horn**
 6160 Warren Parkway, Suite 210 Frisco, Texas 75034 FIRM # 10193822 Tel. No. (972) 335-3580 Fax No. (972) 335-3779

Scale	Drawn by	Checked by	Date	Project No.	SHEET
1" = 50'	MBM	KHA	March 2025	063319112	1 OF 2

OWNER:
 Kimley-Horn and Associates, Inc.
 4705 S. 129th E. Avenue
 Tulsa, Oklahoma 74134
 Ph:
 Contact:

APPLICANT:
 FP-Lincoln Swisher Owner LP
 100 W. Oak Street, Suite 203
 Denton, TX 76201
 Ph: 940-536-0175
 Contact: Mack Matthe, P. E.

OWNER:
 FP-Lincoln Swisher Owner LP
 8111 Douglas Avenue, Suite 600
 Dallas, Texas 76225
 Ph:
 Contact:



BLOCK A LOT 2
 1.803 ACRES
 78,545 SQ. FT.

BLOCK A LOT 3
 7.904 ACRES
 344,285 SQ. FT.

BLOCK A LOT 2
 1.803 ACRES
 78,545 SQ. FT.

BLOCK A LOT 3
 7.904 ACRES
 344,285 SQ. FT.

DWG NAME: K:\P\F\12203 SWISHER ROAD - LAKE DALLAS\DWG\063319112 SWISHER ROAD FINAL PLATTING PLOTTED BY: LIVERGOOD, GRANT 2/20/25 2:24 PM LAST SAVED 3/20/25 2:10 PM Copyright © 2025 Kimley-Horn and Associates, Inc. All rights reserved.

OWNER'S CERTIFICATE

STATE OF TEXAS §

COUNTY OF DENTON §

WHEREAS QT SOUTH, LLC AND FP-LINCOLN SWISHER OWNER LP, are the rightful owners of a tract of land situated in the J.W. Simmons Survey, Abstract No. 1162, City of Lake Dallas, Denton County, Texas, and being a portion of a called 13.295-acre tract of land described in a deed to QT South, LLC, recorded in Instrument No. 2020-63696 and all of a called 7.904-acre tract of land described in a deed to FP-Lincoln Swisher Owner LP, recorded in Instrument No. 2024-93663, both of the Official Records of Denton County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod with plastic cap stamped "773881 ENGR" found for the northeast corner of said 7.904-acre tract, common to the northwest corner of a called 9.76-acre tract of land describe in a deed to Camina Holdings, LLC, recorded in Instrument No. 2018-109181 of the Official Records of Denton County, Texas, same being on the southerly right-of-way line of Swisher Road, a variable width right-of-way

THENCE South 13°13'17" East, departing the southerly right-of-way line of said Swisher Road, along the easterly line of said 7.904-acre tract, the westerly line of said 9.76-acre tract and the westerly line of Lot 2R, Block A of I.C.C. Addition, an Addition to the City of Lake Dallas, Denton County, Texas, according to the Replat thereof recorded in Cabinet U, Page 533, of the Plat Records of Denton County, Texas, a distance of 619.37 feet to a 5/8 inch iron rod with an illegible plastic cap found for the southeast corner of said 7.904-acre tract, common to the northeast corner of Lot 2R, Block A of Comco Systems Addition, an Addition to the City of Lake Dallas, Denton County, Texas, according to the Amending Plat thereof recorded in cabinet R, Page 347 of the Plat Records of Denton County, Texas;

THENCE South 89°42'20" West, along the southerly line of saod 7.904-acre tract and along the southerly line of aforesaid 13.295-acre tract, the northerly line of said Lot 2R, Block A (Comco Systems Addition), the northerly line of Lot 1R, Block A of said Comco Stems Addition, and along the northerly line of Lot 1, Block 1 of Ahern Rentals at Stemmons Lake Dallas, an Addition to the City of Lake Dallas, Denton County, Texas, according to the Minor Plat thereof recorded in Document No. 2019-251 of the Plat Records of Denton County, Texas a distance of 1,021.49 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" set for the southwesterly corner of said 13.295-acre tract and the northwesterly corner of said Lot 1, same being on the easterly line of a tract of land, described in a deed to Dallas Area Rapid Transit (D.A.R.T.), recorded in Instrument No. 2010-43179 of the Official Records of Denton County, Texas, and being the beginning of a non-tangent curve to the right with a radius of 3,289.46 feet, a central angle of 04°53'15", and a chord bearing and distance of North 26°13'47" West, 280.51 feet;

THENCE in a northerly direction, along the westerly line of said 13.295-acre tract and the easterly line of said D.A.R.T tract, with said non-tangent curve to the right, an arc distance of 280.59 feet to a 5/8-inch iron rod with an illegible plastic cap found for the westerly, northwest corner of said 13.295-acre tract, same being the southwest corner of Lot 1, Block A of Q. T. 940 Addition, an addition to the City of Lake Dallas, according to the Final Plat thereof recorded in Cabinet Y, Page 739 of the Plat Records of Denton County, Texas;

THENCE North 65°19'30" East, along a southerly line of said Lot 1, Block A and a northerly line of said 13.295-acre tract, a distance of 195.60 feet to a 5/8-inch iron rod with a plastic cap stamped "RPLS 5199" found for the southeast corner of said Lot 1;

THENCE North 00°20'41" West, along an easterly line of said Lot 1, Block A and a westerly line of said 13.295-acre tract, a distance of 287.81 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" set for the northerly, northwest corner of said 13.295-acre tract, same being on the southerly right of way line of aforesaid Swisher Road;

THENCE South 85°13'55" East, along the northerly line of said 13.295-acre tract and the southerly right of way line of said Swisher Road, a distance of 144.80 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA" set for the beginning of a tangent curve to the left with a radius of 1,949.86 feet, a central angle of 05°25'49", and a chord bearing and distance of South 87°56'50" East, 184.73 feet;

THENCE in an easterly direction, continuing along the northerly line of said 13.295-acre tract, the northerly line of aforesaid 7.904-acre tract, and the southerly right of way line of said Swisher Road, with said tangent curve to the left, an arc distance of 184.80 feet to an "X" cut set for corner;

THENCE North 89°20'16" East, continuing along the northerly line of said 7.904-acre tract, and the southerly right of way line of said Swisher Road a distance of 498.91 feet to a point for corner; to the POINT OF BEGINNING and containing 13.296 acres (579,170 square feet) of land, more or less.

NOTES

- The purpose of this plat is to create 2 lots from unplatted land and dedicate easements.
All recording information shown heron are referenced to the Deed, Plat, or Official Records of Denton County, Texas unless otherwise noted.
All bearings shown are based on grid north of the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983. All dimensions shown are ground distances. To obtain a grid distance, multiply the ground distance by the Project Combined Factor (PCF) of 0.99984939269.
All corners are 5/8" iron rods set with a plastic cap stamped "KHA" unless otherwise noted.
NOTICE: Selling a portion of this addition by metes and bounds is a violation of City ordinance and state law and is subject to fines and withholding of utilities and building permits.
FLOOD STATEMENT: According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 48121C0393H, for Denton County, Texas and incorporated areas, dated June 19, 2020, this property is located within Zone X (unshaded) defined as "Areas determined to be outside the 0.2% annual chance floodplain". If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
Any franchised public utility, including the City of Lake Dallas shall have the right to move and keep moved all or part of any building, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on any of the easements shown on the plat. Any franchised public utility, including the City of Lake Dallas shall have the right at all times in ingress and egress to and from and upon such easements for the purpose of construction, reconstruction, inspection, patrol, maintaining, and adding or removing all or part of its respective systems without the necessity at any time of procuring the permission of anyone.

OWNER'S DEDICATION

STATE OF TEXAS §

COUNTY OF DENTON §

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, QT SOUTH, LLC AND FP-LINCOLN SWISHER OWNER LP, does hereby adopt this plat designating the herein described property as SWISHER ROAD INDUSTRIAL, an addition to the City of Lake Dallas, Denton County, Texas, and does hereby dedicate to the public use forever the streets, alleys, parks, watercourses, drains, easement and public places shown thereon for the purpose and consideration therein expressed.

WITNESS MY HAND, this _____ day of _____, 2024.

BY: QT SOUTH, LLC, a Texas limited liability company

By: QTR Corporation, its Managing Member

By: _____ Signature

By: _____ Title

STATE OF _____ §

COUNTY OF _____ §

BEFORE ME, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purpose and consideration therein expressed, in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the _____ day of _____, 2024.

Notary Public, State of _____

BY: FP-LINCOLN SWISHER OWNER LP, a Delaware limited partnership

By: FP-Lincoln Swisher GP LLC, its General Partner

By: _____ Signature

By: _____ Title

STATE OF TEXAS §

COUNTY OF _____ §

BEFORE ME, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purpose and consideration therein expressed, in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the _____ day of _____, 2024.

Notary Public, State of Texas

SURVEYOR'S CERTIFICATION

KNOW ALL MEN BY THESE PRESENTS:

That I, Michael B. Marx, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision regulations of the City of Lake Dallas, Texas.

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

Michael B. Marx Registered Professional Land Surveyor No. 5181 Kimley-Horn and Associates, Inc. 6160 Warren Pkwy., Suite 210 Frisco, Texas 75034 Phone 972-335-3580

STATE OF TEXAS §

COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Michael B. Marx, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ day of _____, 2024.

Notary Public, State of Texas

CERTIFICATE OF APPROVAL

CITY OF LAKE DALLAS

Approved by City Official:

City Official

Attested by City Secretary

Date of Approval

The Lake Cities Municipal Utility Authority (LCMUA), shall have the right to, at all times and without the permission of the property owner, and/or HOA, access, patrol, inspect, operate, maintain, repair or replace all public water and sanitary sewer facilities, located within easements and/or HOA lots shown on this plat. Maintenance of said easements or HOA lots shall be the responsibility of the lot owner/HOA, and LCMUA shall not be responsible for the repair or replacement of any improvements (landscaping, irrigation, drainage facilities, signage, lighting, etc.) located within the easements or HOA lots shown on this plat. On the _____ day of _____, 20____, all permanent Lake Cities Municipal Utility Authority (LCMUA) easements dedicated per this plat were approved and accepted by

Signed: _____ Mike Fairfield General Manager LCMUA

FINAL PLAT SWISHER ROAD INDUSTRIAL

LOTS 1, 2 AND 3, BLOCK A

13.296 ACRES SITUATED IN THE J. W. SIMMONS SURVEY, ABSTRACT NO. 1162 CITY OF LAKE DALLAS, DENTON COUNTY, TEXAS

Table with 4 columns: LINE TABLE, BEARING, LENGTH, NO., BEARING, LENGTH. Contains 19 rows of survey data.

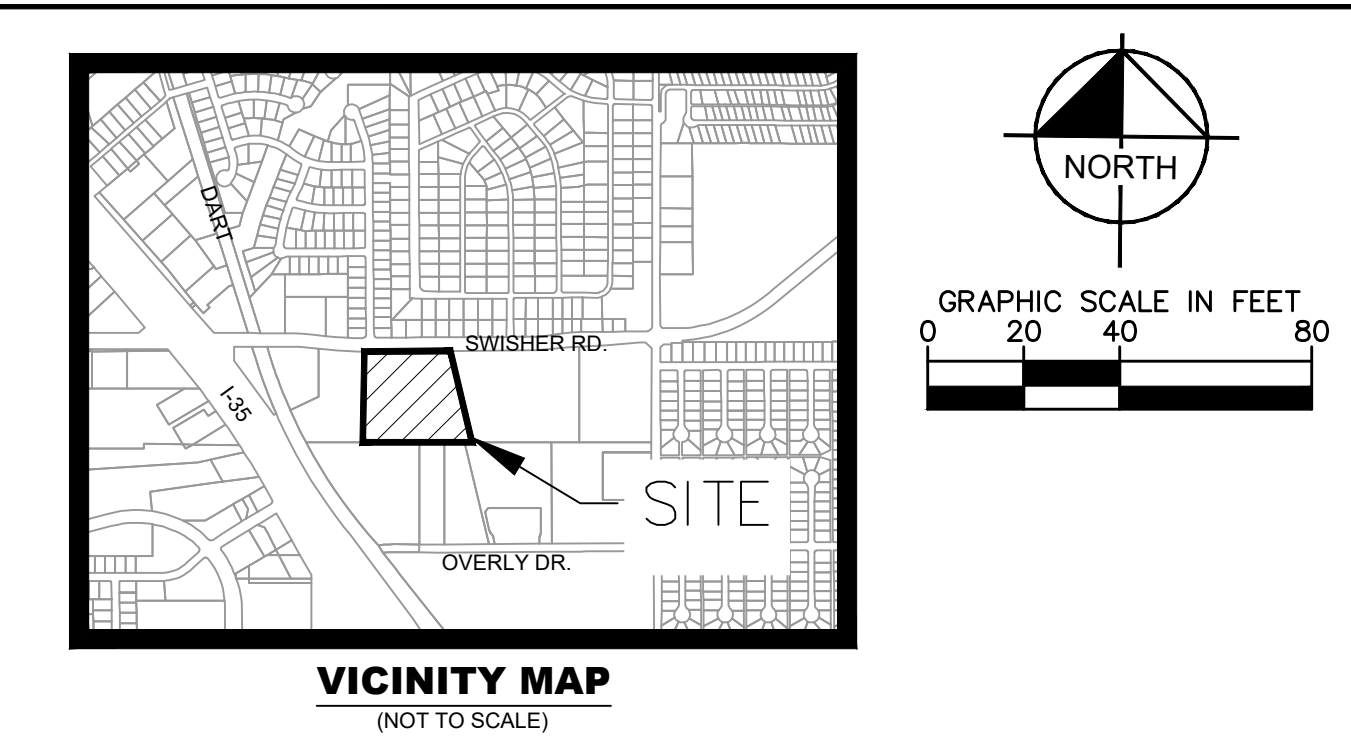
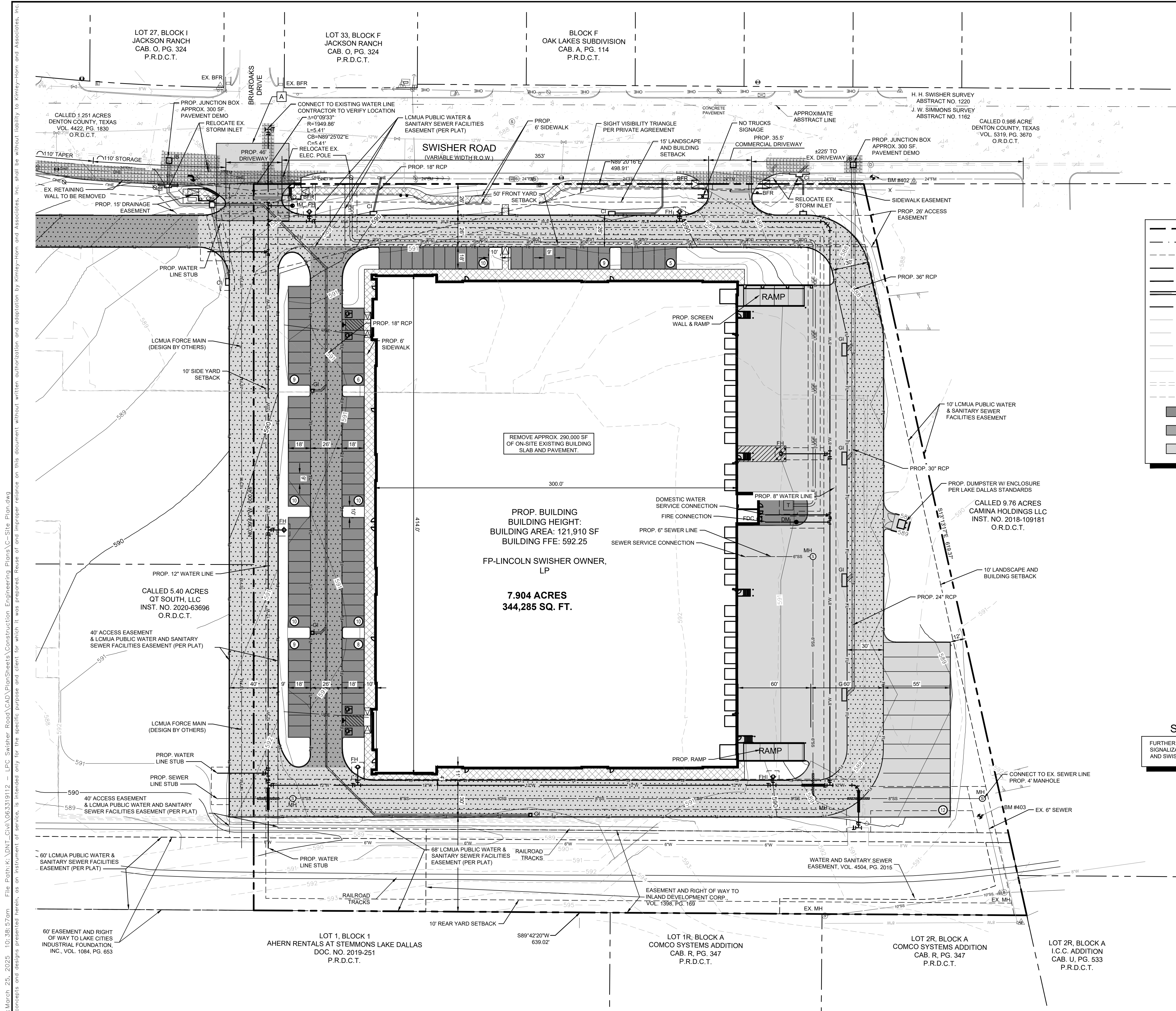
Table with 2 columns: CURVE TABLE, DELTA, RADIUS, LENGTH, CHORD BEARING, CHORD. Contains 13 rows of curve data.

Kimley >>> Horn logo and contact information: 6160 Warren Parkway, Suite 210 Frisco, Texas 75034. Tel. No. (972) 335-3580, Fax No. (972) 335-3779.

Project details: Scale N/A, Drawn by MBM, Checked by KHA, Date March 2025, Project No. 063319112, SHEET 2 OF 2.

APPLICANT: Kimley-Horn and Associates, Inc. 100 W. Oak Street, Suite 203 Denton, TX 76201 Ph: 940-536-0175 Contact: Mack Mattke, P. E.

OWNER: FP-Lincoln Swisher Owner LP 8111 Douglas Avenue, Suite 600 Dallas, Texas 76225 Ph: Contact:



LEGEND

---	PROPERTY LINE	⊕	PROPOSED FIRE HYDRANT (FH)
---	SETBACK LINE	⊕	EXISTING FIRE HYDRANT (FH)
---	PROPOSED EASEMENT	⊕	PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
---	PROPOSED SANITARY SEWER LINE	⊕	PROPOSED WATER METER
---	PROPOSED WATER LINE	⊕	PROPOSED SEWER MANHOLE
---	PROPOSED STORM SEWER LINE	⊕	PROPOSED CLEAN-OUT
---	PROPOSED FIRE LANE	⊕	LIGHT POLE
---	EXISTING OVERHEAD POWER LINE	⊕	POWER POLE
---	EXISTING CABLE LINE	⊕	PROPOSED STORM SEWER MANHOLE
---	EXISTING GAS LINE	⊕	PROPOSED STORM GRATE INLET
---	EXISTING WATER LINE	⊕	EXISTING SEWER MANHOLE
---	EXISTING SANITARY SEWER LINE	⊕	EXISTING SANITARY SEWER LINE
---	EXISTING STORM LINE	⊕	LANDSCAPE AREA
---	EXISTING EASEMENT	⊕	BARRIER FREE RAMP (BFR)
■	PROP. LIGHT DUTY PVMT.		
■	PROP. MEDIUM DUTY PVMT.		
■	PROP. HEAVY DUTY PVMT.		

SITE DATA SUMMARY TABLE

GENERAL DATA	
CURRENT ZONING	C-2
PROP. ZONING	PD (M-1)
BUILDING FOOTPRINT AREA	121,910 SF
TOTAL BUILDING AREA	121,910 SF
BUILDING HEIGHT	43' 0"
PARKING	
PARKING RATIO	1 : 2,000 SF
REQUIRED PARKING	61 STALLS
PROVIDED PARKING	99 STALLS
ADA PARKING REQUIRED	4 STALLS
ADA PARKING PROVIDED	4 STALLS
TRAILER PARKING	12 STALLS
LANDSCAPE AREA	
REQUIRED LANDSCAPE AREA	REFER TO LA PLAN
PROVIDED LANDSCAPE AREA	REFER TO LA PLAN
IMPERVIOUS AREA	
BUILDING FOOTPRINT	121,910 SF
AREA OF SIDEWALKS, PAVEMENT & OTHER	133,632 SF
TOTAL IMPERVIOUS AREA	255,542 SF

SIGNALIZATION

FURTHER STUDY IS REQUIRED TO DETERMINE SIGNALIZATION WARRANT FOR BRIARROAKS AND SWISHER ROAD INTERSECTION.

DESIGN VARIANCES:

THE FOLLOWING VARIANCES ARE REQUESTED FOR THE SITE PLAN:

A. TO ALLOW FOR A LARGER DRIVEWAY WIDTH THAN THE MAXIMUM WIDTH OF 40'

TRIP GENERATION TABLE

Land Uses	Amount	Units	ITE Code	Daily One-Way Trips	AM Peak Hour One-Way Trips			PM Peak Hour One-Way Trips		
					IN	OUT	TOTAL	IN	OUT	TOTAL
Warehousing	255,553	SF	150	442	42	12	54	16	41	57

DEVELOPMENT PLAN - SITE PLAN

QT SOUTH, LLC
 INST. NO. 2020-63696
 PROJ. NO. Z-2023-02

7.90 ACRES SITUATED IN
 CITY OF LAKE DALLAS, DENTON COUNTY, TEXAS

DEVELOPER:
 LINCOLN PROPERTY COMPANY
 2000 MCKINNEY AVENUE
 SUITE 1100
 DALLAS, TX 75201
 PH: (214) 740-3300
 CONTACT: TREV BRASWELL, P.E.

CIVIL ENGINEER:
Kimley»Horn
 100 W OAK STREET, SUITE 203
 DENTON, TX 76201
 CONTACT: TREV BRASWELL, P.E.
 PHONE: (840) 287-3620
 EMAIL: TREV.BRASWELL@KIMLEY-HORN.COM

DATE OF PREPARATION: 12/29/2023

Kimley»Horn

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 100 WEST OAK STREET, SUITE 203, DENTON, TEXAS 76201
 PHONE: 840-287-3620 FAX: 940-287-3620
 WWW.KIMLEY-HORN.COM

TEXAS REGISTERED ENGINEERING FIRM NO. F-928

SWISHER ROAD INDUSTRIAL

PREPARED FOR
 LINCOLN PROPERTY COMPANY

LAKE DALLAS

SITE PLAN

SHEET NUMBER
1 OF 1

NO.	REVISIONS	DATE	BY

Plotted By:Moody, Aaron Date:March 25, 2025 10:39:07am File Path:K:\DNT_Civil\063319112 - LFC Swisher Road\CAD\PlanSheets\Construction_Engineering_Plan\0 - Grr-Notetaking this document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

KHA GENERAL CONSTRUCTION NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR THE CITY OF LAKE DALLAS STANDARDS (LATEST EDITION), AND ANY SPECIAL PROVISIONS ADOPTED BY THE CITY OF LAKE DALLAS. THE SUBDIVISION RULES AND REGULATIONS OF THE CITY OF LAKE DALLAS (LATEST EDITION), THE PROJECT SPECIFICATION BOOK, AND THESE CONSTRUCTION PLANS. THE CITY OF LAKE DALLAS SPECIFICATIONS SHALL GOVERN WHERE OTHER SPECIFICATIONS DO NOT EXIST. IN CASE OF CONFLICTING SPECIFICATIONS OR DETAILS, THE OWNER AND ENGINEER SHALL BE CONTACTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO DETERMINE EXISTING CONDITIONS.
- ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE CITY. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE WHICH ARE ACCURATE. THE LOCATIONS SHOWN ARE FOR BIDDING PURPOSES ONLY. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL REQUIRED CONSTRUCTION PERMITS AND BONDS PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CITY, ARCHITECT AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE CITY AND NOTIFICATION TO THE ARCHITECT AND THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE CITY, ENGINEER, AND OWNER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES, JURISDICTIONAL AGENCIES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
- CONTRACTOR SHALL VERIFY BENCHMARKS AND DATUMS PRIOR TO COMMENCING CONSTRUCTION OR STAKING OF IMPROVEMENTS.
- CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, MEP, ARCHITECTURAL, AND OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. OWNER/ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO COMMENCING WITH CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ADJUSTMENTS, RELOCATIONS AND INSTALLATIONS OF FRANCHISE UTILITIES AS NECESSARY FOR ON-SITE AND OFF-SITE CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION FIELD STAKING, TESTING, AND CERTIFICATION UNLESS SPECIFIED OTHERWISE BY THE OWNER.
- UNLESS NOTED OTHERWISE, CONTRACTOR SHALL REPLACE ANY FENCING, CURBING, ETC. THAT IS DESTROYED DUE TO THE CONSTRUCTION ACTIVITIES.
- TRENCH SAFETY DESIGN WILL BE THE RESPONSIBILITY OF THE UTILITY CONTRACTOR. CONTRACTOR SHALL SUBMIT A TRENCH SAFETY PLAN (SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF TEXAS) TO THE CITY OF LAKE DALLAS PUBLIC WORKS DEPARTMENT FOR REVIEW PRIOR TO THE START OF ANY UTILITY CONSTRUCTION.
- ALL CONTRACTORS MUST CONFINE THEIR ACTIVITIES TO THE WORK AREA. NO ENCRoACHMENTS OUTSIDE OF THE WORK AREA WILL BE ALLOWED. ANY DAMAGE RESULTING THEREFROM SHALL BE CONTRACTOR'S SOLE RESPONSIBILITY TO REPAIR.
- LIGHT POLES AND SIGNS SHALL NOT BE PLACED IN ADA ACCESSIBLE ROUTES OR ACCESSIBLE ACCESS ROUTES.
- ALL AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY SITE CONSTRUCTION NOT INCLUDED WITH THIS SCOPE OF WORK SHALL BE REGRADED AND LANDSCAPED OR PAVED (TO WHATEVER CONDITION EXISTED BEFORE DISTURBANCE). ALL DISTURBED AREAS SHALL BE REPAIRED TO THE SAME OR BETTER CONDITION THAN BEFORE AREA WAS DISTURBED.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP).
- THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONTOURS SHOWN ON THE PLANS AND ALL FIELD CONDITIONS THAT MAY AFFECT CONSTRUCTION. SHOULD DISCREPANCIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO OBTAIN THE ENGINEER'S CLARIFICATION BEFORE COMMENCING WITH THE CONSTRUCTION.
- CONTRACTOR SHALL USE ALL NECESSARY SAFETY PRECAUTIONS TO AVOID CONTACT WITH OVERHEAD AND UNDERGROUND POWER LINES.
- THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL USE SILT FENCES (OR OTHER METHODS APPROVED BY THE ENGINEER AND CITY) AS REQUIRED TO PREVENT SILT AND OTHER DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES. CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES AND THE ESTABLISHMENT OF A STAND OF GRASS OR OTHER GROWTH TO PREVENT EROSION. CONTRACTOR IS RESPONSIBLE FOR FILING N.O.I. AND N.O.T. WITH THE TNRCC. CONTRACTOR SOLELY RESPONSIBLE FOR ALL MANDATED SWPPP RECORD KEEPING AND REPORTING. CONTRACTOR MUST SUBMIT COPIES OF N.O.I. AND N.O.T. TO CITY OF LAKE DALLAS.
- CONTRACTOR TO DISPOSE OF ALL EXCESS EXCAVATION MATERIALS AS DIRECTED BY THE OWNER.
- ALL EXCAVATION IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED. UNUSABLE EXCAVATED MATERIAL AND ALL WASTE RESULTING FROM SITE CLEARING AND GRUBBING SHALL BE TAKEN OFF SITE BY THE GRADING CONTRACTOR AT HIS EXPENSE.
- THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION FILL PER THE PROJECT GEOTECHNICAL ENGINEER'S SPECIFICATIONS. THE FILL MATERIAL TO BE USED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
- ALL REINFORCING STEEL SHALL CONFORM TO THE GEOTECHNICAL REPORT AND ASTM A-615, GRADE 60, AND SHALL BE SUPPORTED BY BAR CHAIRS.
- WATER LINES CROSSING STORM SEWER LINES AND SANITARY SEWER LINES SHALL BE IN CONFORMANCE WITH ALL TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) SPECIFICATIONS.
- THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE UTILITIES. ALL PUBLIC PIPE STRUCTURES AND FITTINGS SHALL BE INSPECTED BY THE CITY INSPECTOR PRIOR TO BEING COVERED. THE INSPECTOR MUST ALSO BE PRESENT DURING DISINFECTION AND PRESSURE TESTING OF ALL MAINS. THE CONTRACTOR'S BID PRICE SHALL INCLUDE ALL INSPECTION FEES. AS AN ALTERNATE, THE OWNER RESERVES THE RIGHT TO PAY THE INSPECTION FEES DIRECTLY TO THE CITY.
- ALL FIRE HYDRANTS, FITTINGS, VALVES, AND PIPE ENDS SHALL BE BLOCKED WITH CONCRETE PER CITY STANDARDS.
- TOP RIM ELEVATIONS OF ALL SANITARY SEWER MANHOLES SHALL BE COORDINATED WITH TOP OF PAVEMENT OR FINISHED GRADE.
- CONTRACTOR SHALL CONSTRUCT PROPOSED PAVEMENT TO MATCH EXISTING PAVEMENT WITH A SMOOTH, FLUSH CONNECTION.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, UTILITIES, AND OTHER FACILITIES TO REMAIN AND SHALL REPAIR ANY DAMAGES DUE TO HIS CONSTRUCTION ACTIVITIES AT NO COST TO THE OWNER.
- CONTRACTOR TO ADJUST ALL GATE VALVE COVERS TO MATCH PROPOSED PAVING GRADES.
- THE OPERATING NUT OF ALL GATE VALVES SHALL BE 2 FEET BELOW FINISH GRADE (MINIMUM).
- THESE PLANS, PREPARED BY KIMLEY-HORN AND ASSOCIATES, INC. DO NOT EXTEND TO OR INCLUDE DESIGNS OR SYSTEMS PERTAINING TO THE SAFETY OF THE CONTRACTOR OR ITS EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE ENGINEERS SEAL, HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEM THAT MAY NOW OR HEREAFTER BE INCORPORATED IN THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF ALL REQUIRED SAFETY PROCEDURES AND PROGRAMS.
- REFER TO SWPPP REPORT AND EROSION CONTROL PLANS FOR APPLICABLE NOTES.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
- CONTRACTOR SHALL CONTACT THE CITY BUILDING OFFICIAL TO LEARN OF ANY UNUSUAL CONSTRUCTION SEQUENCING REQUIREMENTS THE CITY MAY REQUIRE.
- ALL APPURTENANCES INSTALLED IN PAVEMENT AREAS SHALL BE ADJUSTED AS REQUIRED TO BE FLUSH WITH FINISHED PAVEMENT.
- IT IS THE CONTRACTORS RESPONSIBILITY TO INSTALL AND IMPLEMENT THE TRAFFIC CONTROL PLAN AS INCLUDED WITHIN THE CONSTRUCTION DOCUMENTS
- EXCLUDING THE TRAFFIC CONTROL PLANS, SIGNAGE RELATED TO SITE OPERATION OR SAFETY ARE NOT PART OF KIMLEY-HORN'S SCOPE AND ARE NOT INCLUDED IN THESE PLANS.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING "RECORD" PLANS TO THE ENGINEER SHOWING THE LOCATION OF WATER AND SEWER SERVICES AND ANY DEVIATIONS FROM THESE PLANS MADE DURING CONSTRUCTION.
- STORM DRAINAGE**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS, AND CITY OF LAKE DALLAS STANDARD SPECIFICATIONS
 - THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE.
 - THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF CURB INLETS AND GRATE INLETS AND ALL UTILITIES CROSSING THE STORM SEWER.
 - THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER.
 - THE INSPECTOR SHALL INSPECT ALL "PUBLIC" CONSTRUCTION. THE CONTRACTOR'S BID PRICE SHALL INCLUDE ALL INSPECTION FEES.
 - ALL PVC TO RCP CONNECTIONS AND ALL STORM PIPE CONNECTIONS ENTERING STRUCTURES OR OTHER STORM PIPES SHALL HAVE A CONCRETE COLLAR AND BE GROUTED TO ASSURE THE CONNECTION IS WATER TIGHT.
 - ALL OFFSITE STORM SEWER LINES SHALL BE MINIMUM CLASS III RCP. ONSITE STORM SEWER LINES 18" AND GREATER MAY BE CLASS III RCP. ALL STORM SEWER IS PRIVATE UNLESS OTHERWISE STATED. CONTRACTOR TO CONTACT ENGINEER WITH QUESTIONS ABOUT PIPE MATERIAL PRIOR TO ORDERING. IF USING HDPE, CONTRACTOR SHALL SUBMIT TECHNICAL DATA TO PROJECT ENGINEER AND CITY ENGINEER FOR APPROVAL PRIOR TO ORDERING MATERIAL.
 - ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO CITY OF LAKE DALLAS STANDARDS AND SPECIFICATIONS.
 - THE CONTRACTOR SHALL PROVIDE CONSTRUCTION STAKING FOR ALL STORM SEWER LINES AND OTHER UTILITIES.
 - EMBEDMENT FOR ALL ONSITE SEWER LINES, PUBLIC OR PRIVATE, SHALL BE PER CITY OF LAKE DALLAS STANDARD DETAILS.
 - REFER TO TNRCC/TCEQ DESIGN GUIDELINES (CHAPTER 290) FOR ALL UTILITY CROSSINGS.
 - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
 - THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF CONSTRUCTION.
 - THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES BETWEEN PLANS AND CONDITIONS ENCOUNTERED IN THE FIELD.
 - CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND RIM ELEVATIONS PRIOR TO CONSTRUCTION.
 - ALL PROPOSED CONTOURS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
 - TRENCH EXCAVATION FOR TRENCHES 5 FEET OR MORE IN DEPTH SHALL BE IN ACCORDANCE WITH ALL PROVISIONS OF PART 1926, SUBPART P - "EXCAVATIONS, TRENCHING AND SHORING OF THE OCCUPATIONAL SAFETY AND HEALTH'S STANDARDS AND INTERPRETATIONS". IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFORM TO THE ABOVE PROVISIONS.
 - ALL WYE CONNECTIONS AND PIPE BENDS LESS THAN 36" IN DIAMETER PS ARE TO BE PREFABRICATED AND INSTALLED PER MANUFACTURERS SPECIFICATIONS.
 - USE 4 FOOT JOINTS WITH BEVELED ENDS IF RADIUS OF STORM SEWER IS LESS THAN 100 FEET.
 - ALL STORM SEWER LINES SHALL BE MINIMUM CLASS III RCP UNLESS OTHERWISE NOTED. CONTRACTOR TO CONTACT ENGINEER WITH QUESTIONS ABOUT PIPE MATERIAL PRIOR TO ORDERING.
 - DURING THE CONSTRUCTION OF THESE IMPROVEMENTS, ANY INTERPRETATION OF THE STANDARDS AND SPECIFICATIONS FOR CITY OF LAKE DALLAS, AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER, MUST BE APPROVED BY THE DIRECTOR OF PUBLIC WORKS AND TRANSPORTATION OR HIS DESIGNEE BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES. ASSUMPTIONS ABOUT WHAT THESE DECISIONS MIGHT BE WHICH ARE MADE DURING THE BIDDING PHASE WILL HAVE NO BEARING ON THE DECISION.
 - FOR ADJUSTMENT OF LAKE DALLAS WATER UTILITIES APPURTENANCES OR TO VERIFY LOCATIONS OF EXISTING WATER AND WASTEWATER MAINS IN AREA, CALL (940) 349-7181 AT LEAST (3) THREE WORKING DAYS PRIOR TO CONSTRUCTION.
- GRADING**
- ALL CONSTRUCTION SHALL BE IN GENERAL ACCORDANCE WITH THESE PLANS, CITY OF LAKE DALLAS STANDARD SPECIFICATIONS, THE FINAL GEOTECHNICAL REPORT AND ALL ISSUED ADDENDUMS.
 - UNLESS OTHERWISE NOTED, PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN IN PAVED AREAS REFLECT TOP OF PAVEMENT SURFACE. ADD .50' TO PAVING GRADE FOR TOP OF CURB GRADE.
 - THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE.
 - SEE STRUCTURAL SPECIFICATIONS FOR BUILDING PAD DETAILS. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. CONTRACTOR SHALL CONTROL DUST BY SPRINKLING WATER, OR BY OTHER MEANS APPROVED BY THE CITY, AT NO ADDITIONAL COST TO THE OWNER.
 - ALL EXCAVATING IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED. UNUSABLE EXCAVATED MATERIAL AND ALL WASTE RESULTING FROM SITE CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF SITE BY THE GRADING CONTRACTOR AT HIS EXPENSE.
 - BEFORE ANY EARTHWORK IS PERFORMED, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF PAVEMENT AND OTHER ITEMS ESTABLISHED BY THE PLANS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY ENGINEERING AND SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.
 - THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC. THAT ARE TO REMAIN OR BE RELOCATED DURING ALL CONSTRUCTION PHASES.
 - EXISTING OFFSITE CONTOURS AS SHOWN ON THIS PLAN WERE TAKEN FROM AN AERIAL TOPOGRAPHIC SURVEY PREPARED BY OTHERS. BASED ON THE BENCHMARK SHOWN, CONTRACTOR SHALL REFERENCE SAME BENCHMARK.
 - REFERENCE STRUCTURAL DRAWINGS AND SPECIFICATIONS AND GEOTECHNICAL REPORT FOR BUILDING PAD AND PAVING SUBGRADE INFORMATION.
 - THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE PROJECT GEOTECHNICAL ENGINEER'S SPECIFICATIONS. THE FILL MATERIAL TO BE USED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
 - GRADING CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS.
 - TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN APPROVED AGENCY FOR TESTING MATERIALS. THE NOMINATION OF THE TESTING LABORATORY AND THE PAYMENTS FOR SUCH TESTING SERVICES SHALL BE MADE BY THE CONTRACTOR. THE OWNER SHALL APPROVE THE LABORATORY NOMINATED TO DO THE TESTING OF MATERIALS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SHOW BY STANDARD TESTING PROCEDURES THAT THE WORK CONSTRUCTED DOES MEET THE REQUIREMENTS OF THE CITY'S SPECIFICATIONS AND THESE PLANS.
 - CONTRACTOR SHALL CALL 1-800-DIG-TESS AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION FOR FIELD LOCATIONS OF UTILITIES IN THE VICINITY OF THE SITE.
 - PROPOSED CONTOURS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN CASE OF DISCREPANCY.
 - NO TREE SHALL BE REMOVED OR DAMAGED WITHOUT PRIOR AUTHORIZATION OF THE OWNER OR OWNER'S REPRESENTATIVE. EXISTING TREES SHALL BE PRESERVED WHENEVER POSSIBLE.
 - CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL CONTROL PRIOR TO COMMENCING CONSTRUCTION AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE CONSTRUCTION COMMENCES.
 - AFTER PLACEMENT OF SUBGRADE AND PRIOR TO PLACEMENT OF PAVEMENT, CONTRACTOR SHALL TEST AND OBSERVE PAVEMENT AREAS FOR EVIDENCE OF PONDING. ALL AREAS SHALL ADEQUATELY DRAIN TOWARDS THE INTENDED STRUCTURE TO CONVEY STORM RUNOFF. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER AND ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
- PAVING**
- ALL CONSTRUCTION SHALL BE IN GENERAL ACCORDANCE WITH THESE PLANS, CITY OF LAKE DALLAS STANDARD SPECIFICATIONS, AND THE FINAL GEOTECHNICAL REPORT.
 - THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE.
 - THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. THE

- CONTRACTOR SHALL USE SILT FENCES (OR OTHER METHODS APPROVED BY THE ENGINEER AND CITY) AS REQUIRED TO PREVENT SILT AND OTHER DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, OR LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES. CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES AND THE ESTABLISHMENT OF A STAND OF GRASS OR OTHER GROWTH TO PREVENT EROSION.
- BEFORE ANY EARTHWORK IS DONE, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF PAVEMENT AND OTHER ITEMS ESTABLISHED BY THE PLANS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.
 - THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC. THAT ARE TO REMAIN OR BE RELOCATED DURING ALL CONSTRUCTION PHASES.
 - THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE PROJECT GEOTECHNICAL ENGINEER'S SPECIFICATIONS (REFER TO ALPSA TESTING, INC. REPORT, DATED JULY 25, 2014). THE FILL MATERIAL TO BE USED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
 - TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN APPROVED AGENCY FOR TESTING MATERIALS. THE NOMINATION OF THE TESTING LABORATORY AND THE PAVEMENT OF SUCH TESTING SERVICES SHALL BE MADE BY THE CONTRACTOR. THE OWNER SHALL APPROVE THE LABORATORY NOMINATED TO DO THE TESTING OF MATERIALS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SHOW BY STANDARD TESTING PROCEDURES THAT THE WORK CONSTRUCTED DOES MEET THE REQUIREMENTS OF THE CITY'S SPECIFICATIONS AND THESE PLANS.
 - BARRIER FREE RAMPS SHALL BE CONSTRUCTED AT ALL DRIVEWAY APPROACHES PER CITY STANDARDS.
 - ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
 - CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR FIRE LINES, PARKING STALLS, HANDICAPPED PARKING SYMBOLS, AND MELLOWING STRIPES WITHIN PARKING LOT AND AROUND BUILDING AS SHOWN ON THE PLANS. ALL PAINT AND PAVEMENT MARKINGS SHALL ADHERE TO THE CITY OF LAKE DALLAS STANDARD SPECIFICATIONS.
 - REFER TO GEOTECHNICAL REPORT FOR PAVING JOINT LAYOUT PLAN REQUIREMENTS. REFER TO GEOTECHNICAL REPORT AND CITY STANDARDS FOR DETAIL REQUIREMENTS AND USE MOST STRINGENT OF THE TWO. PAVEMENT MIX DESIGNS SHALL BE SUBMITTED TO GEOTECHNICAL ENGINEER FOR APPROVAL. REFER TO GEOTECHNICAL REPORT FOR SOIL COMPACTION SPECIFICATION.
 - FIRE LINES SHALL BE DESIGNATED BY CONTINUOUS PAINTED LINES FOUR (4) INCHES IN WIDTH ON EACH SIDE OF THE FIRE LANE STARTING AT THE ENTRANCE FROM THE STREET AND TO BE CONTINUED TO THE EXIT. SUCH LINES SHALL BE BRIGHT RED IN COLOR AND LABELED PER CITY STANDARDS.
 - FIRE LINES ADJACENT TO CURBS SHALL BE OUTLINED BY A FOUR (4) INCH WIDE STRIP PAINTED BRIGHT RED IN COLOR ALONG THE CURB'S GUTTER LINE.
 - THE WORDS "FIRE LANE" AND "NO PARKING" SHALL BE STENCILED IN FOUR (4) INCH HIGH WHITE LETTERS ALTERNATELY EVERY FIFTEEN (15) FEET ALONG THE RED FIRE LANE STRIPES PER CITY DETAIL.
 - ALL HANDICAP RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT OF 1990 AND TAS STANDARDS, LATEST EDITION.
 - REFERENCE CITY OF LAKE DALLAS STANDARD CONSTRUCTION DETAILS FOR HANDICAP RAMP AND OTHER PAVING DETAILS.
 - REFERENCE LANDSCAPE AND/OR PAVING PLANS FOR LOCATION AND TYPE OF HANDICAP RAMPS TO BE PROVIDED AND FOR FLATWORK.
 - ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF LAKE DALLAS STANDARD SPECIFICATIONS.
 - CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR INSTALLING PROPOSED TRAFFIC CONTROL DEVICES AS SHOWN ON THE TRAFFIC CONTROL PLAN INCLUDED WITH THE CONSTRUCTION DOCUMENTS. THIS PLAN SHALL BE APPROVED BY CITY OF LAKE DALLAS PRIOR TO PRE-CONSTRUCTION MEETING.
 - SIDEWALKS ADJACENT TO CURB SHALL BE CONNECTED TO BACK OF CURB USING LONGITUDINAL BUTT JOINT.
 - UNLESS THE PLANS SPECIFICALLY DICTATE TO THE CONTRARY, ON-SITE AND OTHER DIRECTIONAL SIGNS SHALL BE LOCATED OUT OF THE PEDESTRIAN AND AUTOMOBILE ROUTES AND SHALL BE LOCATED BETWEEN THREE TO FIVE FEET BEHIND THE NEAREST BACK OF CURB. SIGN HEIGHT, LOCATION, AND STRUCTURE SHALL BE SUCH THAT THE SIGNS POSE NO THREAT TO PUBLIC SAFETY.
 - UNLESS THE PLANS SPECIFICALLY DICTATE TO THE CONTRARY, ON-SITE AND OTHER DIRECTIONAL SIGNS SHALL BE ORIENTED SO THEY ARE READ BY TRAVELING TRAFFIC FROM WITHIN THE RIGHT OF WAY. FIELD ADJUSTMENTS OF LOCATION AND ORIENTATION OF THE SIGNS ARE TO BE MADE TO ACCOMPLISH THIS.
 - CONTRACTOR RESPONSIBLE FOR INSTALLING NECESSARY CONDUIT FOR LIGHTING, IRRIGATION, ETC. PRIOR TO PLACEMENT OF PAVEMENT. ALL CONSTRUCTION DOCUMENTS (CIVIL, MEP, LANDSCAPE, AND ARCHITECT) SHALL BE CONSULTED.
 - BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE HANDICAPPED ROUTES (PER A.D.A. & T.A.S.) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS AND ACCESSIBLE ROUTES. IN NO CASE SHALL HANDICAP RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5.0 PERCENT. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A. AND T.A.S. COMPLIANCE ISSUES.
 - ALL CONSTRUCTION STAGING AREAS TO BE LOCATED ON-SITE (WITHIN PROJECT LIMITS).
 - ALL JOINTS SHALL EXTEND THROUGH THE CURB.
 - THE MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS SHALL BE 2 FEET.
 - A SLUMP-PAVING PLACEMENT METHOD SHALL BE USED FOR ALL CONCRETE STREET PAVING, WITH THE EXCEPTION OF IRREGULAR AREAS, OR AS APPROVED BY THE CITY ENGINEER. MACHINE POURED PAVING (CLASS P1 CONCRETE) SHALL HAVE A SLUMP RANGE FROM 1.5 TO 3 INCHES AND HAND POURED PAVING (CLASS P2 AND HES CONCRETE) SHALL HAVE A SLUMP RANGE FROM 3 TO 4 INCHES. FOR FIBER REINFORCED CONCRETE, SLUMP SHALL BE PERFORMED PRIOR TO ADDITION OF FIBERS. CLASS P CONCRETE, WITH AIR ENTRAINING ADMIXTURE, SHALL BE PROVIDED. CLASS P1 SHALL BE USED FOR MACHINE PAVED AREAS AND ALLEYS UNLESS OTHERWISE SPECIFIED IN THE DRAWINGS OR DIRECTED BY CITY. CLASS P2 CONCRETE SHALL BE PROVIDED FOR HAND POURED CONCRETE ROADWAYS, DRIVEWAYS, ALLEYS AND ALL OTHER HAND POURED, VEHICULAR TRAFFICATED CONCRETE PAVEMENT UNLESS OTHERWISE SPECIFIED IN THE DRAWINGS. (CITY SPECS)
 - THE CONCRETE MIX DESIGN SUBMITTAL SHALL CERTIFY THAT THE MATERIALS FOR THE DESIGN MIX MEET SECTION 03 00 00 1.6 OF THE CITY OF DENTON 2022 SPECIFICATIONS. THE CONCRETE MIX DESIGN SHALL INCLUDE THE FOLLOWING INFORMATION:
 - CONCRETE MATERIAL SOURCE INFORMATION:
 - CONCRETE SUPPLIER NAME
 - PROJECT NAME AND ADDRESS
 - CONTRACTOR NAME
 - MIXTURE IDENTIFICATION NUMBER
 - DESIGN REQUIREMENTS AND DESIGN SUMMARY INCLUDING:
 - THE COMBINED AGGREGATE GRADATION, SOURCE, AND MATERIAL TESTING RESULTS IN ACCORDANCE WITH SECTION 32 05 16 (CITY OF DENTON SPECIFICATIONS)
 - MAXIMUM SLUMP
 - CONCRETE INTENDED USE (SIDEWALK, ROADWAY, ETC) AND CLASS DESIGNATION
 - DESIGN WATER TO CEMENT (W/C) RATIO
 - DESIGN TARGET STRENGTH
 - 7-DAY AND 28-DAY COMPRESSIVE STRENGTHS IN ACCORDANCE WITH ACI 301 AND 318
 - BATCH WEIGHTS, SPECIFIC GRAVITY, AND TYPE/CLASS INFORMATION FOR:
 - CEMENT
 - SUPPLEMENTARY CEMENTING MATERIALS (IF USED)
 - COARSE AGGREGATE
 - FINE AGGREGATE
 - WATER
 - CHEMICAL ADMIXTURES - TYPE AND AMOUNT USED
 - PRODUCT DATA FOR ALL CHEMICAL ADMIXTURES, CEMENT, AND FLY ASH USED
 - STATEMENT FROM THE CONCRETE SUPPLIER VERIFYING CONCRETE HAS BEEN TESTED AND HANDLED IN ACCORDANCE WITH ASTM C94

- EXITS TO BE REPAIRED OR REPLACED. HEAVY MUD BUILD UP SHOULD BE COVERED WITH ADDITIONAL ROCK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS, DOCUMENTATION, AND SUBMITTAL OF N.O.I., N.O.T. AND ANY ADDITIONAL INFORMATION REQUIRED BY THE E.P.A. AND T.C.E.Q. CONTRACTOR SHALL COMPLY WITH ALL E.P.A. AND T.C.E.Q. STORM WATER POLLUTION PREVENTION REQUIREMENTS. CONTRACTOR MUST SUBMIT COPIES OF N.O.I. AND N.O.T. TO CITY OF LAKE DALLAS.
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR SELECTION, IMPLEMENTATION, MAINTENANCE, AND EFFECTIVENESS OF ALL BEST MANAGEMENT PRACTICES (BMPs) AND FOR UPDATING THE PLAN DURING CONSTRUCTION AS FIELD CONDITIONS CHANGE. EROSION CONTROLS SHOWN ON THIS SITE MAP ARE SUGGESTED CONTROLS ONLY. CONTRACTOR IS RESPONSIBLE FOR UPDATING THE EROSION CONTROL PLAN AND STORM WATER POLLUTION PREVENTION PLAN (SWPP) AS NECESSARY.
 - CONTRACTOR SHALL RECORD INSTALLATION, MAINTENANCE OR MODIFICATION, AND REMOVAL DATES FOR EACH BMP EMPLOYED (WHETHER CALLED OUT IN THE SWPP OR NOT).
 - EROSION CONTROL MEASURES MAY ONLY BE PLACED IN FRONT OF INLETS, OR IN CHANNELS, DRAINAGEWAYS OR BORROW DITCHES AT RISK OF CONTRACTOR AND IN COMPLIANCE WITH SECTIONS 401 AND 404 OF THE CLEAN WATER ACT. CONTRACTOR SHALL REMAIN LIABLE FOR ANY DAMAGE CAUSED BY THE MEASURES, INCLUDING FLOODING DAMAGE, WHICH MAY OCCUR DUE TO BLOCKED DRAINAGE. AT THE CONCLUSION OF ANY PROJECT, ALL CHANNELS, DRAINAGEWAYS AND BORROW DITCHES IN THE WORK ZONE SHALL BE DREGGED OF ANY SEDIMENT GENERATED BY THE PROJECT OR DEPOSITED AS A RESULT OF EROSION CONTROL MEASURES.
 - CONTRACTOR IS RESPONSIBLE FOR MODIFYING THE SWPP3 AND EROSION CONTROL PLAN TO INCLUDE BMPs FOR ANY OFF-SITE MATERIAL WASTE, BORROW, OR EQUIPMENT STORAGE AREAS.
 - CONTRACTOR SHALL INSPECT DISTURBED AREAS, MATERIAL STORAGE AREAS EXPOSED TO PRECIPITATION, STRUCTURAL CONTROL MEASURES, AND VEHICLE ENTRY AND EXIT AREAS AT LEAST EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT OF 0.5 INCHES OR GREATER OR ONCE EVERY 7 DAYS ON THE SAME DAY OF THE WEEK EACH WEEK, REGARDLESS IF THERE HAS BEEN A RAINFALL EVENT. THE SWPP3 MUST REFLECT THE SCHEDULE IN USE.

STORM WATER DISCHARGE AUTHORIZATION

- THE CONTRACTOR IS RESPONSIBLE TO ENSURE:
- PRIMARY OPERATORS MUST SUBMIT A NOI TO TCEQ AT LEAST SEVEN DAYS PRIOR TO COMMENCING CONSTRUCTION, OR IF UTILIZING ELECTRONIC SUBMITTAL, PRIOR TO COMMENCING CONSTRUCTION. ALL PRIMARY OPERATORS SHALL PROVIDE A COPY OF THE SIGNED NOI TO THE OPERATOR OF ANY MS4 RECEIVING DISCHARGE FROM THE SITE.
 - ALL CONTRACTORS AND SUBCONTRACTORS PROVIDING SERVICES RELATED TO THE SWPPP SHALL SIGN A CONTRACTOR CERTIFICATION STATEMENT ACKNOWLEDGING THEIR RESPONSIBILITIES AS SPECIFIED IN THE SWPPP.
 - A COPY OF THE SWPPP, INCLUDING CONTRACTOR CERTIFICATIONS AND ANY REVISIONS, SHALL BE SUBMITTED TO THE CITY OF LAKE DALLAS BY THE CONTRACTOR AND FILED WITH THE CONSTRUCTION PLANS, AND SHALL BE RETAINED ON-SITE DURING CONSTRUCTION.
 - A NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO TCEQ BY ANY PRIMARY OPERATOR WITHIN 30 DAYS AFTER ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND A UNIFORM VEGETATIVE COVER OF THE DENSITY OF 70% HAS BEEN ESTABLISHED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY STRUCTURES. A TRANSFER OF OPERATIONAL CONTROL HAS OCCURRED, OR THE OPERATOR HAS OBTAINED ALTERNATIVE AUTHORIZATION UNDER A DIFFERENT PERMIT. A COPY OF THE NOT SHALL BE PROVIDED TO THE OPERATOR OF ANY MS4 RECEIVING DISCHARGE FROM THE SITE.

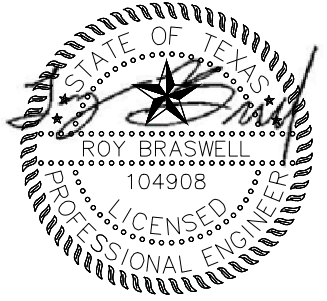
MATERIAL NOTES

- ALL MATERIALS FURNISHED AND INSTALLED SHALL EITHER 1) BE AMONGST THOSE LISTED ON CITY PROJECT MATERIAL SUBMITTAL CHECKLIST (IN WHICH CASE, APPLICANT NEED NOT PROVIDE MATERIAL SUBMITTALS); OR 2) BE OR-EQUAL MATERIALS CONFORMING TO TO THE SPECIFICATIONS ON THAT CHECKLIST (IN WHICH CASE APPLICANT SHALL PROVIDE CORRESPONDING MATERIAL SUBMITTALS TO PUBLIC WORKS INSPECTIONS DEPARTMENT OF CITY REVIEW AND APPROVAL PRIOR TO CONSTRUCTION).

THESE PLANS AND GENERAL NOTES REFER TO:
GEOTECHNICAL ENGINEERING REPORT
RONE ENGINEERING SERVICES, LTD.
PROJECT NO. 23-2757
AUGUST 15, 2023
INCLUDING ALL REVISIONS AND ADDENDA TO THIS REPORT THAT MAY HAVE BEEN RELEASED AFTER THE NOTED DATE.

DATE		REVISIONS	No.	DATE
03/25/2025				
PROJECT NO.		063319112		
SHEET NUMBER		C-0.1		

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TEXAS REGISTERED ENGINEERING FIRM NO. F-928



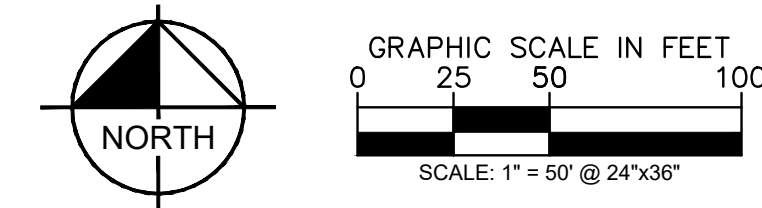
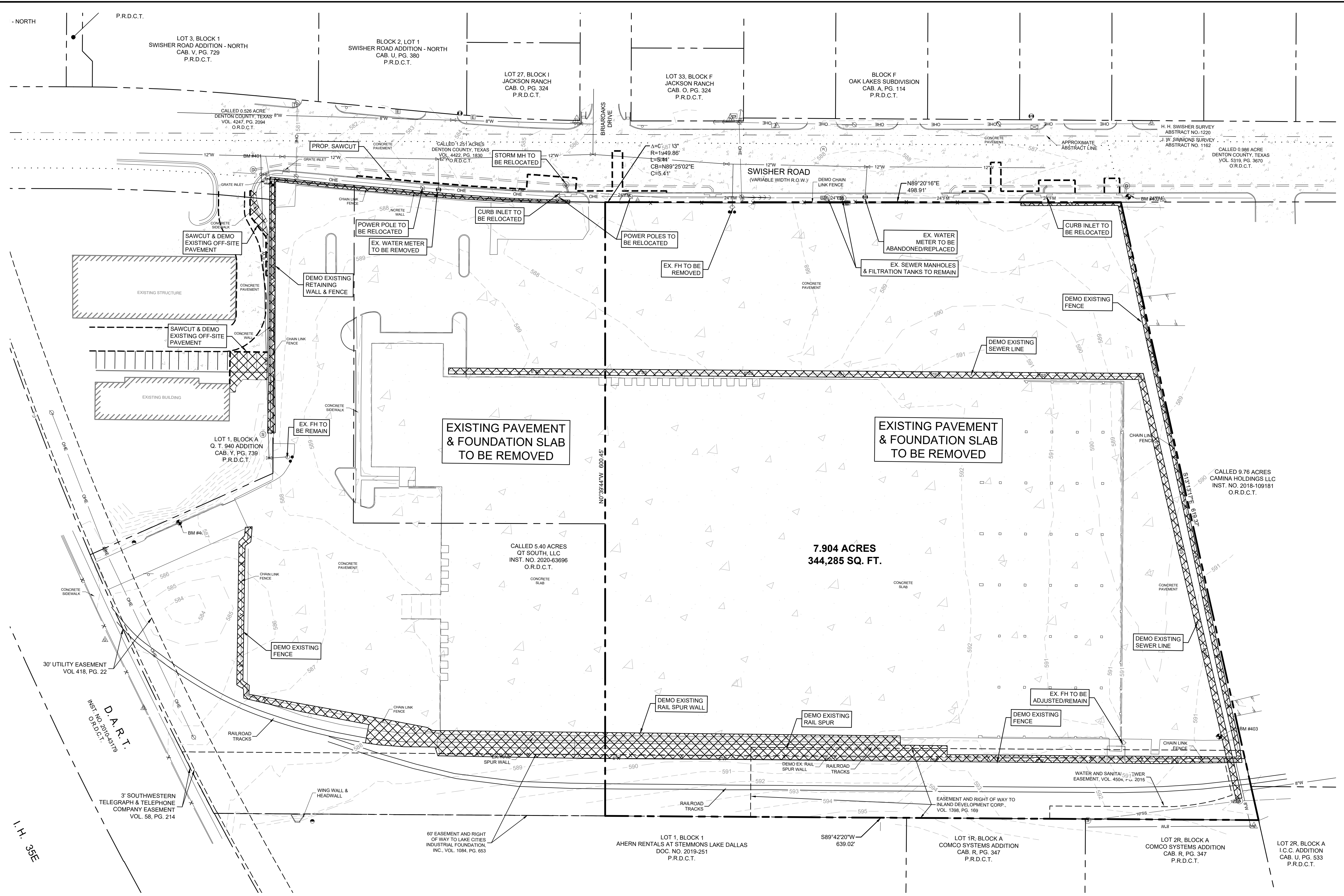
03/25/2025

SCALE	AS SHOWN	DESIGNED BY	ALM
		DRAWN BY	ALM
		CHECKED BY	TBB

GENERAL NOTES

SWISHER ROAD INDUSTRIAL
PREPARED FOR
LINCOLN PROPERTY COMPANY
LAKE DALLAS, TEXAS

Plotted By: Moody, Aaron Date: March 25, 2025 10:38:21am File Path: \\D:\NT_Civil\063319112 - LFC Swisher Road\CAD\PlanSheets\Construction Engineering Plans\C-Demo.dwg
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DEMOLITION LEGEND

	EXISTING PAVEMENT, BUILDING, AND APPURTENANCES TO BE REMOVED
	EXISTING CURB TO BE REMOVED
	PROPOSED FULL DEPTH SAWCUT
	PROPOSED TREE PROTECTION
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO REMAIN

EXISTING SITE FEATURES

	SIGN		AIR RELEASE VALVE
	MARQUEE/BILLBOARD		WATER WELL
	A/C UNIT		CONTROLLING MONUMENT
	BASKET BALL GOAL		5/8" IRON ROD W/ "KHA" CAP SET
	BORE LOCATION		IRON ROD WITH CAP FOUND
	FLAG POLE		PK NAIL SET
	GOAL POST		PK NAIL FOUND
	GREASE TRAP		IRON ROD FOUND
	IRRIGATION VALVE		"X" CUT IN CONCRETE SET
	MAIL BOX		"X" CUT IN CONCRETE FOUND
	NEWS STAND		POINT OF BEGINNING
	PHONE BOOTH		POINT OF COMMENCING
	BOX OR PEDESTAL		COMMUNICATIONS
	HANDHOLE		ELECTRIC OR POWER
	MANHOLE		FIBER OPTIC
	MARKER SIGN		NATURAL GAS
	METER		PETROLEUM OR PIPELINE
	MARKER PINFLAG		RAILROAD
	POLE		SAN. SEWER OR WASTEWATER
	STORAGE TANK		STORM SEWER
	VALVE (EXCEPT WATER)		TELEPHONE
	VAULT		TRAFFIC
	WELL		UNIDENTIFIED
	CABLE TV		WATER
	WATER VALVE		SECURITY CAMERA
	ROOF DRAIN		SANITARY SEWER BOX
	ELEVATION BENCHMARK		SANITARY SEWER CLEAN OUT
	FLOW DIRECTION		SANITARY SEWER LIFT STATION
	MONITORING WELL		STORM SEWER DRAIN
	FUEL TANK		TRAFFIC BARRIER
	FLOOD LIGHT		TRAFFIC BOLLARD
	GUY ANCHOR		TRAFFIC CAMERA
	GUY ANCHOR POLE		TRAFFIC SENSOR
	UTILITY POLE		TRAFFIC SIGNAL
	ELECTRIC SWITCH		TRASH BIN
	ELECTRIC TRANSFORMER		TREE
	HANDICAPPED PARKING		WATER BOX
	PARKING METER		FIRE DEPARTMENT CONNECTION
	RAILROAD SIGNAL		FIRE HYDRANT
	RAILROAD SIGN		

LINE TYPE LEGEND

	BOUNDARY LINE
	EASEMENT LINE
	BUILDING LINE
	WATER LINE
	SANITARY SEWER LINE
	STORM SEWER LINE
	UNDERGROUND GAS LINE
	OVERHEAD UTILITY LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND TELEPHONE LINE
	OVERHEAD ELECTRIC LINE
	FENCE
	CONCRETE PAVEMENT
	ASPHALT PAVEMENT

DEMOLITION NOTES

REFER TO GENERAL NOTES SHEET FOR DEMOLITION PLAN NOTES.

BENCHMARKS

BM# 400	SET ON THE BACK OF A CURB ALONG THE NORTH CURB LINE OF THE SOUTHWEST DRIVE ±90' NORTHEAST OF THE START OF DRIVEWAY PAVEMENT. N: 7097809.7207', E: 2416644.1497', ELEV: 587.33'
BM# 401	SET ON THE CORNER OF A RETAINING WALL LOCATED ±50' SOUTH OF THE CENTERLINE OF SWISHER ROAD IN THE NORTHEAST CORNER OF LOT 1, BLOCK A OF O.T. 940 ADDITION N: 7098142.1520', E: 2416731.0357', ELEV: 586.67'
BM# 402	SET ON THE BACK OF A CURB INLET ALONG THE SOUTH CURB LINE OF SWISHER ROAD ±105' EAST OF NORTHEAST DRIVEWAY. N: 7098139.2405', E: 2417568.6048', ELEV: 586.84'
BM# 403	SET ON THE CONCRETE IN THE SOUTHEAST CORNER OF PROPERTY ±15' WEST OF PROPERTY FENCE. N: 7097612.1417', E: 2417663.3666', ELEV: 591.59'

FOUNDATION DEMOLITION NOTES

FOUNDATION DEMOLITION DEPTH TO BE COORDINATED WITH NEW PAVING & FOUNDATION DEPTHS.

CAUTION!
 THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION IN VICINITY.



SCALE AS SHOWN
 DESIGNED BY ALM
 DRAWN BY ALM
 CHECKED BY TBB

DEMOLITION PLAN

TEXAS

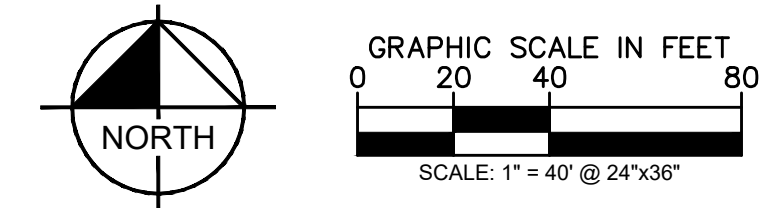
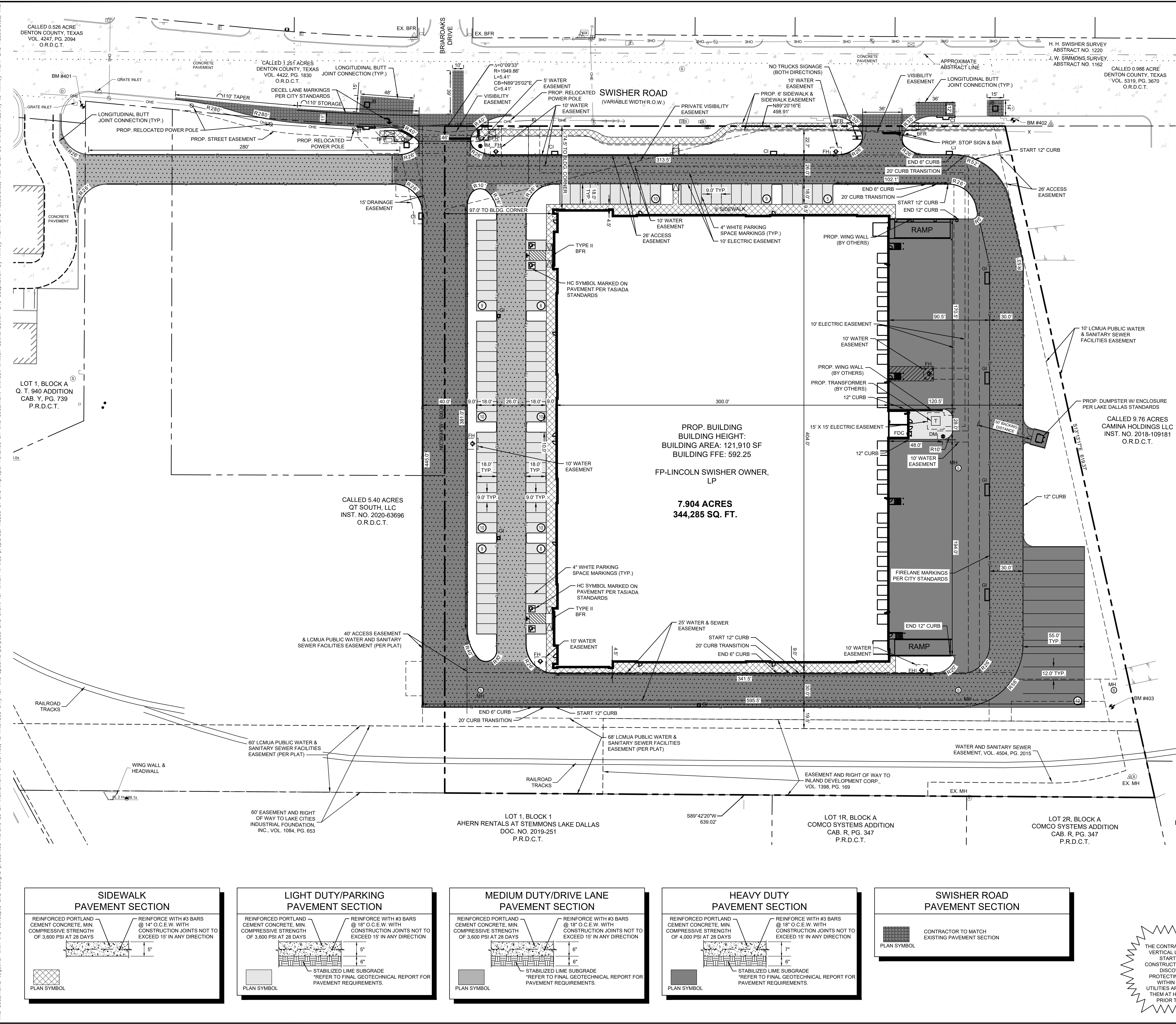
SWISHER ROAD INDUSTRIAL
 PREPARED FOR LINCOLN PROPERTY COMPANY
 LAKE DALLAS

DATE: 03/25/2025
 PROJECT NO: 063319112
 SHEET NUMBER: C-1.0

REVISIONS
 No. DATE

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 TEXAS REGISTERED ENGINEERING FIRM NO. F-928

Plotted By: Moody, Aaron Date: March 25, 2025 10:38:30am File Path: K:\DNT\Civil\06331912 - LPC Swisher Road\CAD\PlanSheets\Construction Engineering Plans\C-2.dwg
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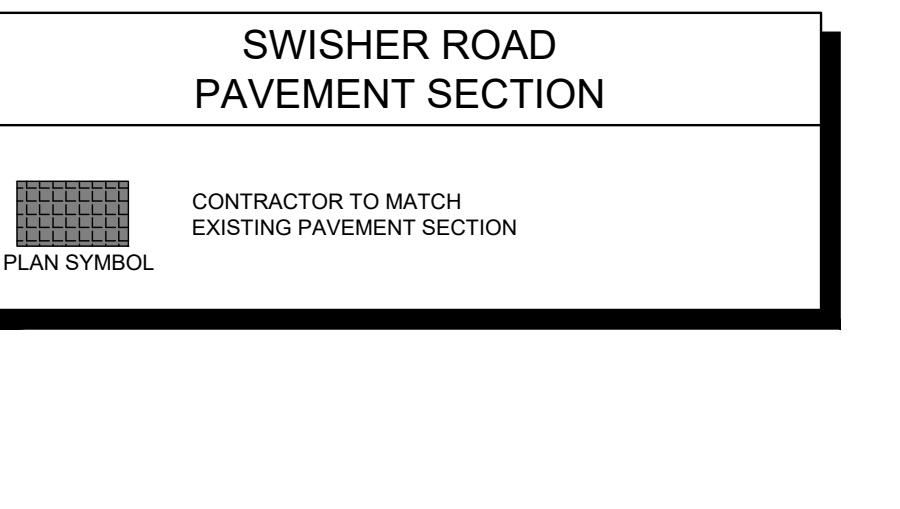
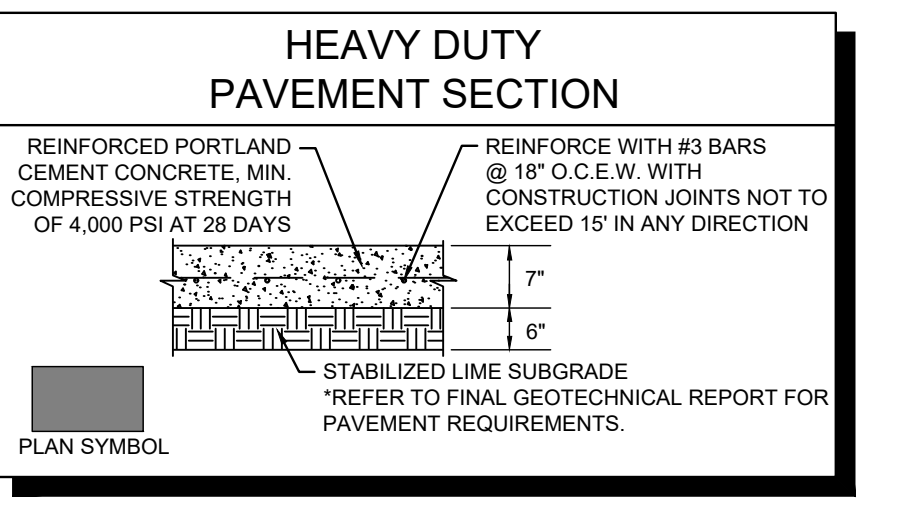
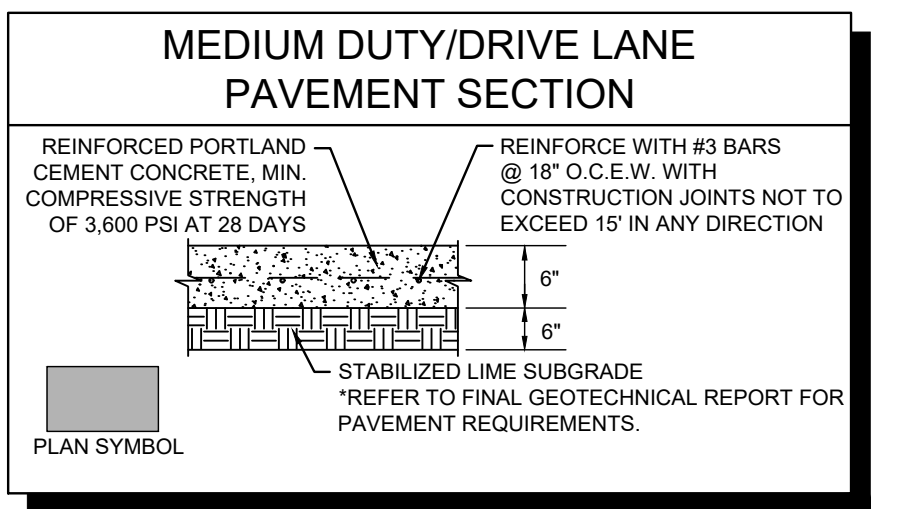
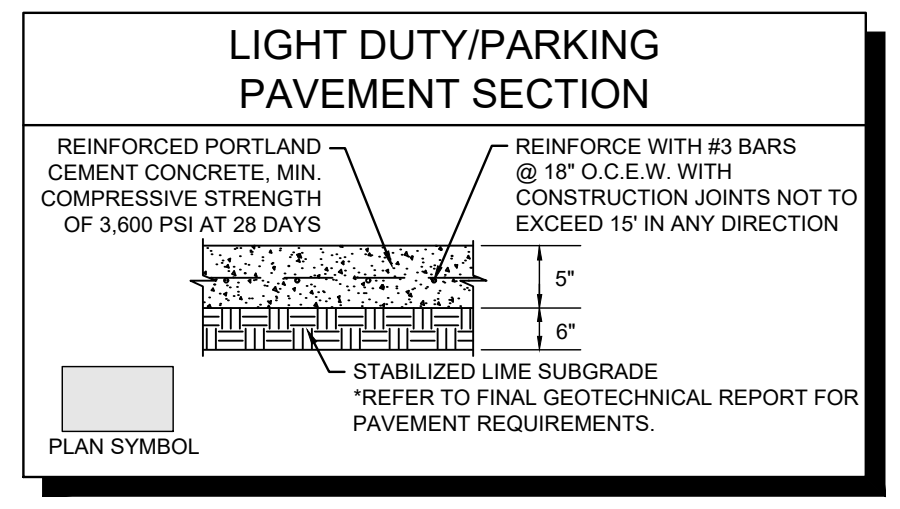
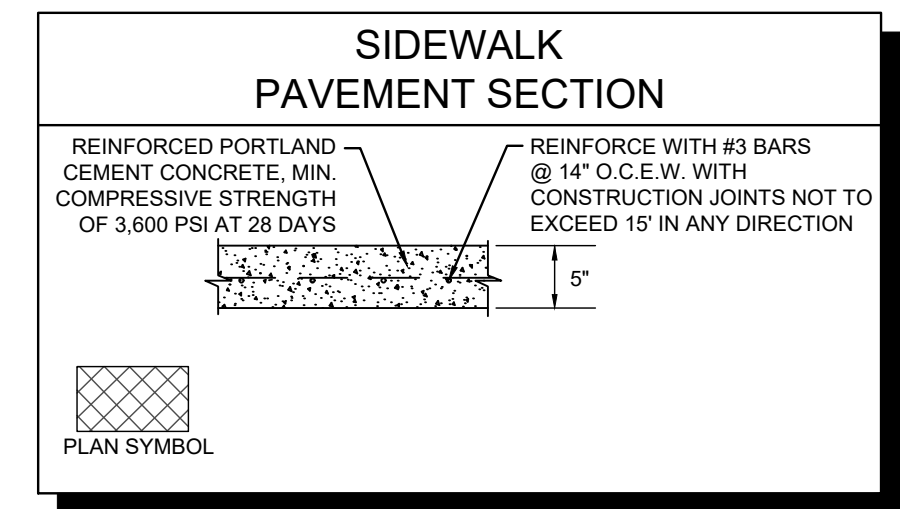
LEGEND

	PROPERTY LINE
	SETBACK LINE
	PROPOSED EASEMENT
	PROPOSED RETAINING WALL
	PROPOSED FIRE LANE
	EXISTING OVERHEAD POWER LINE
	EXISTING CABLE LINE
	EXISTING GAS LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING PAVEMENT TO REMAIN
	PROPOSED FIRE HYDRANT (FH)
	PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
	BARRIER FREE RAMP (BFR)
	PROPOSED TRANSFORMER LOCATION
	NUMBER OF PARKING SPACES PER ROW
	EXISTING POWER POLE
	EXISTING LIGHT POLE
	EXISTING FIRE HYDRANT
	EXISTING STORM MANHOLE
	EXISTING SAN. SEWER MANHOLE
	EXISTING SIGN
	CURB INLET
	GRATE INLET
	IRRIGATION METER

- ### SITE NOTES
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING FOOT PRINT DIMENSIONS.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND FINAL GEOTECH REPORT FOR BUILDING SUB GRADE PREPARATION REQUIREMENTS.
 - COORDINATE INFORMATION FOR RETAINING WALLS ARE LOCATED AT THE FACE OF THE EXPOSED WALL AT GROUND SURFACE ELEVATIONS.
 - ALL DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, OR PROPERTY LINE UNLESS NOTED OTHERWISE.
 - ALL CURB RADII ARE 2' UNLESS NOTED OTHERWISE.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR CARPORT AND DUMPSTER ENCLOSURE CONSTRUCTION SPECIFICATIONS.
 - CONTRACTOR SHALL REFER TO M.E.P. AND LANDSCAPE PLANS FOR CONDUIT PLACEMENT PRIOR TO PAVING.
 - RETAINING WALL MATERIAL AND TYPE SHALL BE APPROVED BY THE OWNER.

BENCHMARKS

BM# 400	SET ON THE BACK OF A CURB ALONG THE NORTH CURB LINE OF THE SOUTHWEST DRIVE ±90' NORTHEAST OF THE START OF DRIVEWAY PAVEMENT. N: 7097809.7207', E: 2416644.1497', ELEV: 587.33'
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BM# 403	SET ON THE CONCRETE IN THE SOUTHEAST CORNER OF PROPERTY ±15' WEST OF PROPERTY FENCE. N: 7097612.1417', E: 2417663.3666', ELEV: 591.59'



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 TEXAS REGISTERED ENGINEERING FIRM NO. F-928

REVISIONS	DATE

SCALE
 AS SHOWN
 DESIGNED BY: ALM
 DRAWN BY: ALM
 CHECKED BY: TBB

DATE
 03/25/2025

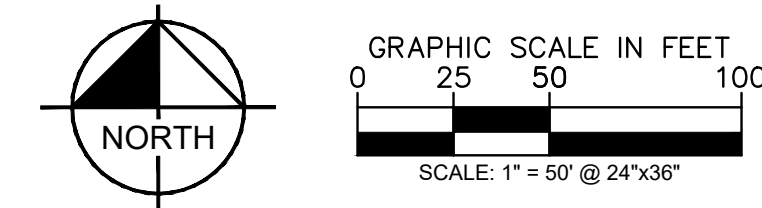
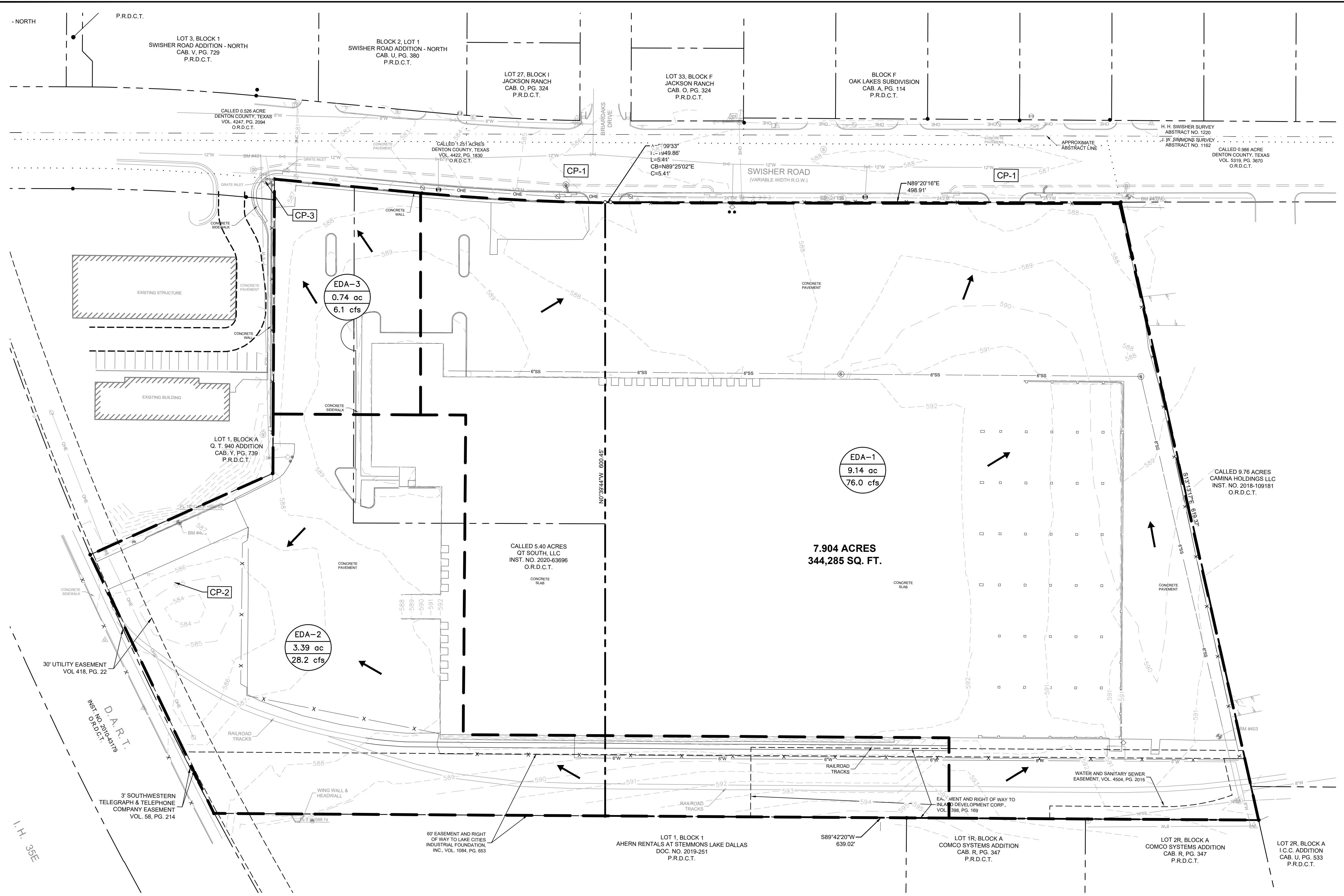
PROJECT NO.
 06331912

SHEET NUMBER
 C-2.0

DIMENSION CONTROL & PAVING PLAN

SWISHER ROAD INDUSTRIAL
 PREPARED FOR:
 LINCOLN PROPERTY COMPANY
 LAKE DALLAS, TEXAS

Plotted By: Moody, Aaron Date: March 25, 2025 10:38:49am File Path: K:\DNT\Civil\063319112 - LFC Swisher Road\CAD\PlanSheets\Construction Engineering Plans\C-3-DAM-Ex.dwg
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LEGEND

	BASIN NAME
	ACRES
	100 YR FLOW (CFS)
	DRAINAGE AREA
	FLOW ARROW
	PROPOSED CONTOUR
	EXISTING CONTOUR
	PROPOSED STORM SEWER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	PROPERTY LINE
	EXISTING STORM LINE

DRAINAGE AREA MAP NOTES:

1. DRAINAGE CRITERIA FOR THIS DRAINAGE AREA MAP IS BASED ON SURVEY AND CITY DRAINAGE REQUIREMENTS.

PROPOSED ON-SITE

TC = 10 MIN
 C = 0.90
 I100 = 9.24 IN/HR
 A = DRAINAGE AREA (ACRES)
 Q100 = C*I100*A (CFS)

DRAINAGE NARRATIVE:

THE SITE CURRENTLY IS A VACANT LOT WITH AN EXISTING FOUNDATION SLAB AND SURROUNDING PAVEMENT.

EDA-1 IS THE MAJORITY OF THE SITE AND PRESENTLY SHEET FLOWS INTO THE SWISHER ROAD STREET DRAINAGE SYSTEM (CP-1).

EDA-2 IS THE AREA THAT SHEET FLOWS INTO AN EXISTING DETENTION POND IN THE SOUTHWEST CORNER OF THE SITE (CP-2).

EDA-3 IS THE AREA THAT SHEET FLOWS INTO AN EXISTING CONCRETE FLUME IN THE NORTHWEST CORNER OF THE SITE INTO AN OFF-SITE GRATE INLET.

DRAINAGE AREA TABLE

DRAINAGE AREA NO.	AREA (ac)	RUNOFF COEFFICIENT "C"	TIME OF CONCENTRATION (minutes)	RAINFALL INTENSITY "I"100 (in/hr)	TOTAL FLOW Q100 (cfs)	COLLECTION POINT
EDA-1	9.14	0.90	10	9.24	76.0	CP-1
EDA-2	3.39	0.90	10	9.24	28.2	CP-2
EDA-3	0.74	0.90	10	9.24	6.1	CP-3

BENCHMARKS

BM# 400 SET ON THE BACK OF A CURB ALONG THE NORTH CURB LINE OF THE SOUTHWEST DRIVE ±90' NORTHEAST OF THE START OF DRIVEWAY PAVEMENT.
 N: 7097809.7207', E: 2416644.1497', ELEV: 587.33'

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BM# 403 SET ON THE CONCRETE IN THE SOUTHEAST CORNER OF PROPERTY ±15' WEST OF PROPERTY FENCE.
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CAUTION!

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DESIGNED BY: ALM

DRAWN BY: ALM

CHECKED BY: TBB

SCALE AS SHOWN

DATE: 03/25/2025

PROJECT NO: 063319112

SHEET NUMBER: C-3.0

REVISIONS

No.	DATE

TEXAS REGISTERED ENGINEERING FIRM NO. F-928

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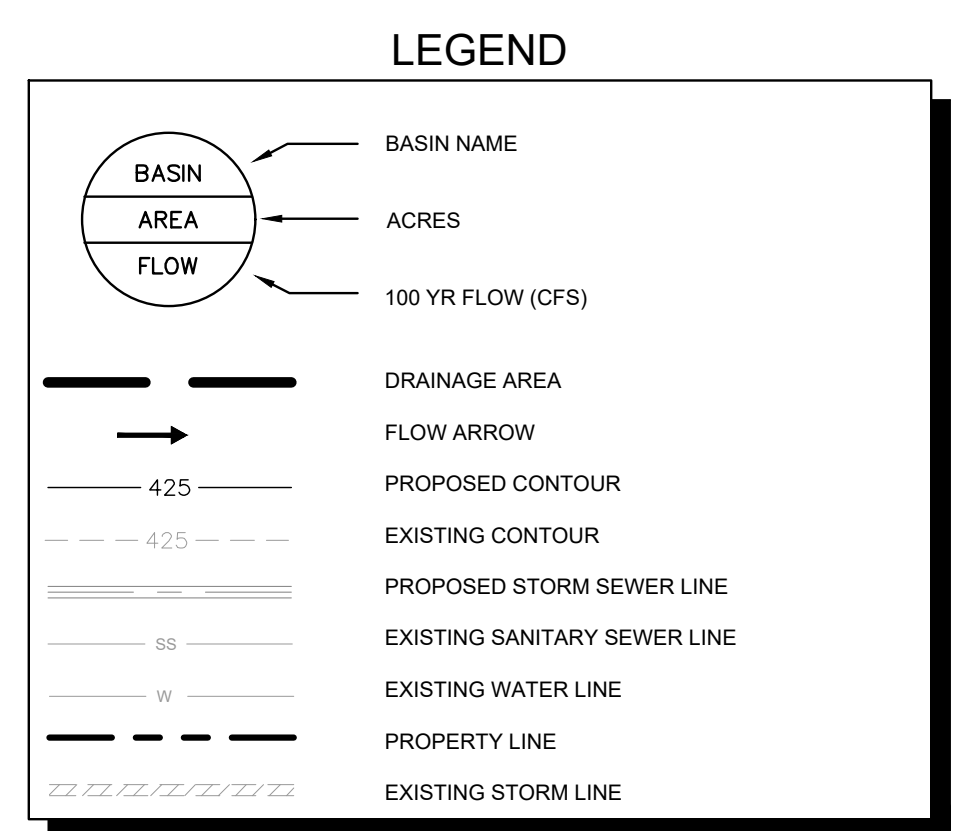
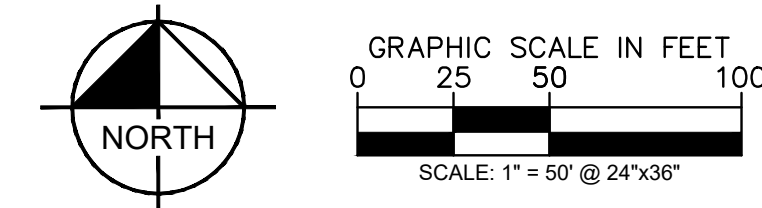
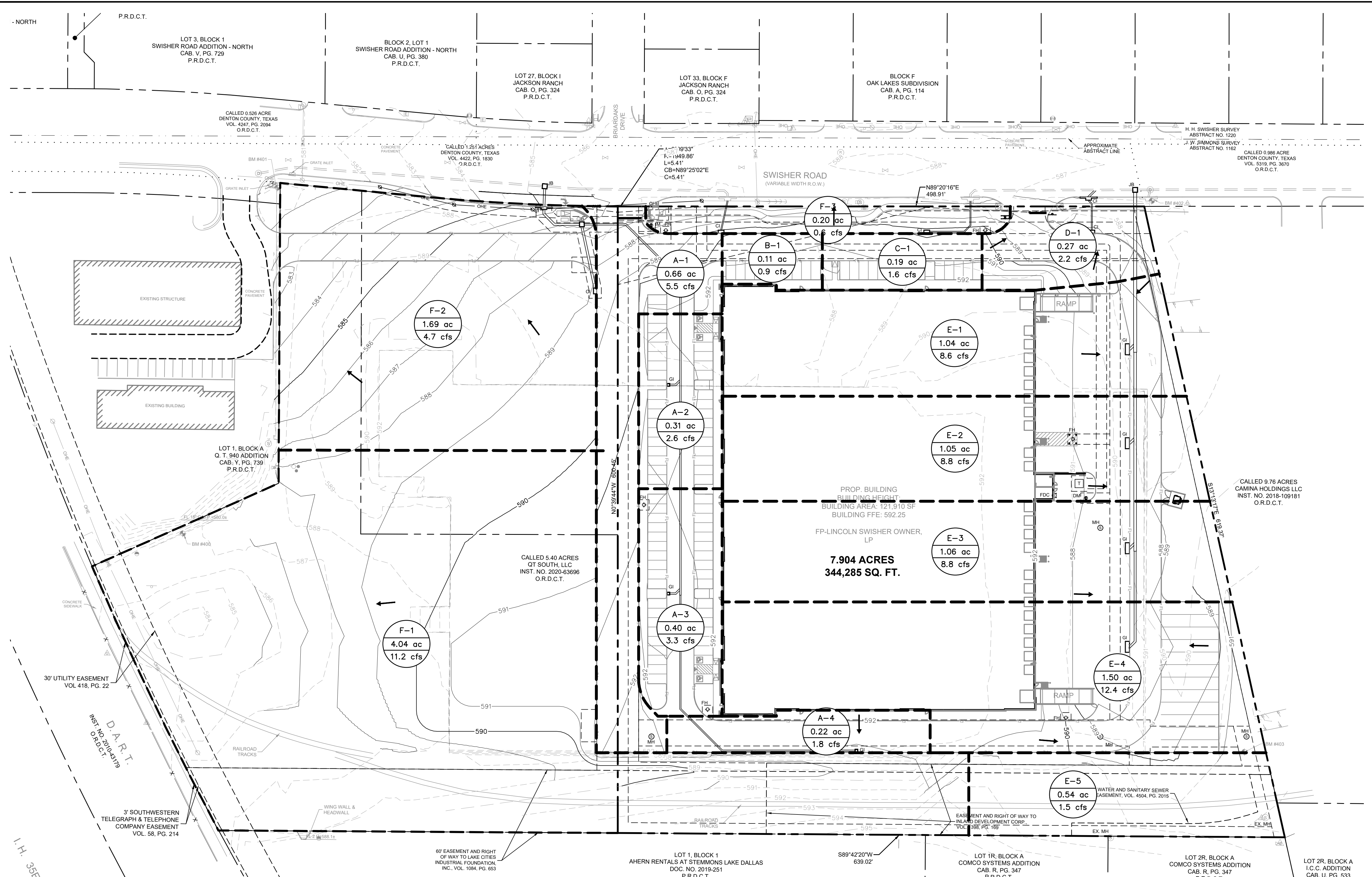
SWISHER ROAD INDUSTRIAL AREA MAP

PREPARED FOR: LINCOLN PROPERTY COMPANY

LAKE DALLAS

TEXAS

Plotted By: Moody, Aaron Date: March 25, 2025 10:45:10am File Path: \\D:\NT_Civil\063319112 - LFC Swisher Road\CAD\PlanSheets\Construction Engineering Plans\C-4-DAM-Prop.dwg
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DRAINAGE AREA MAP NOTES:

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PROPOSED ON-SITE

TC = 10 MIN

C = 0.90

I100 = 9.24 IN/HR

A = DRAINAGE AREA (ACRES)

Q100 = C^{1.100}A (CFS)

DRAINAGE NARRATIVE:

A-1 THRU A-4, B-1, C-1, D-1, E-1 THRU E-5, AND F-3 DRAIN TOWARDS THE SWISHER ROAD SYSTEM. THEY ARE COLLECTED WITH THE INTERNAL SITE STORM SYSTEM THAT CONNECTS TO THE SWISHER ROAD SYSTEM (CP-1).

F-1 IS THE AREA THAT SHEET FLOWS INTO AN EXISTING DETENTION POND IN THE SOUTHWEST CORNER OF THE SITE (CP-2).

F-2 IS THE AREA THAT SHEET FLOWS INTO THE NORTHWEST CORNER OF THE SITE INTO AN OFF-SITE GRATE INLET (CP-3).

DRAINAGE AREA TABLE

DRAINAGE AREA NO.	AREA (ac)	RUNOFF COEFFICIENT "C"	TIME OF CONCENTRATION (minutes)	RAINFALL INTENSITY "I"100 (in/hr)	TOTAL FLOW Q100 (cfs)	COLLECTION POINT
A-1	0.66	0.90	10	9.24	5.5	CP-1
A-2	0.31	0.90	10	9.24	2.6	CP-1
A-3	0.40	0.90	10	9.24	3.3	CP-1
A-4	0.22	0.90	10	9.24	1.8	CP-1
B-1	0.11	0.90	10	9.24	0.9	CP-1
C-1	0.19	0.90	10	9.24	1.6	CP-1
D-1	0.27	0.90	10	9.24	2.2	CP-1
E-1	1.04	0.90	10	9.24	8.6	CP-1
E-2	1.05	0.90	10	9.24	8.8	CP-1
E-3	1.06	0.90	10	9.24	8.8	CP-1
E-4	1.50	0.90	10	9.24	12.4	CP-1
E-5	0.54	0.30	10	9.24	1.5	CP-1
F-1	4.04	0.30	10	9.24	11.2	CP-2
F-2	1.69	0.30	10	9.24	4.7	CP-3
F-3	0.20	0.30	10	9.24	0.6	CP-1

BENCHMARKS

BM# 400 1 SET ON THE BACK OF A CURB ALONG THE NORTH CURB LINE OF THE SOUTHWEST DRIVE ±90' NORTHEAST OF THE START OF DRIVEWAY PAVEMENT.
N: 7097809.7207', E: 2416644.1497', ELEV: 587.33'

BM# 401 2 SET ON THE CORNER OF A RETAINING WALL LOCATED ±50' SOUTH OF THE CENTERLINE OF SWISHER ROAD IN THE NORTHEAST CORNER OF LOT 1, BLOCK A OF Q.T. 940 ADDITION.
N: 7098142.1520', E: 2416731.0357', ELEV: 586.67'

BM# 402 3 SET ON THE BACK OF A CURB INLET ALONG THE SOUTH CURB LINE OF SWISHER ROAD ±105' EAST OF NORTHEAST DRIVEWAY.
N: 7098139.2405', E: 2417568.6048', ELEV: 586.84'

BM# 403 4 SET ON THE CONCRETE IN THE SOUTHEAST CORNER OF PROPERTY ±15' WEST OF PROPERTY FENCE.
N: 7097612.1417', E: 2417663.3666', ELEV: 591.59'

CAUTION!

THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION IN VICINITY.



REVISIONS
DATE

No.	REVISIONS	DATE

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03/25/2025

SCALE AS SHOWN
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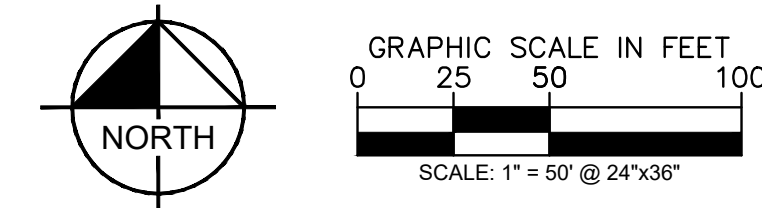
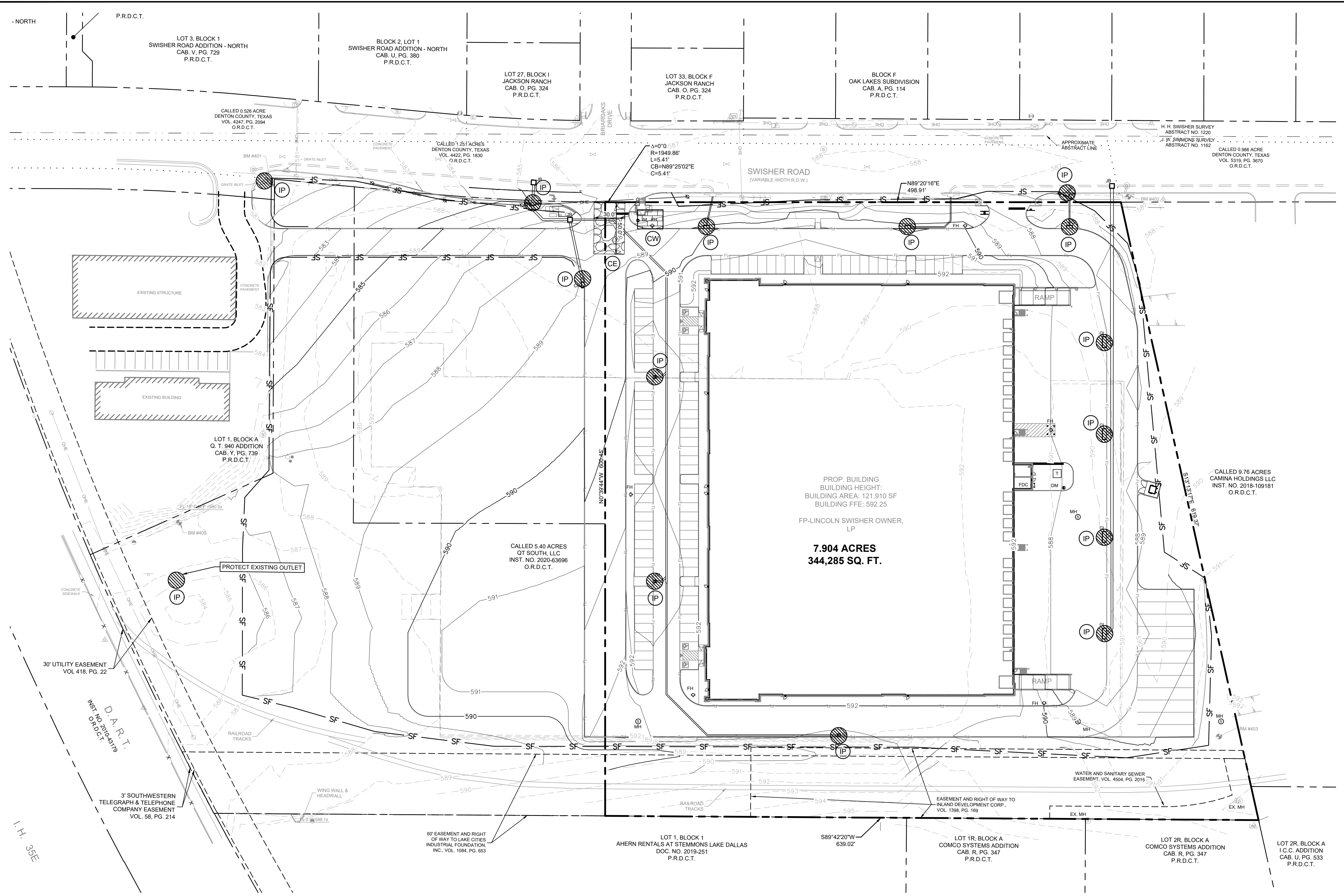
TEXAS REGISTERED ENGINEERING FIRM NO. F-928

SWISHER ROAD INDUSTRIAL DRAINAGE AREA MAP

PREPARED FOR LINCOLN PROPERTY COMPANY
LAKE DALLAS

DATE 03/25/2025
PROJECT NO. 063319112
SHEET NUMBER C-4.0

Plotted By: Moody, Aaron Date: March 25, 2025 10:40:23am File Path: \\D:\NT-Civil\06331912 - LPC Swisher Road\CAD\PlanSheets\Construction_Engineering_Plans\C-5.dwg
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LEGEND

- PROPERTY LINE
- PROPOSED CONTOUR
- EXISTING CONTOUR
- SILT FENCE
- LIMITS OF DISTURBANCE
- INLET PROTECTION
- CONSTRUCTION ENTRANCE
- CONCRETE WASHOUT
- FILTER SOCK

EROSION CONTROL SCHEDULE AND PHASING

- THE PROJECT SHALL GENERALLY CONFORM TO THE FOLLOWING:
- PHASE A - GRADING**
- CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE, SILT FENCE, DIKE, AND TREE PROTECTION FENCE ACCORDING TO THE APPROXIMATE LOCATION AND SHOWN ON GRADING AND EROSION CONTROL PLAN NOTES AND DETAIL SHEET.
 - BEGIN CLEARING AND GRADING OF SITE.
 - SEED AND REVEGETATE SLOPES WHERE SHOWN.
- PHASE B - UTILITIES**
- KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE.
 - INSTALL STORM DRAINS, SANITARY SEWER, AND WATER AS SPECIFIED ON PLAN SHEETS.
- PHASE C - PAVING**
- KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE. REMOVE AS NEEDED TO PAVE.
 - STABILIZE SUBGRADE.
 - PAVE STREETS AND SIDEWALKS AS SPECIFIED ON PLAN SHEETS.
 - RE-INSTALL ANY STORM WATER POLLUTION PREVENTION MEASURES REMOVED FOR PAVING OPERATIONS.
- PHASE D - LANDSCAPING AND SOIL STABILIZATION**
- REVEGETATE LOT AND PARKWAYS.
 - LANDSCAPE CONTRACTOR SHALL REVEGETATE ALL AREAS RESERVED FOR LANDSCAPE VEGETATIVE COVERS.
 - REMOVE EROSION CONTROL DEVICES WHEN MINIMUM 70% GROUND COVER IS ESTABLISHED. VEGETATION MUST BE ESTABLISHED BEFORE STRUCTURAL CONTROLS REMOVED.
- NOTE: THE SEQUENCE OF CONSTRUCTION SHOWN ABOVE IS A GENERAL OVERVIEW AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS INCLUDED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IMMEDIATELY, PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND ALL OTHER APPLICABLE LAWS.

SITE MAP GENERAL NOTES

- CONTRACTOR IS SOLELY RESPONSIBLE FOR SELECTION, IMPLEMENTATION, MAINTENANCE, AND EFFECTIVENESS OF ALL SWPPP CONTROLS - CONTROLS SHOWN ON THIS SITE MAP ARE SUGGESTED CONTROLS ONLY.
- CONTRACTOR SHALL RECORD INSTALLATION, MAINTENANCE OR MODIFICATION, AND REMOVAL DATES FOR EACH BMP EMPLOYED (WHETHER CALLED OUT ON ORIGINAL SWPPP OR NOT) DIRECTLY ON THE SITE MAP.
- DRAINAGE PATTERNS ARE SHOWN ON THIS PLAN BY PROPOSED AND EXISTING CONTOURS, FLOW ARROWS AND/OR SLOPES.
- TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE, PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. CONTRACTOR SHALL ALSO REFERENCE CIVIL AND LANDSCAPE PLANS SINCE PERMANENT STABILIZATION IS PROVIDED BY LANDSCAPING, THE BUILDING(S), AND SITE PAVING.
- BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE SEDIMENT TRANSFER. FOR EXAMPLE, SILT FENCES LOCATED AT TOE OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING SEDIMENT FROM SITE RUN-OFF.
- SANITARY SEWER EFFLUENT IS DISPOSED OF VIA AN ONSITE SEWER SYSTEM CONNECTED TO A MUNICIPAL SEWER SYSTEM.

BENCHMARKS

- BM# 400** SET ON THE BACK OF A CURB ALONG THE NORTH CURB LINE OF THE SOUTHWEST DRIVE ±90' NORTHEAST OF THE START OF DRIVEWAY PAVEMENT.
N: 7097809.7207', E: 2416644.1497', ELEV: 587.33'
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- BM# 403** SET ON THE CONCRETE IN THE SOUTHEAST CORNER OF PROPERTY ±15' WEST OF PROPERTY FENCE.
N: 7097612.1417', E: 2417663.3666', ELEV: 591.59'

STANDARD EROSION CONTROL GENERAL NOTES

- EROSION CONTROL DEVICES SHOWN ON THIS PLAN SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBING ACTIVITIES ON THE PROJECT.
- ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THIS PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE CITY ENGINEERING DIVISION.
- IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT, THE EROSION CONTROL PLAN WILL BE REQUIRED TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
- INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS TO INSURE THAT THE DEVICES ARE FUNCTIONING PROPERLY. WHEN SEDIMENT OR MUD HAS CLOGGED THE VOID SPACES BETWEEN STONES OR MUD IS BEING TRACKED ONTO A PUBLIC ROADWAY THE AGGREGATE PAD MUST BE WASHED DOWN OR REPLACED. RUNOFF FROM THE WASHDOWN OPERATION SHALL NOT BE ALLOWED TO DRAIN DIRECTLY OFF-SITE WITHOUT FIRST FLOWING THROUGH ANOTHER BMP TO CONTROL OFF-SITE SEDIMENTATION. PERIODIC RE-GRADING OR THE ADDITION OF NEW STONE MAY BE REQUIRED TO MAINTAIN THE EFFICIENCY OF THE INSTALLATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTAL OF N.O.I., N.O.T. AND ANY ADDITIONAL INFORMATION REQUIRED BY THE TCEQ. CONTRACTOR SHALL COMPLY WITH ALL TCEQ STORMWATER POLLUTION PREVENTION REQUIREMENTS.

VEGETATIVE STABILIZATION REQUIREMENTS

TEMPORARY SEEDING	SURFACE PREPARATION FOR TEMPORARY SEEDING																		
ALL DISTURBED AREAS WHICH WILL BE LEFT DORMANT FOR GREATER THAN 14 DAYS SHALL BE SEED WITH FAST-GERMINATING TEMPORARY VEGETATION IMMEDIATELY FOLLOWING GRADING OPERATIONS. SELECTION OF THE SEED WILL DEPEND ON THE TIME OF YEAR IT IS APPLIED (SEE DESCRIPTIONS IN TABLE 2). REFERENCE LANDSCAPE PLAN FOR PERMANENT STABILIZATION REQUIREMENTS. ALL TEMPORARY SEEDING MATERIALS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO APPLICATION.	1. INSTALL EROSION STRUCTURES SUCH AS DIKES, DIVERSIONS, ETC. PRIOR TO SEEDING. 2. FURROW SLOPES STEEPER THAN 3:1 ON THE CONTOUR LINE BEFORE SEEDING. 3. ENSURE SEED BED IS PULVERIZED, LOOSE, AND UNIFORM.																		
TABLE 2 VEGETATION TABLE*	APPLICATION																		
<table border="1"><thead><tr><th>TEMPORARY SEEDING SPECIES</th><th>PLANTING RATE</th><th>PLANTING DATES</th></tr></thead><tbody><tr><td>CRIMSON CLOVER</td><td>7#/ACRE</td><td>8/15 - 11/30</td></tr><tr><td>MILLET, FOXTAIL</td><td>30#/ACRE</td><td>9/1 - 8/31</td></tr><tr><td>RYEGRASS, ANNUAL</td><td>30#/ACRE</td><td>8/15 - 9/30</td></tr><tr><td>SPRANGLETOP, GREEN</td><td>2.5#/ACRE</td><td>2/1 - 5/1</td></tr><tr><td>TALL FESCUE</td><td>7#/100/1000 SF</td><td>9/1 - 10/15</td></tr></tbody></table>	TEMPORARY SEEDING SPECIES	PLANTING RATE	PLANTING DATES	CRIMSON CLOVER	7#/ACRE	8/15 - 11/30	MILLET, FOXTAIL	30#/ACRE	9/1 - 8/31	RYEGRASS, ANNUAL	30#/ACRE	8/15 - 9/30	SPRANGLETOP, GREEN	2.5#/ACRE	2/1 - 5/1	TALL FESCUE	7#/100/1000 SF	9/1 - 10/15	1. WHEN HYDROMULCHING IS USED, DO NOT MIX SEED AND FERTILIZER MORE THAN 30 MINUTES PRIOR TO APPLICATION. 2. APPLY SEED EVENLY USING PROPER EQUIPMENT AND WATER TO AID VEGETATION GROWTH. 3. EROSION CONTROL NETTING SHALL BE INSTALLED OVER FILL SLOPES WHICH HAVE BEEN BROUGHT TO FINAL GRADE AND HAVE BEEN SEED TO PROTECT AGAINST EROSION. MULCH (STRAW OR FIBER) SHALL BE USED ON RELATIVELY FLAT SLOPES.
TEMPORARY SEEDING SPECIES	PLANTING RATE	PLANTING DATES																	
CRIMSON CLOVER	7#/ACRE	8/15 - 11/30																	
MILLET, FOXTAIL	30#/ACRE	9/1 - 8/31																	
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SPRANGLETOP, GREEN	2.5#/ACRE	2/1 - 5/1																	
TALL FESCUE	7#/100/1000 SF	9/1 - 10/15																	

BMP MAINTENANCE SCHEDULE

- TEMPORARY STONE CONSTRUCTION ENTRANCE/EEXIT:**
- INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS TO ENSURE THAT THE FACILITY IS FUNCTIONING PROPERLY. AGGREGATE PAD SHALL BE WASHED DOWN OR REPLACED WHEN SEDIMENT OR MUD HAS CLOGGED THE VOID SPACES BETWEEN THE STONES OR MUD IS BEING TRACKED ONTO THE PUBLIC ROADWAY. RUNOFF FROM WASHDOWN OPERATION SHALL BE FILTERED THROUGH ANOTHER B.M.P. PRIOR TO DRAINING OFF-SITE.
- SILT FENCE:**
- INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS. SEDIMENT SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THE DEPTH OF SEDIMENT HAS BUILT UP TO ONE-THIRD THE HEIGHT OF THE FENCE ABOVE GRADE. FENCE SHALL BE INSPECTED FOR GAPS AT BASE. INSPECT SUPPORTING POSTS AND FILTER FABRIC. REPLACE IF REQUIRED.
- STONE OVERFLOW STRUCTURE:**
- INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS TO ENSURE THAT THE FACILITY IS FUNCTIONING PROPERLY. SEDIMENT SHALL BE REMOVED FROM THE STORAGE AREA WHEN SEDIMENT DEPTH HAS BUILT UP TO ONE-HALF THE HEIGHT OF THE STONE OUTLET. REPAIR DISLODGED OR MISSING STONE RIP-RAP AND REPAIR ANY DOWNSTREAM EROSION.
- ROCK CHECK DAM:**
- INSPECTIONS SHALL BE MADE WEEKLY AND AFTER ALL RAIN EVENTS TO ENSURE THAT THE DEVICE IS FUNCTIONING PROPERLY. REMOVE SEDIMENT FROM THE STORAGE AREA UPSTREAM OF THE DAM WHEN THE DEPTH OF SEDIMENT HAS BUILT UP TO ONE-HALF THE DAM HEIGHT. REPAIR DAMAGE TO THE CHANNEL IN THE VICINITY OF THE CHECK DAMS IMMEDIATELY TO PREVENT ADDITIONAL DAMAGE. REPLACE MISSING OR DISLODGED ROCK AS NEEDED TO MAINTAIN THE DESIGN HEIGHT AND CROSS SECTION OF THE CHECK DAM.
- CURB INLET/GRATE INLET/WYVE INLET:**
- INSPECTIONS SHALL BE MADE WEEKLY AND AFTER ALL RAIN EVENTS TO ENSURE THAT THE DEVICE IS FUNCTIONING PROPERLY. REMOVE SEDIMENT FROM THE STORAGE AREA SURROUNDING THE INLET/GRATE WHEN THE DEPTH OF SEDIMENT HAS BUILT UP TO ONE-HALF OF THE PROTECTION HEIGHT. DEVICE SHALL BE INSPECTED FOR GAPS AT BASE, AND SHALL BE REPLACED AS NEEDED.

CAUTION!

THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION IN VICINITY.

Know what's below.
Call before you dig.

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TEXAS REGISTERED ENGINEERING FIRM NO. F-928

EROSION CONTROL PLAN

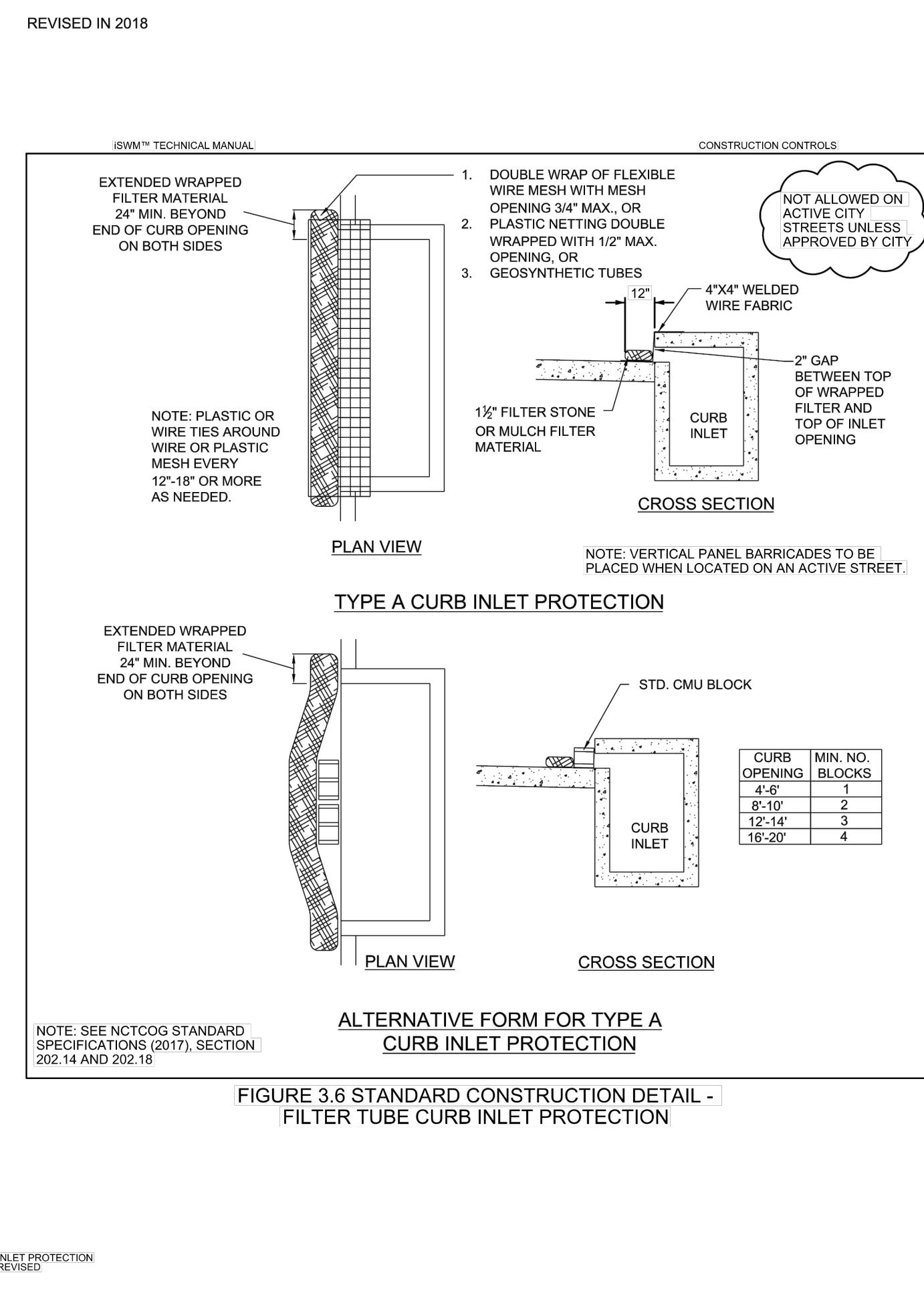
DATE: 03/25/2025
PROJECT NO: 06331912
SHEET NUMBER: C-5.0

SCALE: AS SHOWN
DESIGNED BY: ALM
DRAWN BY: ALM
CHECKED BY: TBB

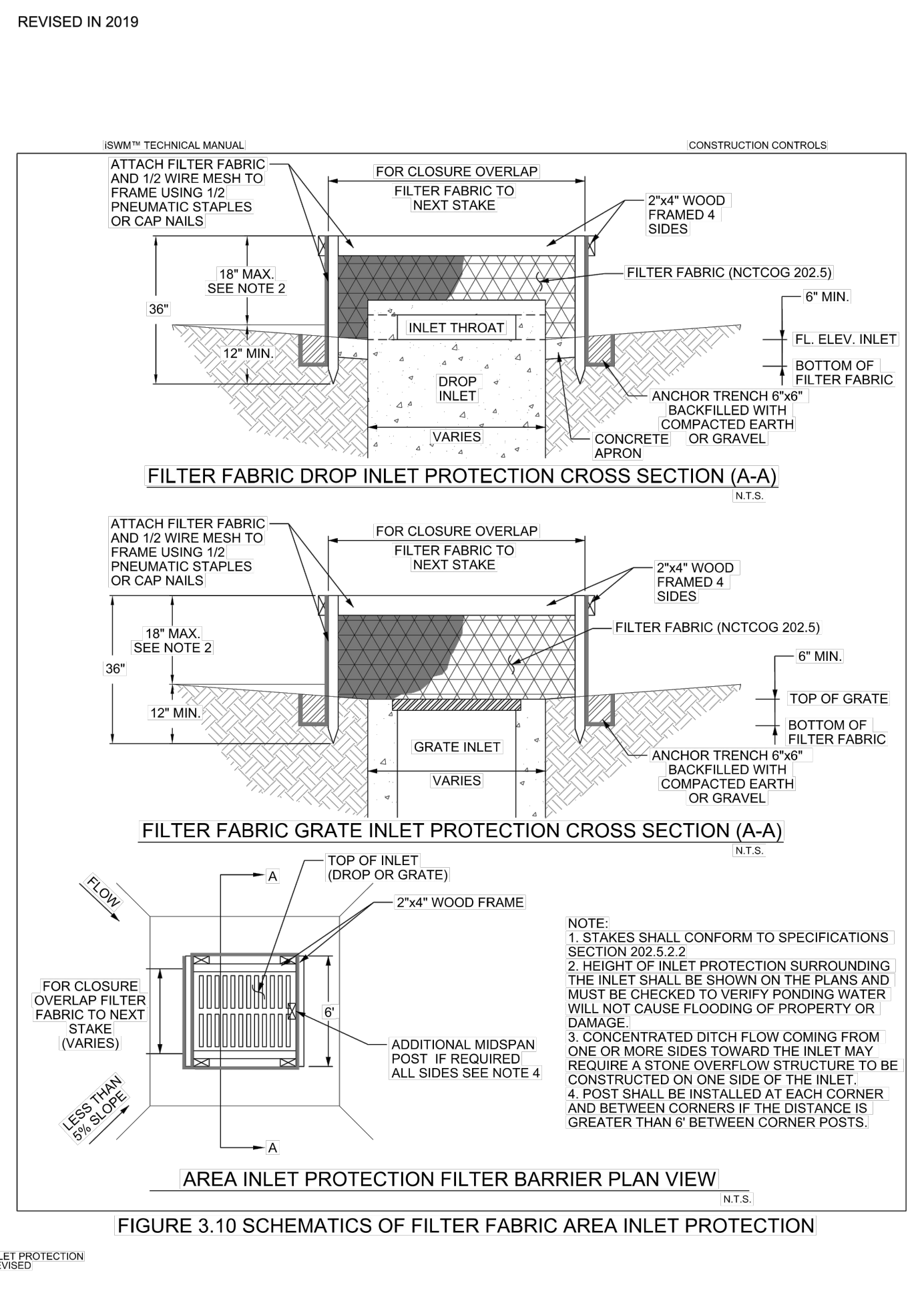
REVISIONS

No.	DATE	REVISIONS

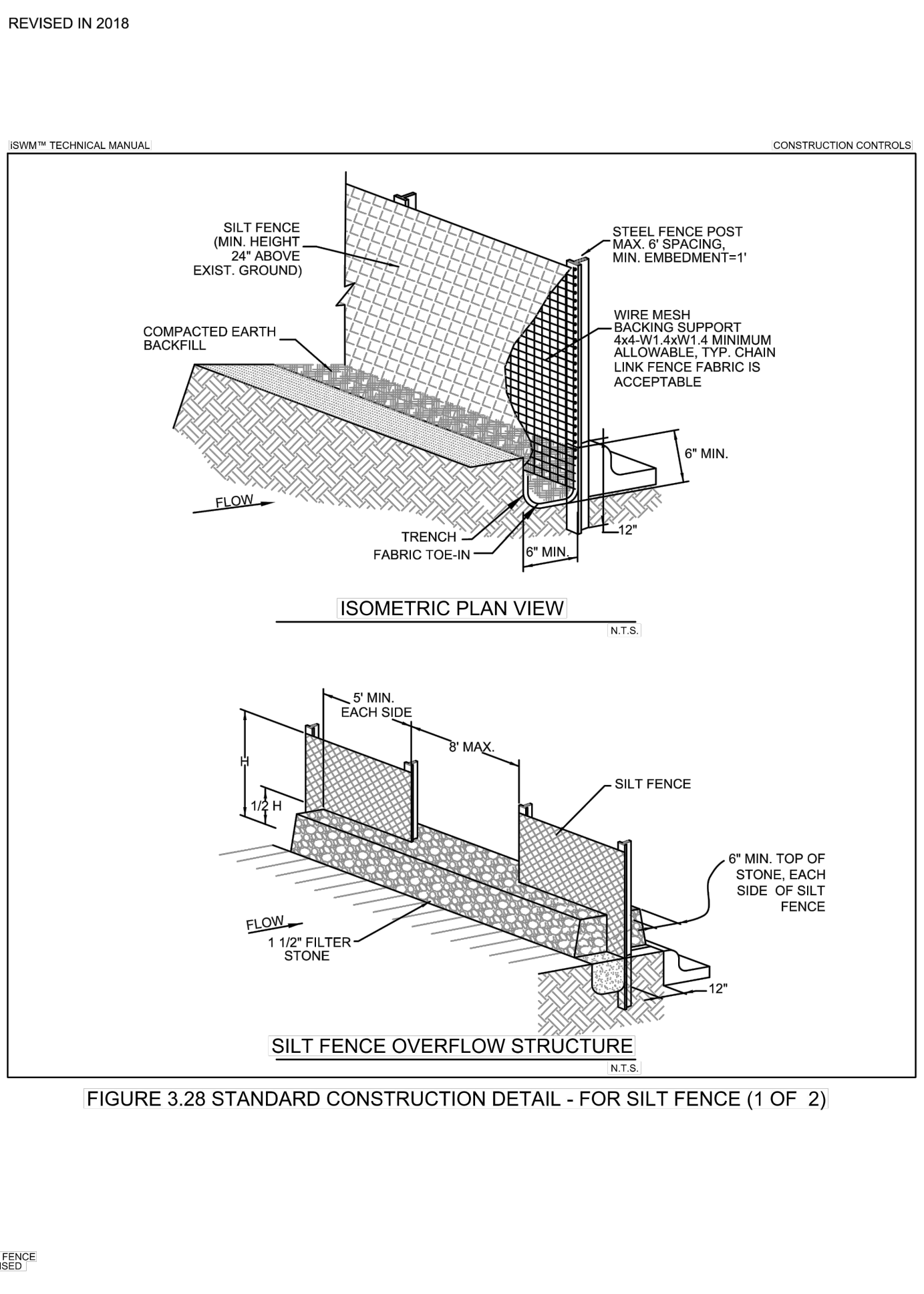
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IP CURB INLET PROTECTION N.T.S.



GP GRATE INLET PROTECTION N.T.S.



SF SEDIMENTATION/SILT FENCE WITH WIRE SUPPORT N.T.S.

REVISED IN 2018

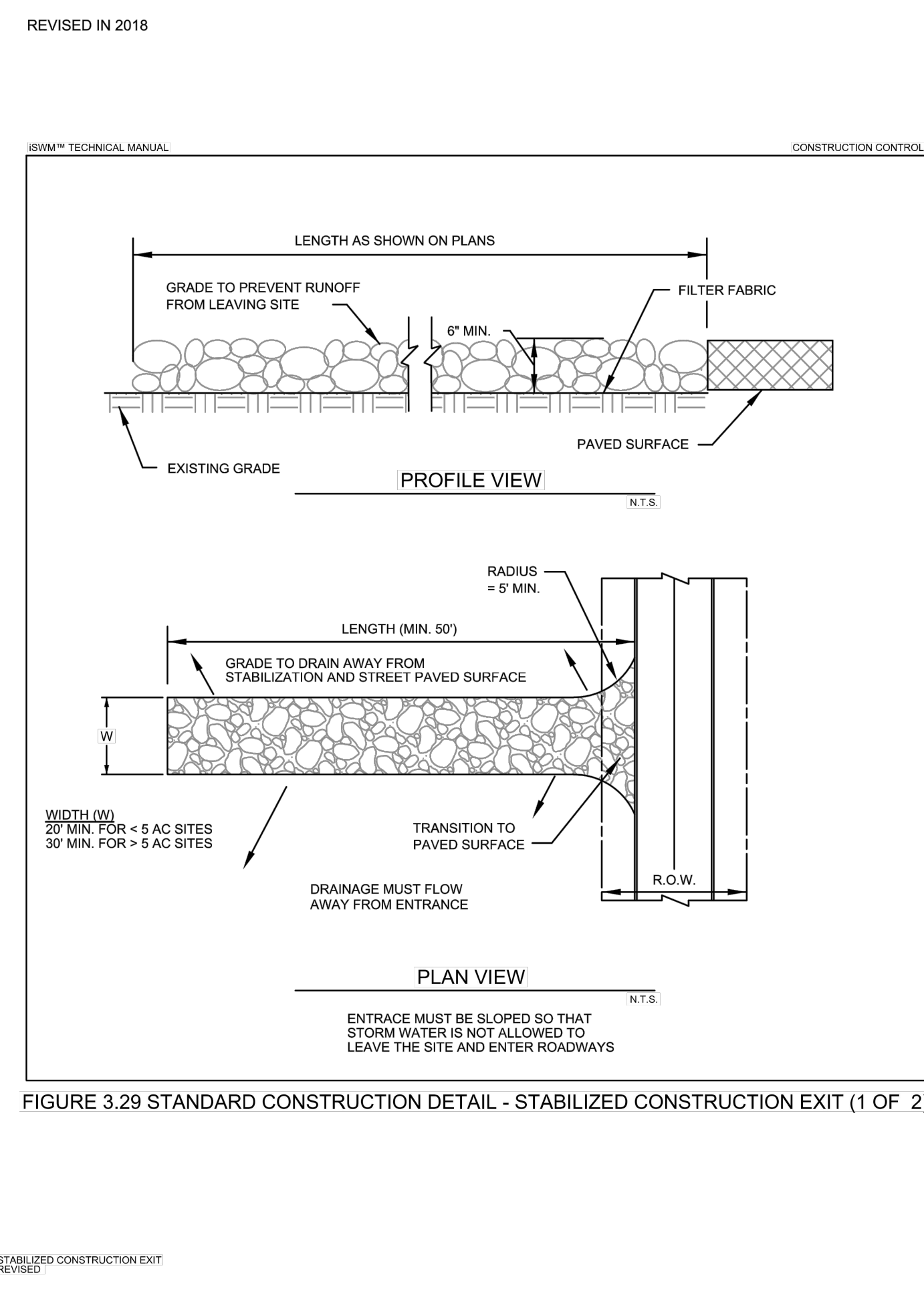
ISWM™ TECHNICAL MANUAL CONSTRUCTION CONTROLS

SILT FENCE GENERAL NOTES:

- DESIGNER SHALL SHOW ON THE DRAWINGS THE LOCATIONS WHERE OVERFLOW STRUCTURES SHALL BE INSTALLED. OVERFLOW STRUCTURES ARE REQUIRED AT ALL LOW POINTS AND AT A SPACING OF APPROXIMATELY 300 FEET WHERE NO LOW POINT IS APPARENT.
- DESIGNER SHALL SHOW ON THE DRAWINGS THE LOCATIONS WHERE SILT FENCE IS TO BE TURNED UPSLOPE AT THE ENDS. UPSLOPE LENGTHS SHALL BE A MINIMUM OF 10 FEET.
- POST WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
- THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW.
- THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
- SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WIRE BACKING WHICH IN TURN IS ATTACHED TO THE FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
- INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- SILT FENCE SHALL BE REMOVED WHEN FINAL STABILIZATION IS ACHIEVED OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED.
- ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.
- SEE NCTCOG STANDARD SPECIFICATIONS (2017), SECTION 202.5

FIGURE 3.28 NOTES FOR SILT FENCE (2 OF 2)

SILT FENCE REVISED



CE STABILIZED CONSTRUCTION ENTRANCE N.T.S.

REVISED IN 2018

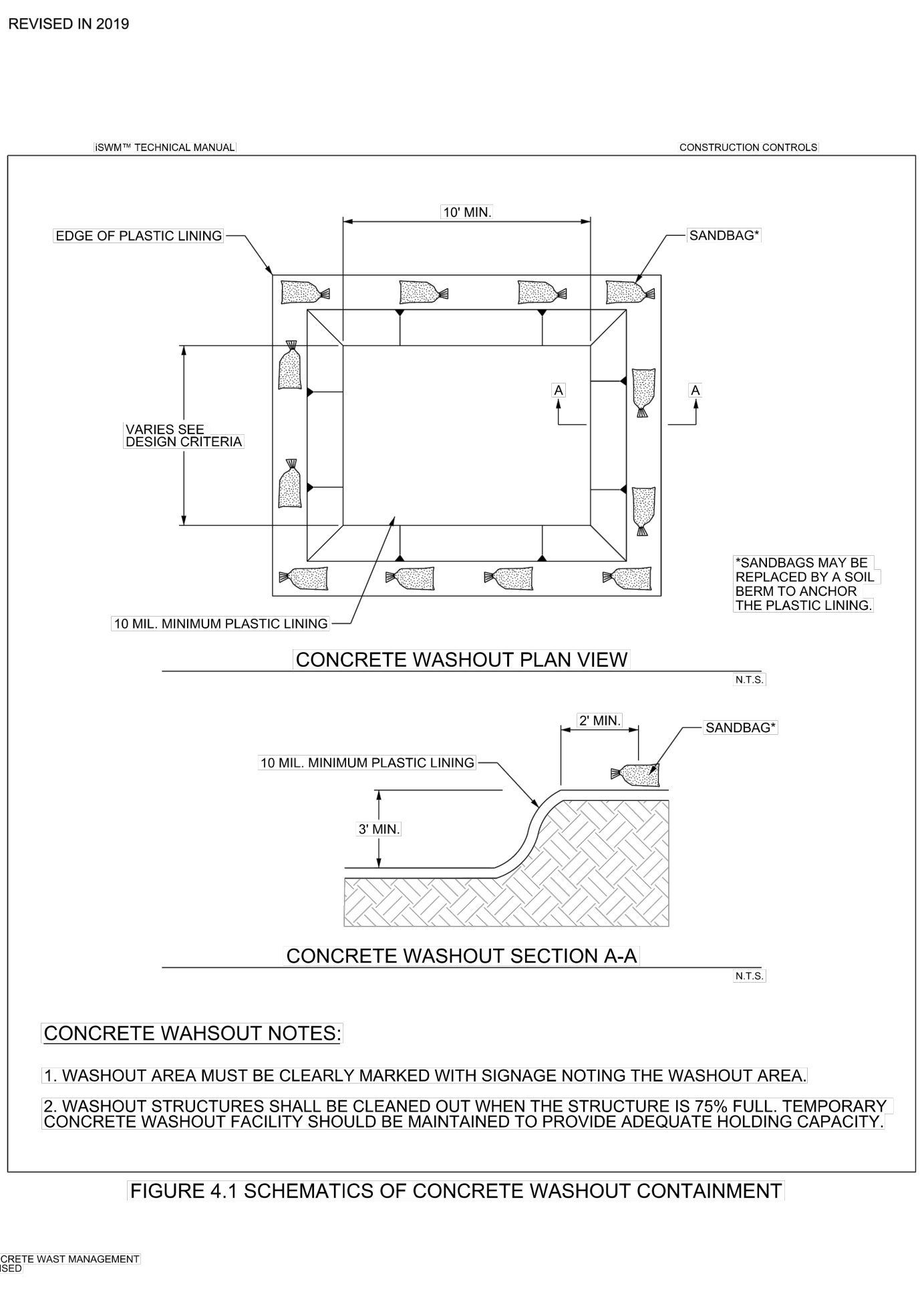
ISWM™ TECHNICAL MANUAL CONSTRUCTION CONTROLS

STABILIZED CONSTRUCTION ENTRANCE GENERAL NOTES:

- SEE NCTCOG STANDARD SPECIFICATIONS (2017), SECTION 202.11
- THE THICKNESS SHALL NOT BE LESS THAN 6 INCHES.
- STONE SHALL BE 3 TO 5 INCH DIAMETER COURSE AGGREGATE, NO CRUSHED PORTLAND CEMENT CONCRETE ALLOWED.
- LENGTH SHALL BE SHOWN ON PLANS, WITH A MINIMUM LENGTH OF 50 FEET.
- THE WIDTH SHALL BE NO LESS THAN 20' FOR SITES LESS THAN 5 AC, AND 30' FOR SITES GREATER THAN 5 AC, AT ALL POINTS OF INGRESS OR EGRESS.
- WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
- THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
- INSPECTION SHALL BE SPECIFIED IN THE SWPPP.

FIGURE 3.29 NOTES FOR STABILIZED CONSTRUCTION EXIT (2 OF 2)

STABILIZED CONSTRUCTION EXIT REVISED



CW CONCRETE WASHOUT N.T.S.

DATE	03/25/2025
PROJECT NO.	063319112
SHEET NUMBER	C-5.1
SCALE	AS SHOWN
DESIGNED BY	ALM
DRAWN BY	ALM
CHECKED BY	TBB
DATE	03/25/2025
REVISIONS	
No.	
DATE	

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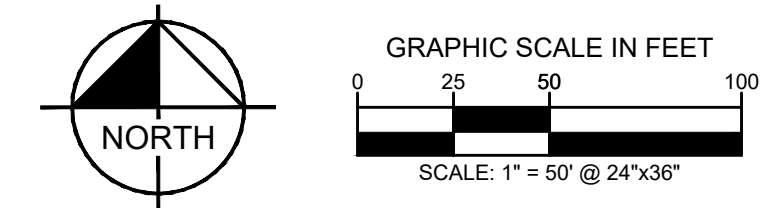
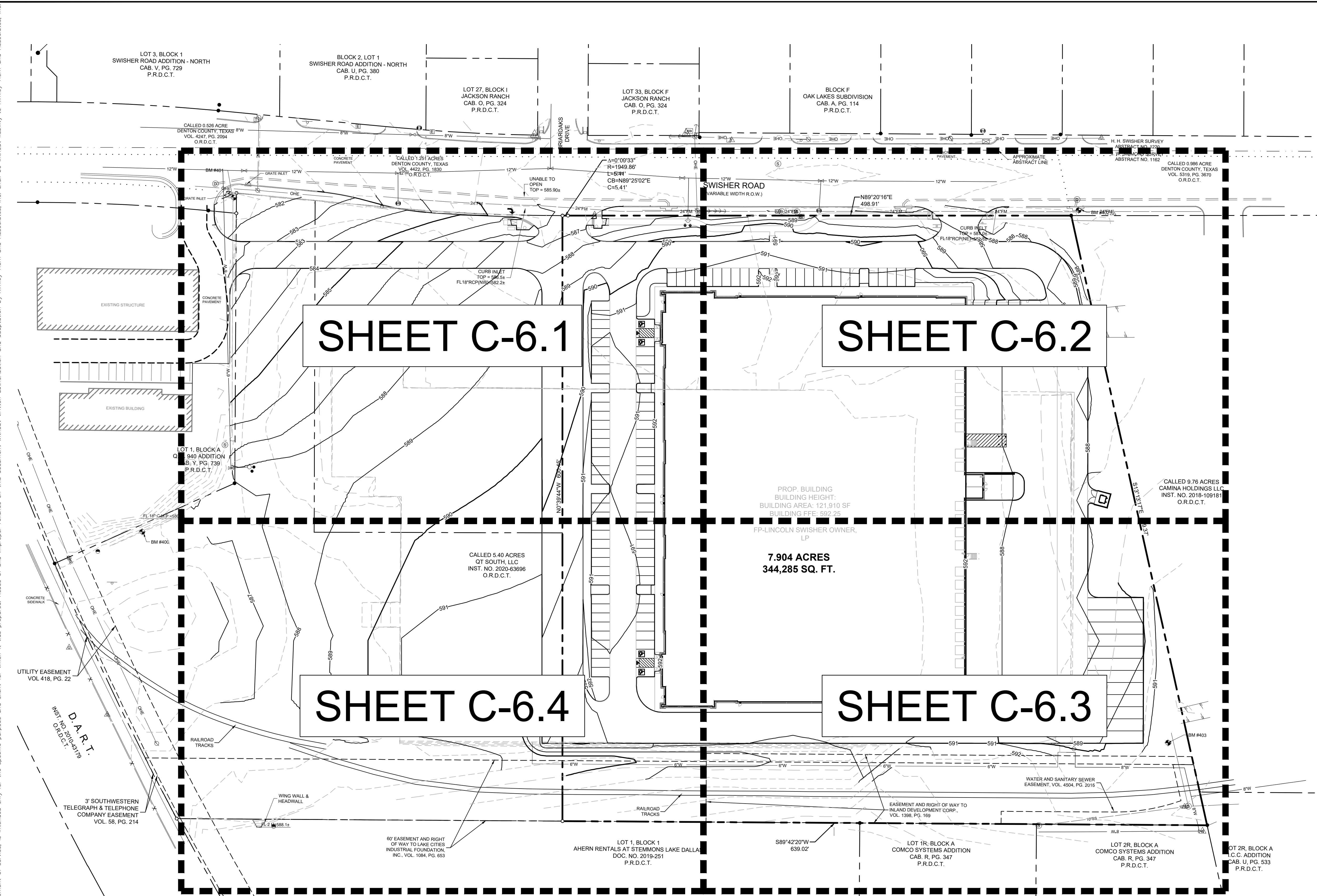
SWISHER ROAD INDUSTRIAL

EROSION CONTROL DETAILS

PREPARED FOR LINCOLN PROPERTY COMPANY

LAKE DALLAS, TEXAS

Plotted By: Moody, Aaron Date: March 25, 2025 10:41:02am File Path: \\D:\NT\Civil\063319112 - LFC Swisher Road\CAD\PlanSheets\Construction Engineering Plans\C-Grd-Cvr.dwg
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LEGEND	
	PROPERTY LINE
	PROPOSED CONTOUR
	EXISTING CONTOUR
	PROPOSED VALLEY
	PROPOSED RIDGE
	PROPOSED SPOT ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED TOP OF PAVEMENT ELEVATION
	PROPOSED FINISHED GRADE ELEVATION
	PROPOSED TOP OF WALL ELEVATION
	PROPOSED BOTTOM OF WALL ELEVATION
	EXISTING ELEVATION
	MATCH EXISTING
	PROPOSED STORM DRAINAGE LINE

- GRADING NOTES**
- TOP OF WALL AND BOTTOM OF WALL GRADE SPOT SHOTS ARE FOR GRADING PURPOSES ONLY. CONTRACTOR TO PROVIDE COMPLETE DESIGN FOR RETAINING WALLS. DESIGN SHALL BE SUBMITTED TO ENGINEER AND OWNER FOR REVIEW.
 - SPOT ELEVATIONS ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR SUBGRADE PREPARATIONS SPECIFICATIONS FOR ALL PROPOSED BUILDINGS.
 - ALL FILL MATERIAL SHALL BE COMPACTED PER GEOTECH RECOMMENDATION. REFER TO PAVING SECTION DETAILS FOR SUBGRADE PREPARATION REQUIREMENTS UNDER ALL PAVED AREAS. (REFER TO GEOTECH REPORT)
 - CONTRACTOR SHALL VERIFY ALL SIDEWALKS HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% AND A MAXIMUM CROSS SLOPE OF 2%. IF THE CONTRACTOR IDENTIFIES SLOPES GREATER, CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONSTRUCTION.
 - SPOT ELEVATIONS IDENTIFIED AS "MATCH EXISTING" SHALL BE FIELD VERIFIED. CONTRACTOR SHALL NOTIFY CIVIL ENGINEERING CONSULTANT (CEC) OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH GRADING ACTIVITIES.

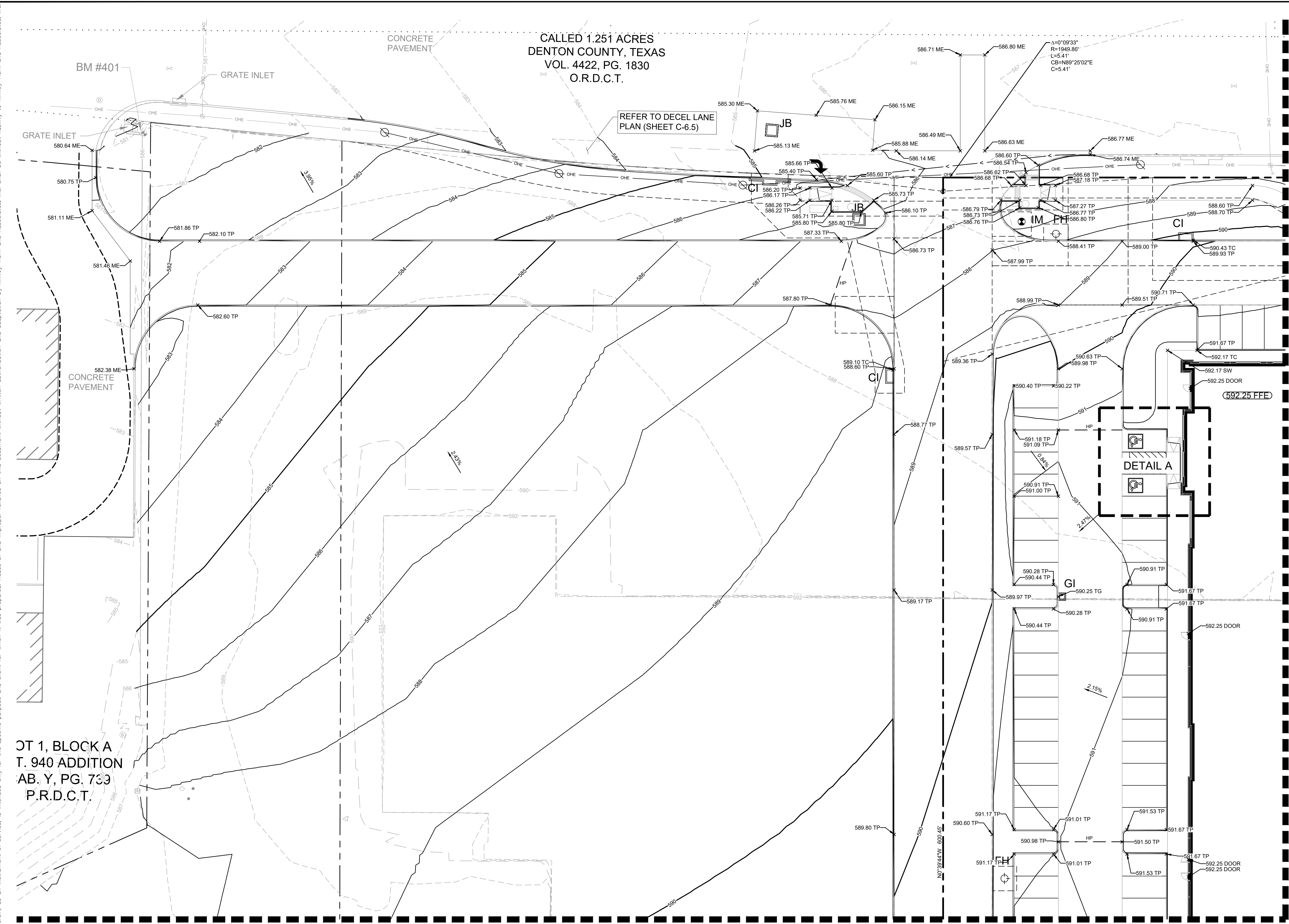
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 03/25/2025	
SCALE AS SHOWN DESIGNED BY ALM DRAWN BY ALM CHECKED BY TBB	OVERALL GRADING PLAN
SWISHER ROAD INDUSTRIAL PREPARED FOR LINCOLN PROPERTY COMPANY LAKE DALLAS, TEXAS	
DATE 03/25/2025 PROJECT NO. 063319112 SHEET NUMBER C-6.0	

CAUTION!

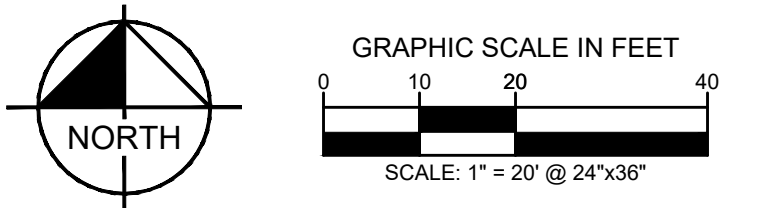
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Plotted By: Moody, Aaron Date: March 25, 2025 10:41:21am File Path: K:\DNT_Civil\063319112 - LFC Swisher Road\CAD\PlanSheets\Construction Engineering Plans\C-6-Grading.dwg
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CALLED 1.251 ACRES
 DENTON COUNTY, TEXAS
 VOL. 4422, PG. 1830
 O.R.D.C.T.



LEGEND

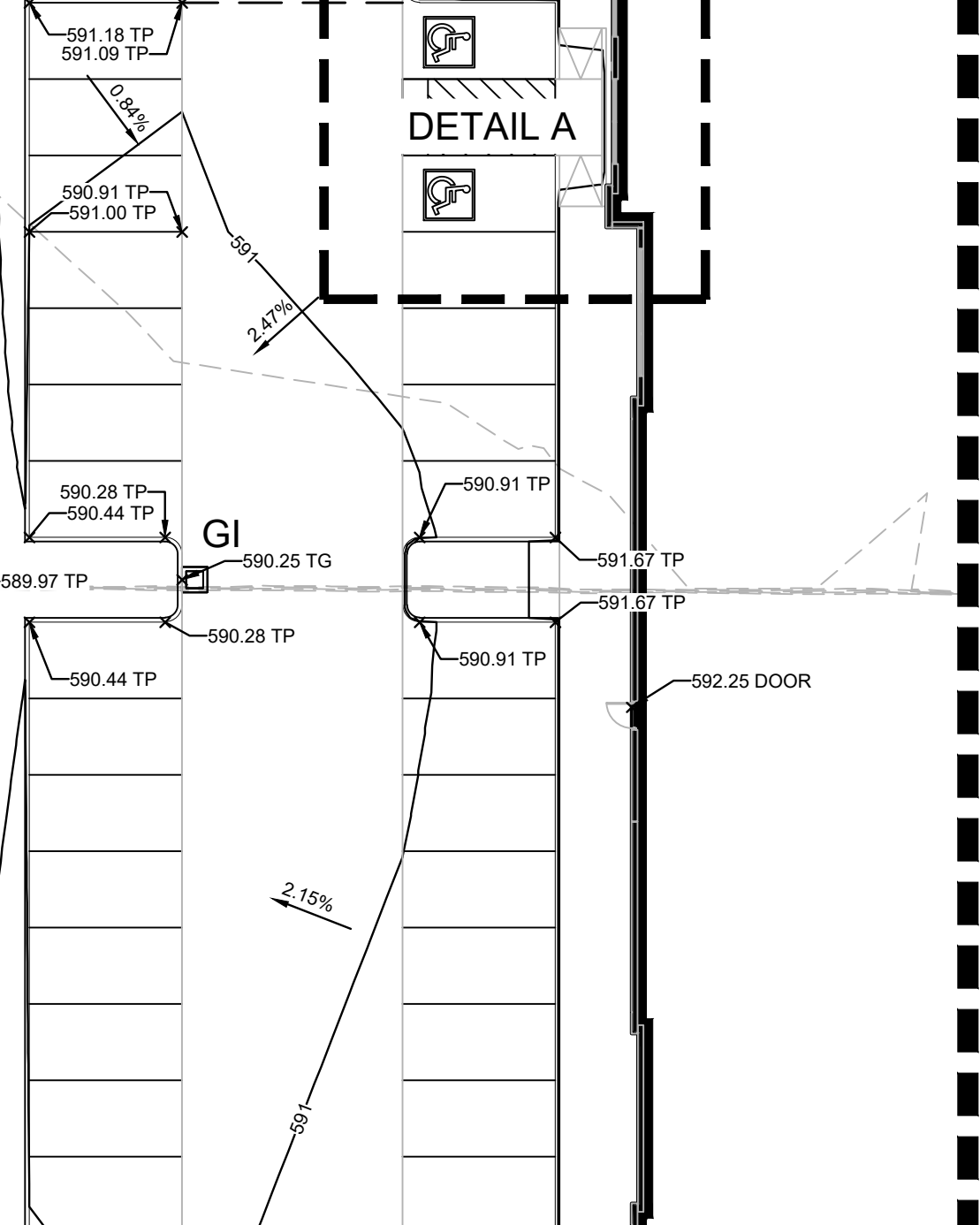
	PROPERTY LINE
	PROPOSED CONTOUR
	EXISTING CONTOUR
	PROPOSED VALLEY
	PROPOSED RIDGE
	PROPOSED SPOT ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED TOP OF PAVEMENT ELEVATION
	PROPOSED FINISHED GRADE ELEVATION
	PROPOSED TOP OF WALL ELEVATION
	PROPOSED BOTTOM OF WALL ELEVATION
	EXISTING ELEVATION
	MATCH EXISTING
	PROPOSED STORM DRAINAGE LINE

GRADING NOTES

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MATCHLINE SHEET C-6.2

DETAIL A



DETAIL A
SCALE 1"=10'

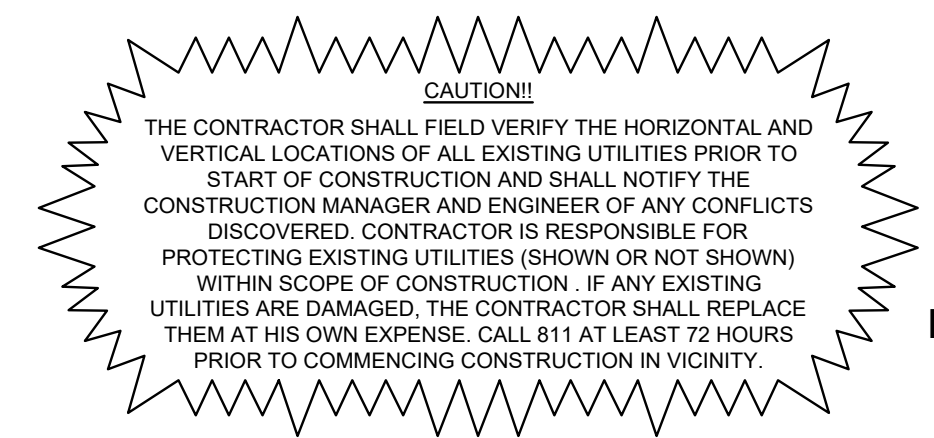
BENCHMARKS

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 N: 7097809.7207', E: 2416644.1497', ELEV: 587.33'
- BM# 401** SET ON THE CORNER OF A RETAINING WALL LOCATED ±50' SOUTH OF THE CENTERLINE OF SWISHER ROAD IN THE NORTHEAST CORNER OF LOT 1, BLOCK A OF C.T. 940 ADDITION.
 N: 7098142.1520', E: 2416731.0357', ELEV: 586.67'
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 N: 7098139.2405', E: 2417568.6048', ELEV: 586.84'
- BM# 403** SET ON THE CONCRETE IN THE SOUTHEAST CORNER OF PROPERTY ±15' WEST OF PROPERTY FENCE.
 N: 7097612.1417', E: 2417663.3666', ELEV: 591.59'

OT 1, BLOCK A
 T. 940 ADDITION
 AB. Y, PG. 739
 P.R.D.C.T.

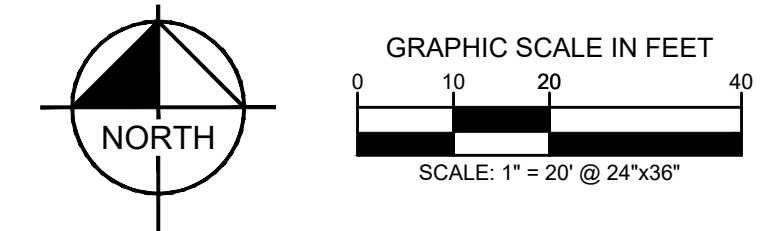
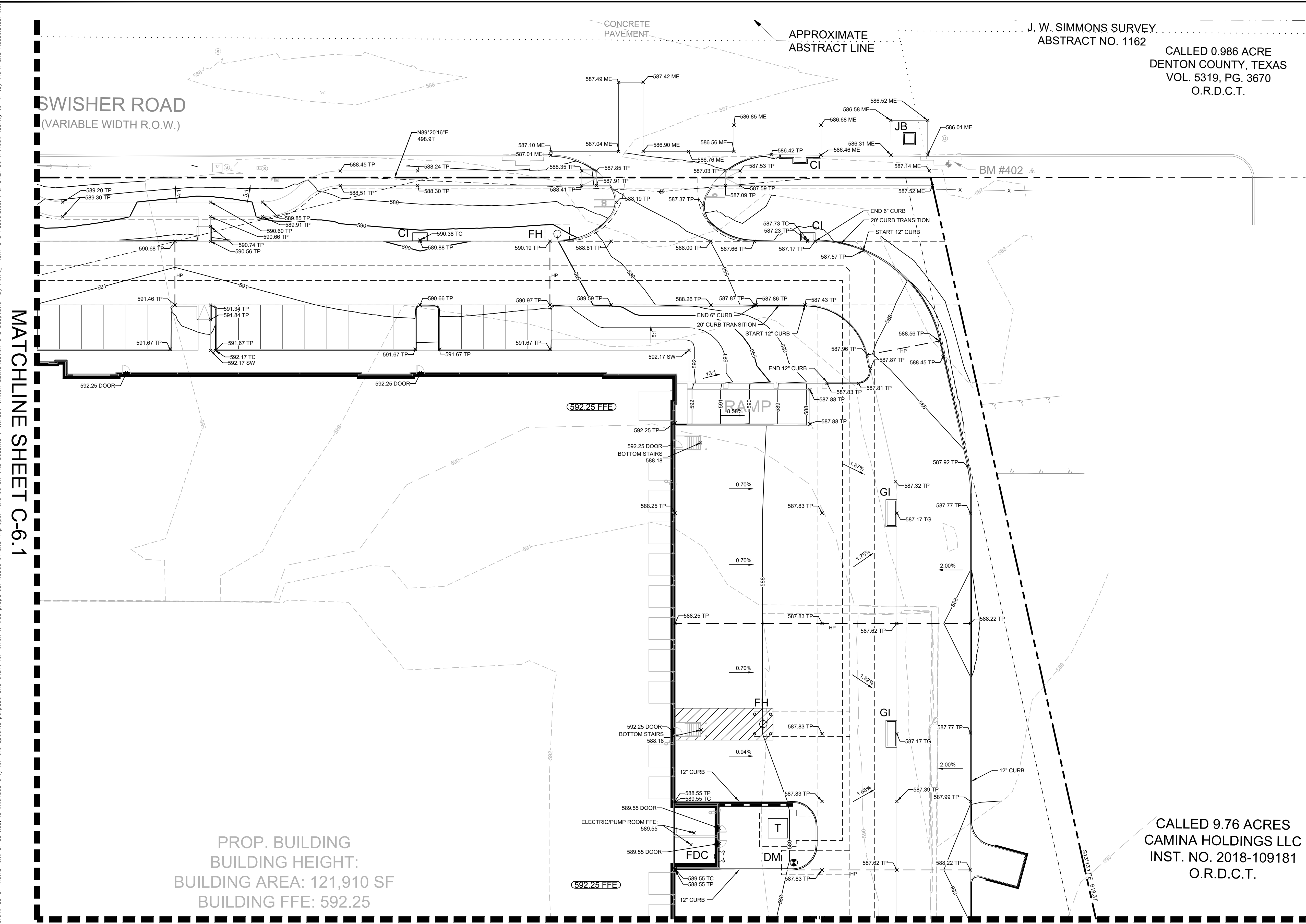
MATCHLINE SHEET C-6.4

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SCALE AS SHOWN DESIGNED BY ALM DRAWN BY ALM CHECKED BY TBB	GRADING PLAN
SWISHER ROAD INDUSTRIAL PREPARED FOR LINCOLN PROPERTY COMPANY LAKE DALLAS, TEXAS	DATE: 03/25/2025 PROJECT NO: 063319112 SHEET NUMBER: C-6.1



811
 Know what's below.
 Call before you dig.

Plotted By: Moody, Aaron Date: March 25, 2025 10:41:22am File Path: \\D:\NT\Civil\063319112 - LFC Swisher Road\CAD\PlanSheets\Construction Engineering Plans\C-6-Grading.dwg
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LEGEND

	PROPERTY LINE
	PROPOSED CONTOUR
	EXISTING CONTOUR
	PROPOSED VALLEY
	PROPOSED RIDGE
	PROPOSED SPOT ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED TOP OF PAVEMENT ELEVATION
	PROPOSED FINISHED GRADE ELEVATION
	PROPOSED TOP OF WALL ELEVATION
	PROPOSED BOTTOM OF WALL ELEVATION
	EXISTING ELEVATION
	MATCH EXISTING
	PROPOSED STORM DRAINAGE LINE

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BENCHMARKS

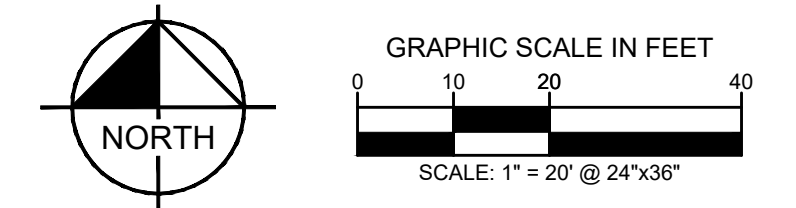
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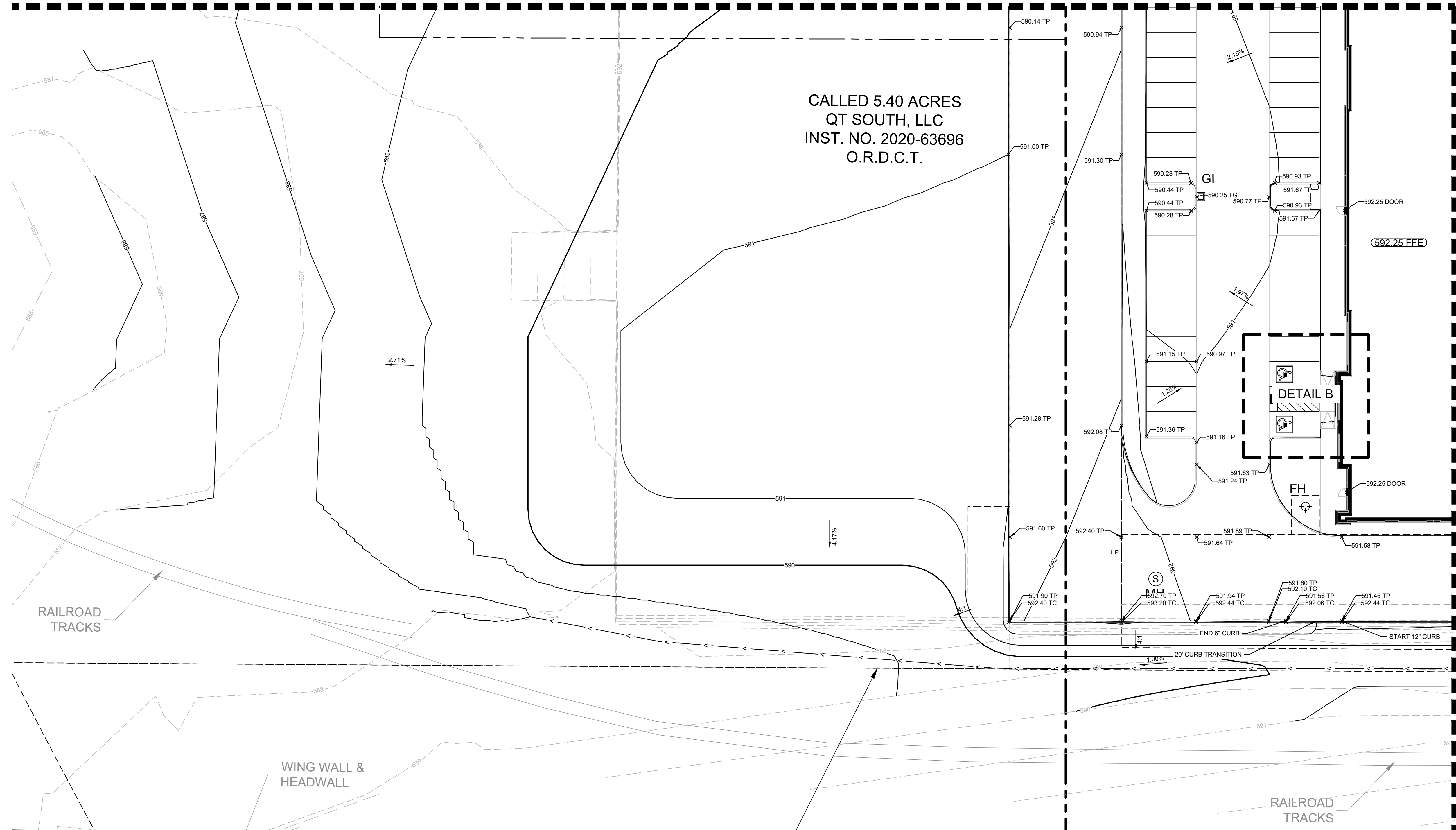


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<p>03/25/2025</p>	<p>SCALE</p> <p>AS SHOWN</p> <p>DESIGNED BY</p> <p>ALM</p> <p>DRAWN BY</p> <p>ALM</p> <p>CHECKED BY</p> <p>TBB</p>
<p>GRADING PLAN</p>	
<p>SWISHER ROAD INDUSTRIAL</p> <p>PREPARED FOR</p> <p>LINCOLN PROPERTY COMPANY</p> <p>LAKE DALLAS, TEXAS</p>	
<p>DATE</p> <p>03/25/2025</p> <p>PROJECT NO.</p> <p>063319112</p> <p>SHEET NUMBER</p> <p>C-6.2</p>	

MATCHLINE SHEET C-6.1



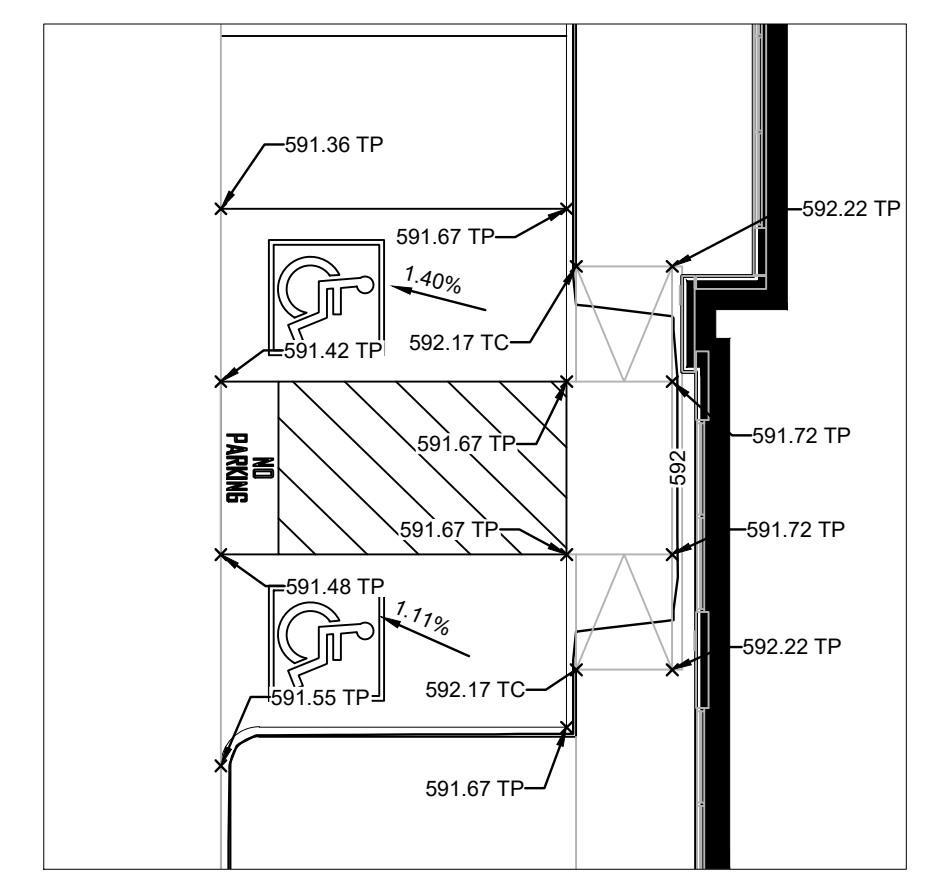
CALLED 5.40 ACRES
QT SOUTH, LLC
INST. NO. 2020-63696
O.R.D.C.T.



LEGEND

---	PROPERTY LINE
---	PROPOSED CONTOUR
---	EXISTING CONTOUR
<---	PROPOSED VALLEY
---	PROPOSED RIDGE
X 500.00	PROPOSED SPOT ELEVATION
TC	PROPOSED TOP OF CURB ELEVATION
TP	PROPOSED TOP OF PAVEMENT ELEVATION
FG	PROPOSED FINISHED GRADE ELEVATION
TW	PROPOSED TOP OF WALL ELEVATION
BW	PROPOSED BOTTOM OF WALL ELEVATION
EX	EXISTING ELEVATION
ME	MATCH EXISTING
---	PROPOSED STORM DRAINAGE LINE

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MATCHLINE SHEET C-6.3

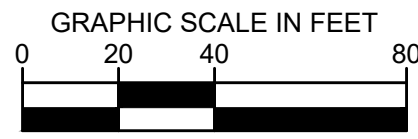
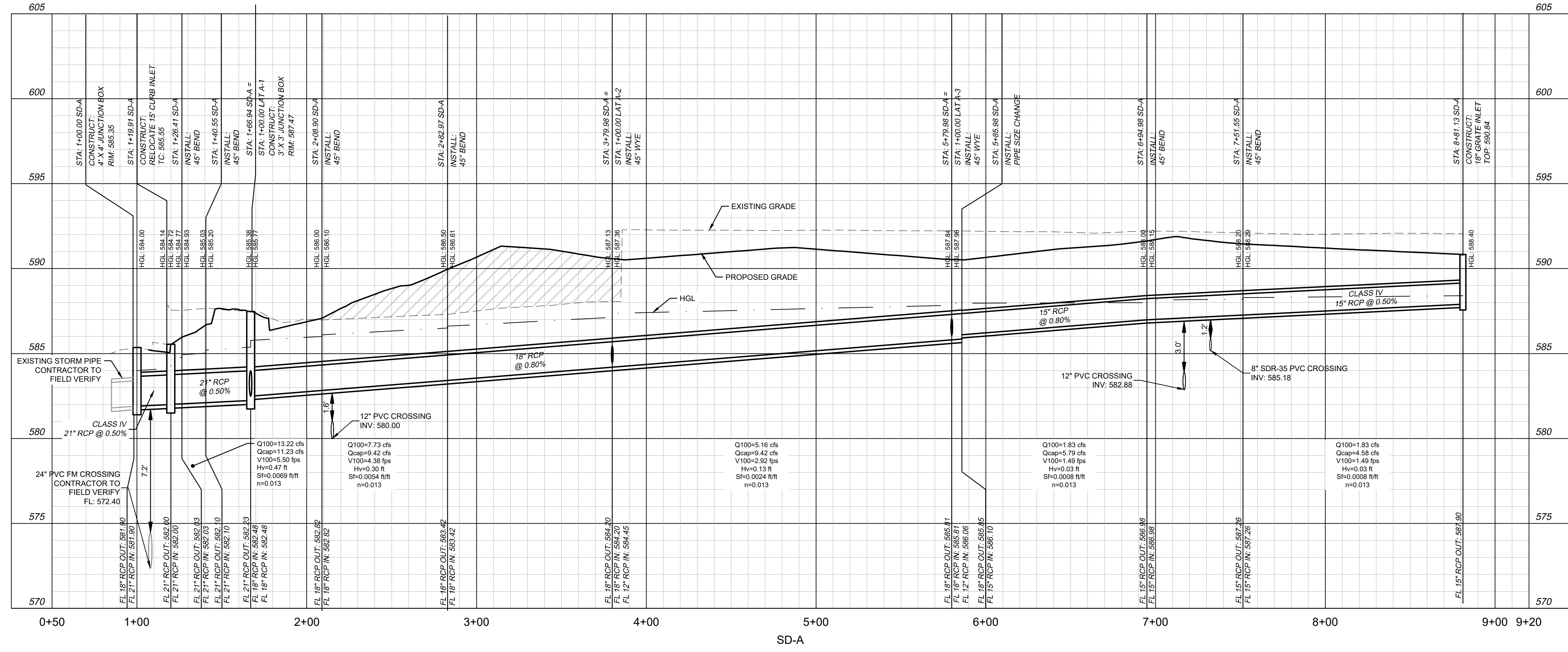
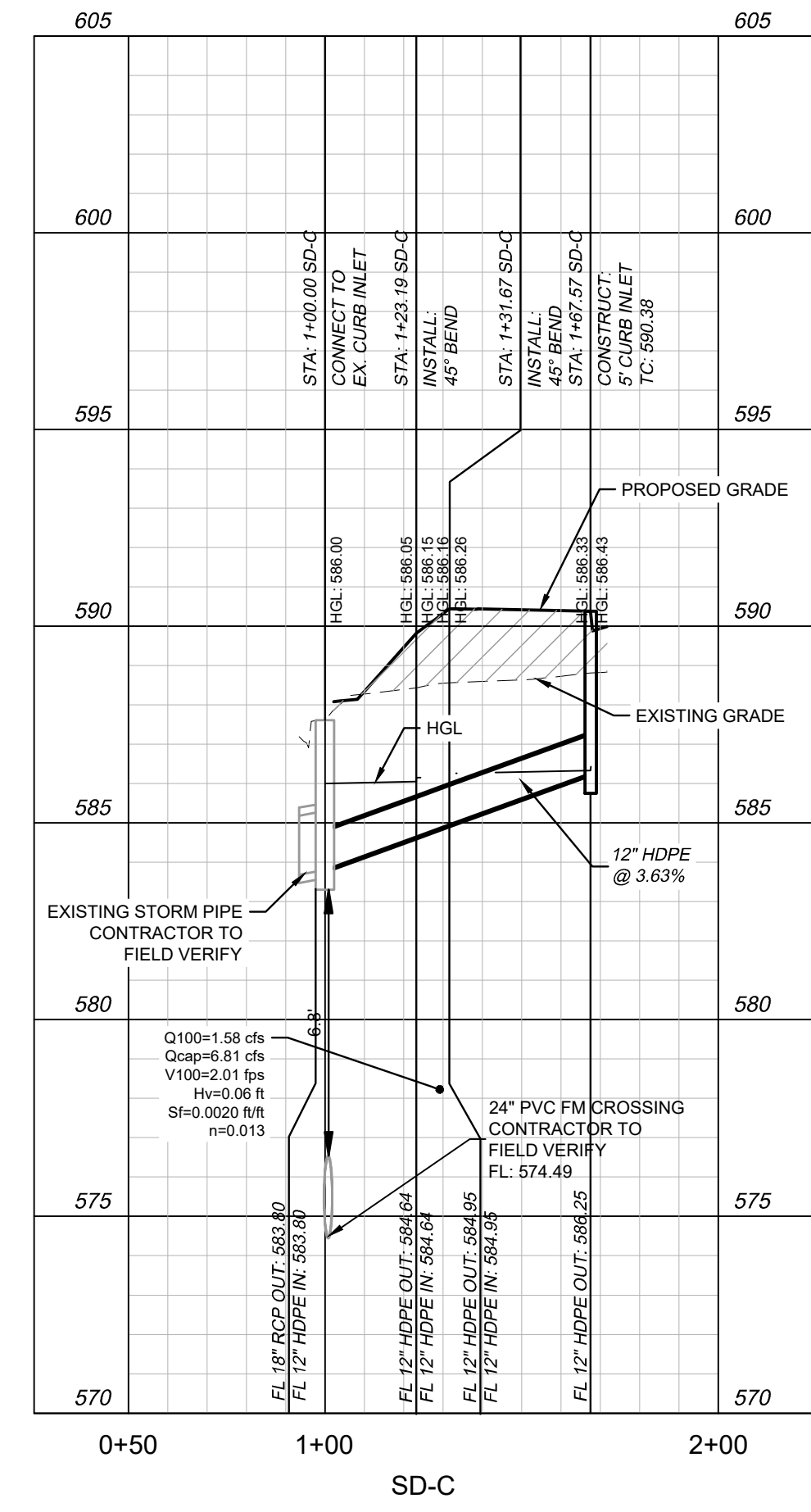
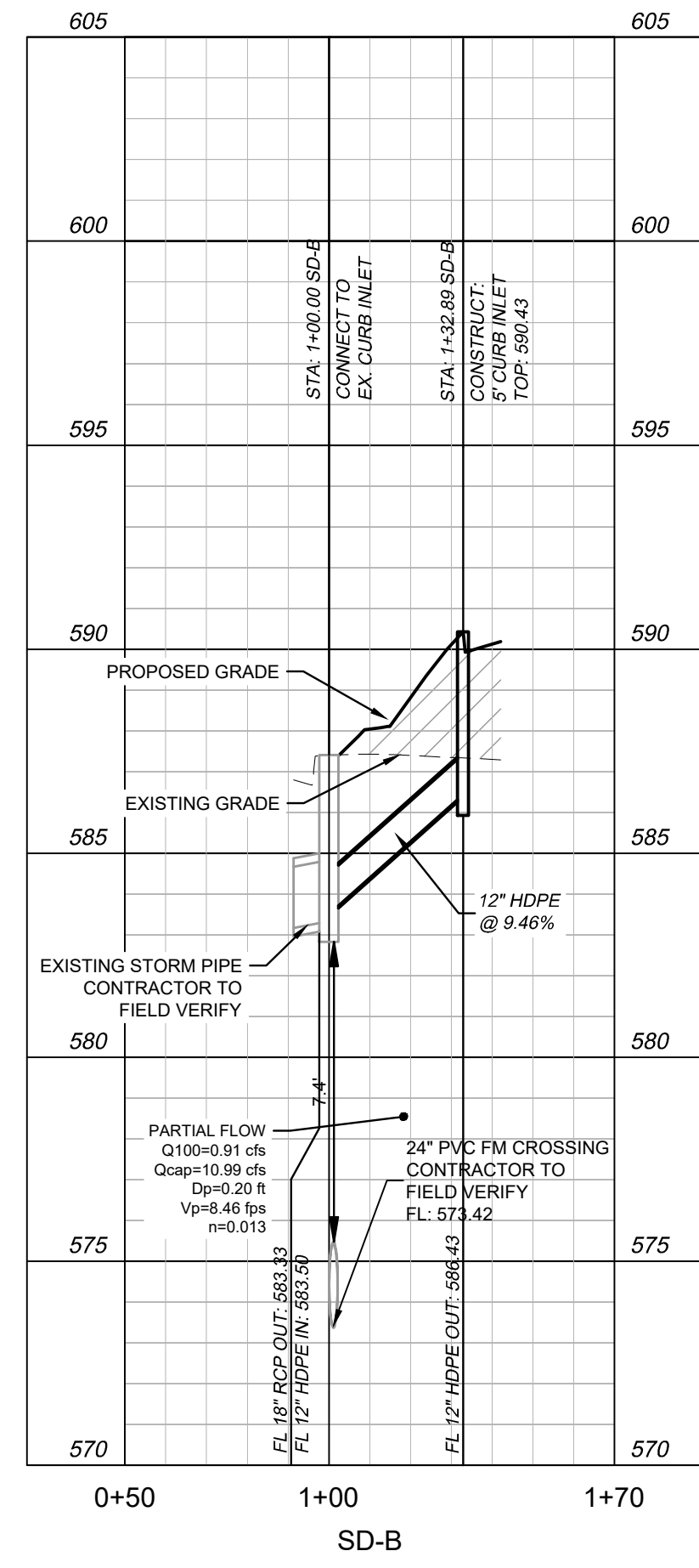
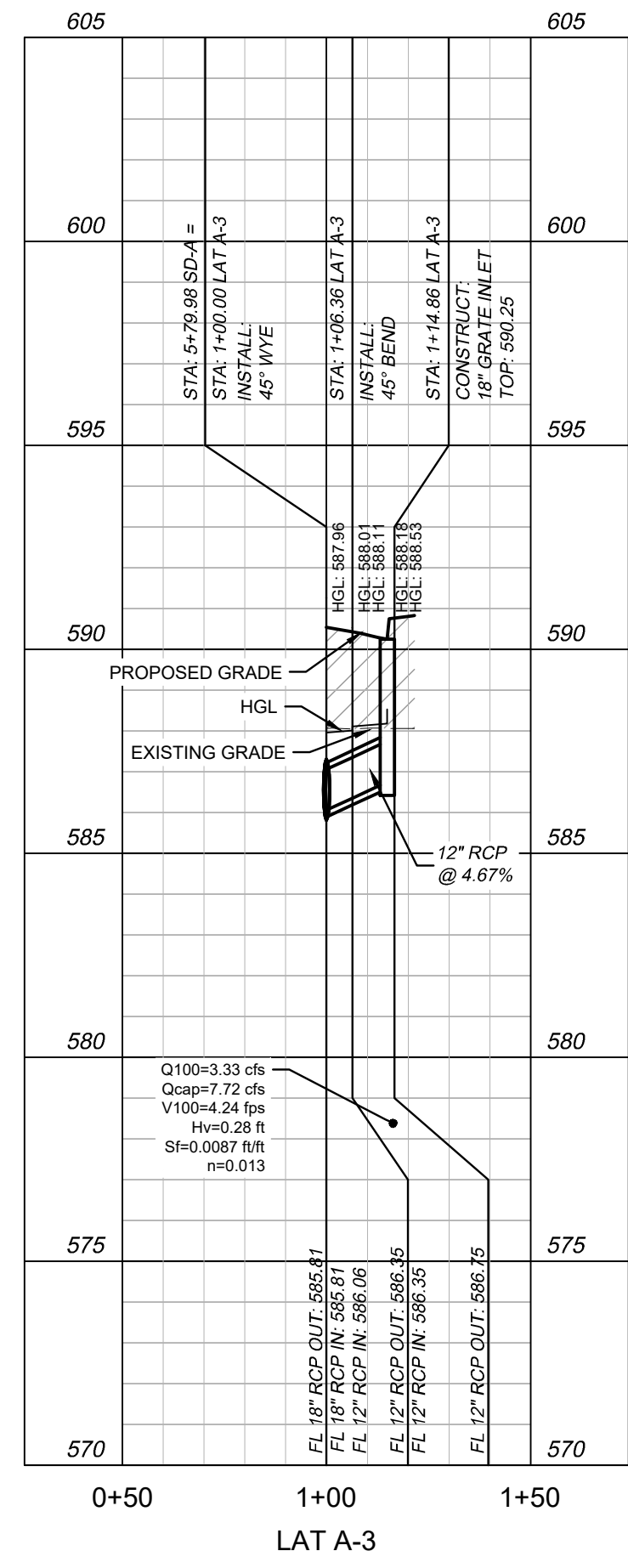
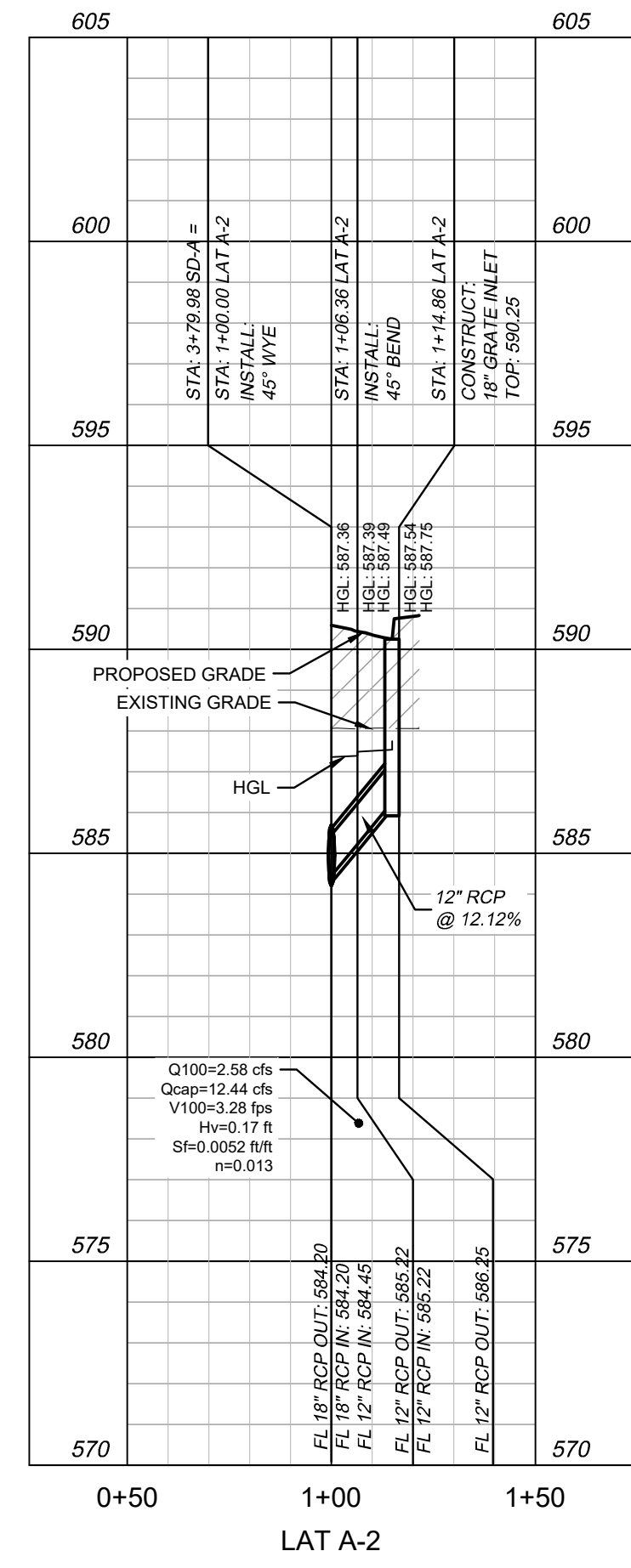
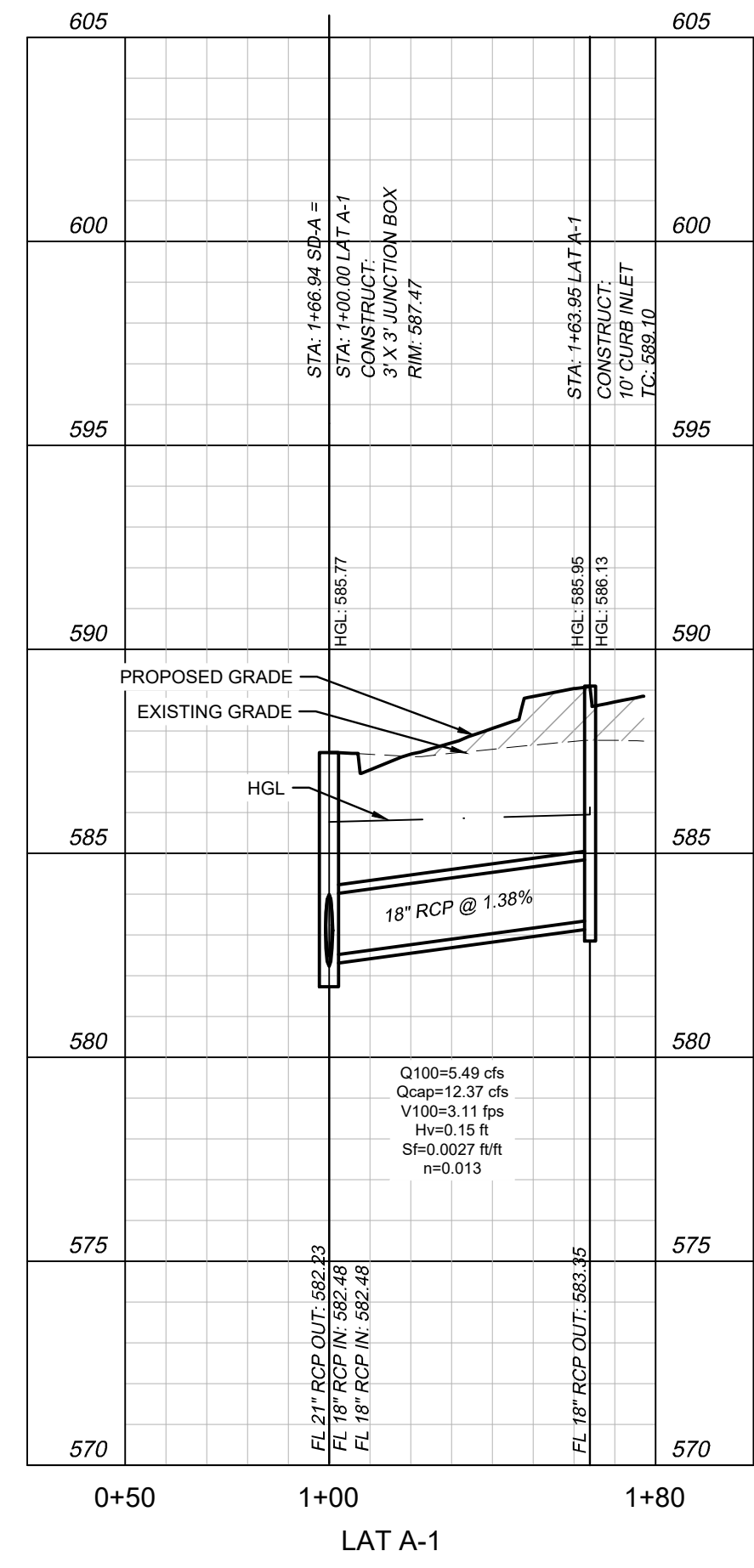
60' EASEMENT AND RIGHT OF WAY TO LAKE CITIES INDUSTRIAL FOUNDATION, INC., VOL. 1084, PG. 653

LOT 1, BLOCK 1
AHERN RENTALS AT STEMMONS LAKE DALLAS
DOC. NO. 2019-251
P.R.D.C.T.

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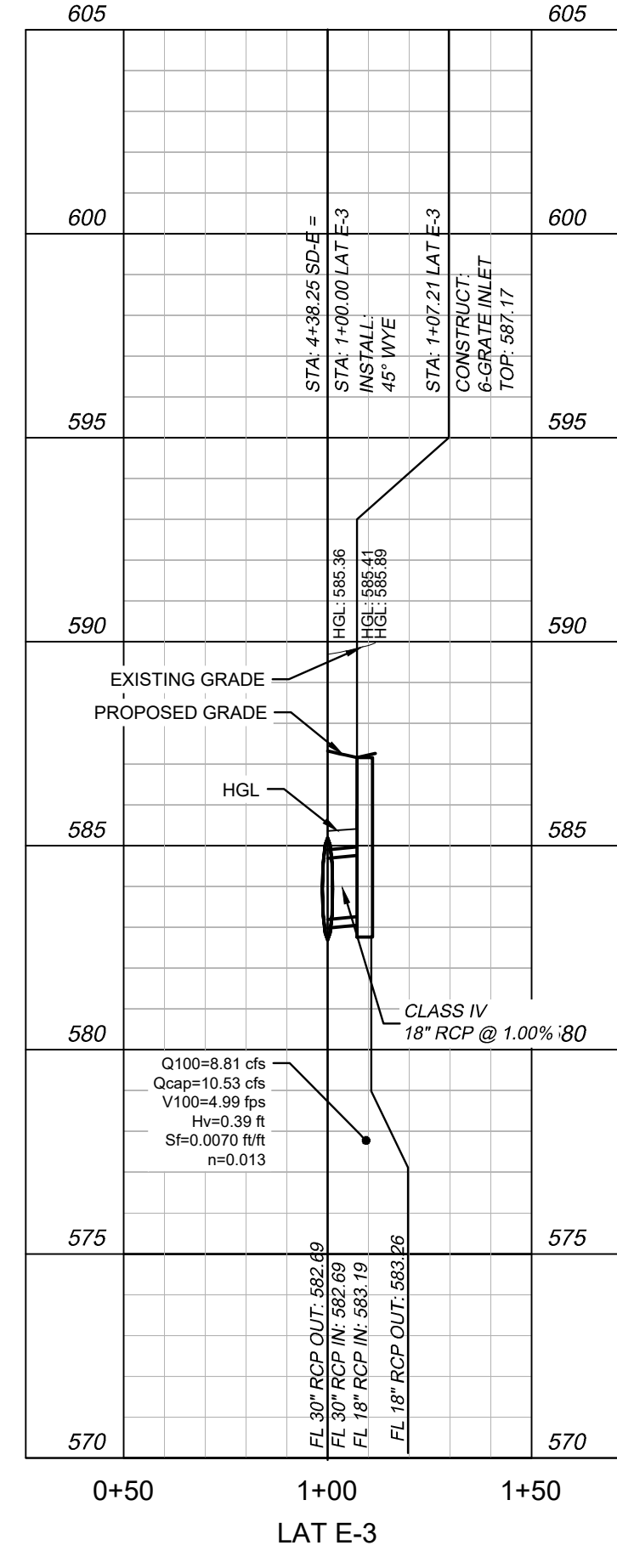
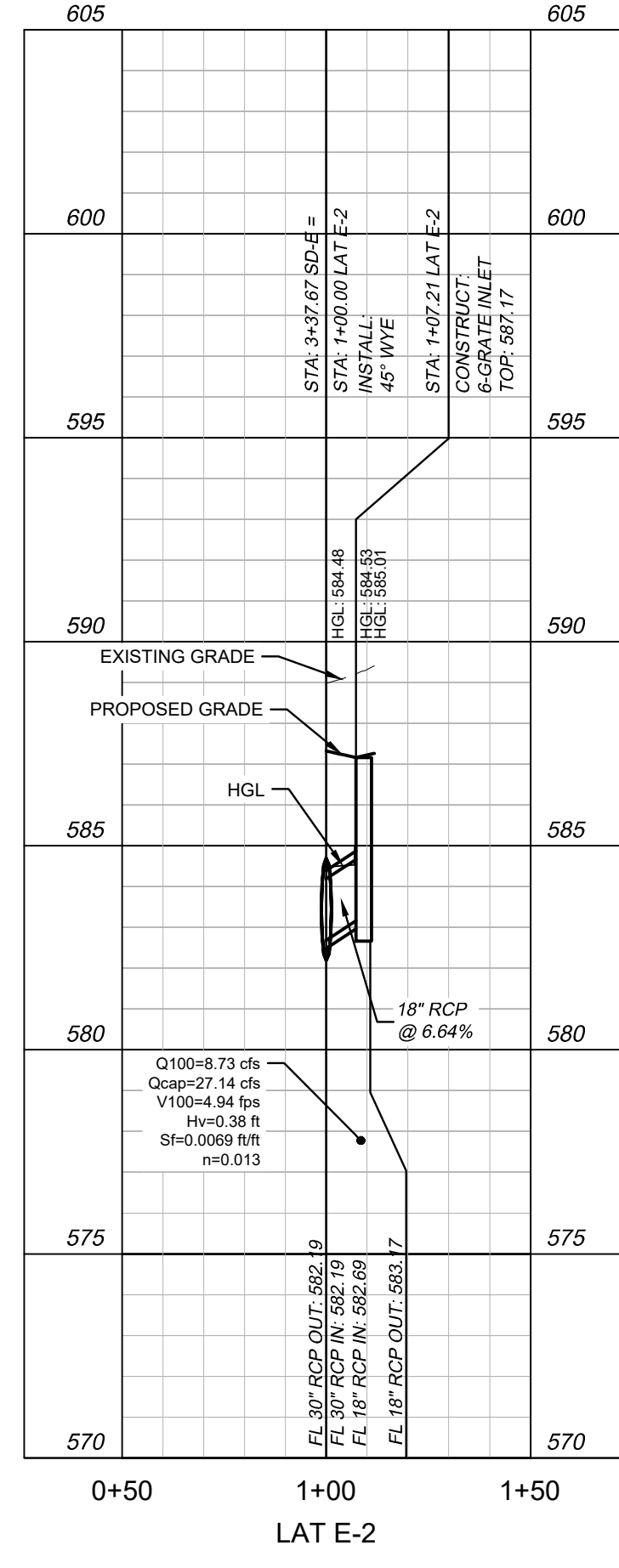
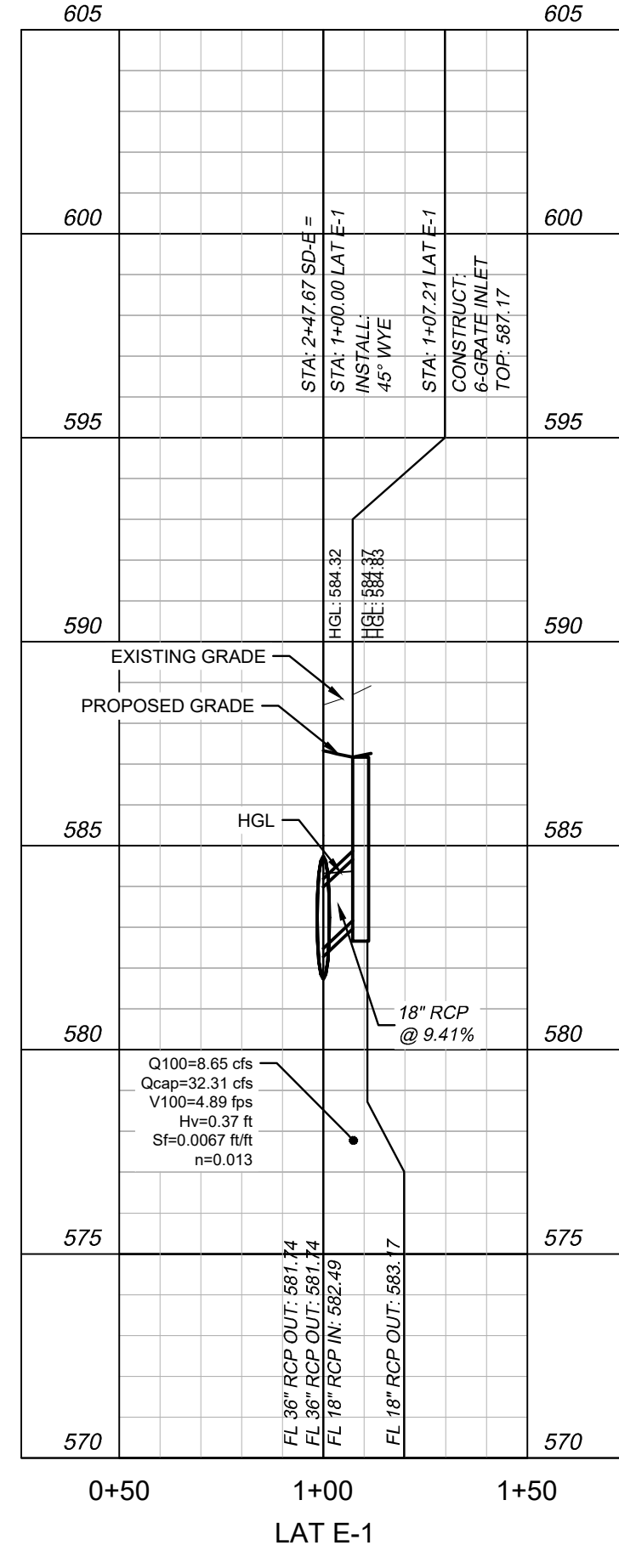
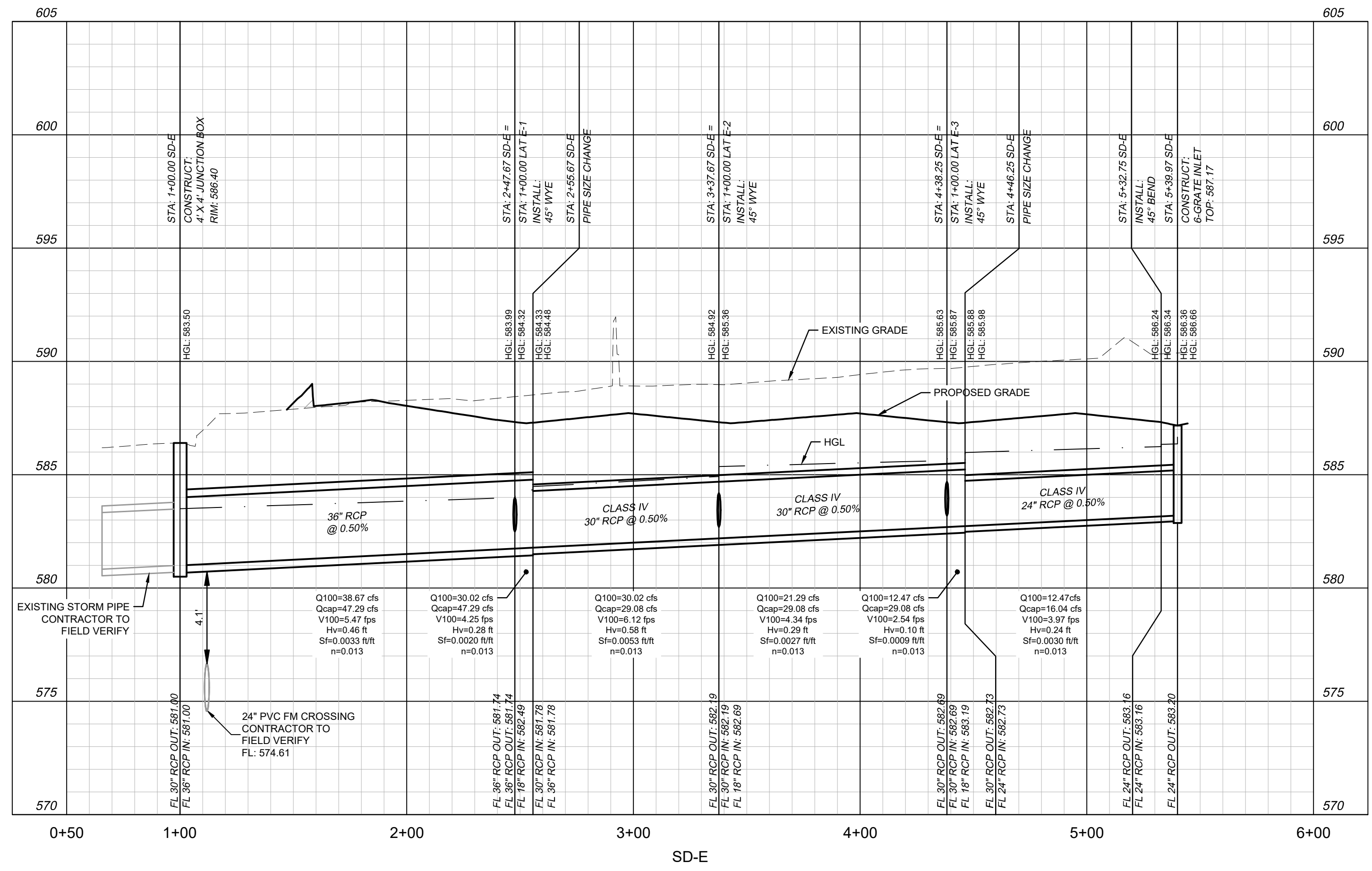
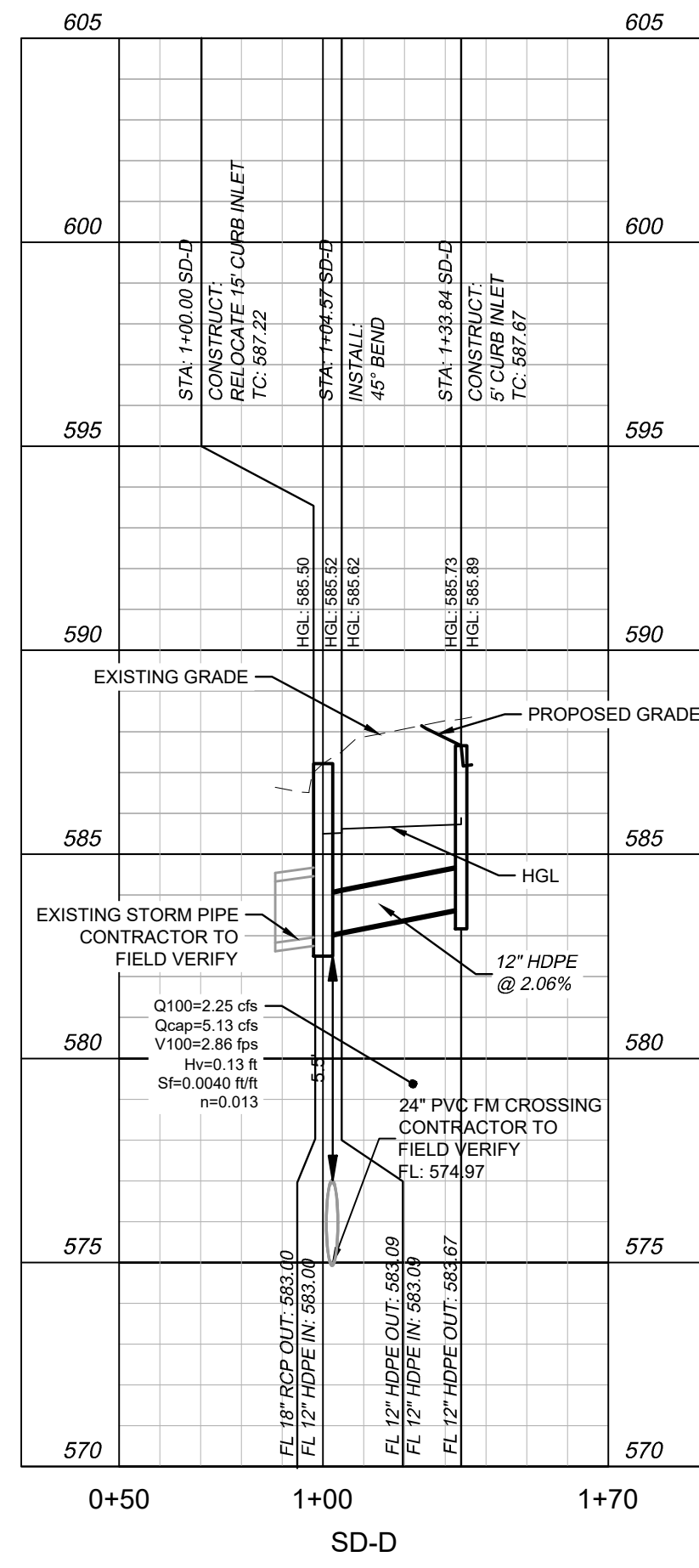
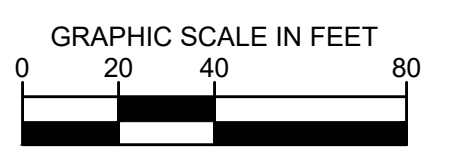
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	No.	
<p>03/25/2025</p>	SCALE	AS SHOWN
DESIGNED BY	ALM	
DRAWN BY	ALM	
CHECKED BY	TBB	
GRADING PLAN		
SWISHER ROAD INDUSTRIAL	TEXAS	
PREPARED FOR	LINCOLN PROPERTY COMPANY	
LAKE DALLAS		
DATE	03/25/2025	
PROJECT NO.	063319112	
SHEET NUMBER	C-6.4	

Plotted By: Moody, Aaron Date: March 25, 2025 10:42:06am File Path: K:\DNT_Civil\063319112 - LFC Swisher Road\CAD\PlanSheets\Construction Engineering Plans\C-Storm.dwg
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	<p>03/25/2025</p>		
<p>SCALE</p> <p>AS SHOWN</p> <p>DESIGNED BY</p> <p>ALM</p> <p>DRAWN BY</p> <p>ALM</p> <p>CHECKED BY</p> <p>TBB</p>	<p>STORM PROFILES</p>		
<p>SWISHER ROAD INDUSTRIAL</p> <p>PREPARED FOR</p> <p>LINCOLN PROPERTY COMPANY</p> <p>LAKE DALLAS</p> <p>TEXAS</p>	<p>DATE</p> <p>03/25/2025</p> <p>PROJECT NO.</p> <p>063319112</p> <p>SHEET NUMBER</p> <p>C-7.1</p>		

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SCALE	DESIGNED BY	DRAWN BY	CHECKED BY	REVISIONS
AS SHOWN	ALM	ALM	TBB	DATE
STORM PROFILES				
SWISHER ROAD INDUSTRIAL PREPARED FOR LINCOLN PROPERTY COMPANY LAKE DALLAS, TEXAS				
DATE: 03/25/2025				
PROJECT NO. 063319112				
SHEET NUMBER C-7.2				

STORM CALCULATIONS

STORM LINE A

STA. Dwnstr.	STA. Upstr.	Upstr. Structure	Dist.	FL Elev. Dwnstr.	TP Elev. Dwnstr.	FL Elev. Upstr.	TP Elev. Upstr.	Pipe Slope	RCP or RCB	RCP Dia.	RCB Height	RCB Width	# of Barrels	Mng.'s "n"	Intercepted Area "A"	Runoff Coefficient "C"	Incremental "CA"	Accumulated "CA"	Time @ Upstr. Sta.	Design Freq.	Intensity "I"	Q indiv.	Q Design	Vel. Full	V _{cap}	Q _{cap}	Dn	Vp	Vph	Friction Slope	Friction Loss	Velocity Head	Head Loss Coeff.	Minor Losses	HGL El Dwnstr.	HGL El Upstr.	HGL El Upstr.	Throat El.	FLOW TYPE
1+00.00	1+19.91	INLET	19.91	581.90	583.65	582.00	583.75	0.50%	RCP	21.00			1	0.013	0.00	0.90	0.00	1.43	10	100	9.24	0.00	13.22	5.50	4.67	11.23	--	--	--	0.0069	0.14	0.47	1.25	0.59	584.00	584.14	584.72	585.50	FULL FLOW
1+19.91	1+26.41	45B	6.50	582.00	583.75	582.03	583.78	0.50%	RCP	21.00			1	0.013	0.00	0.90	0.00	1.43	10	100	9.24	0.00	13.22	5.50	4.67	11.23	--	--	--	0.0069	0.05	0.47	0.35	0.16	584.72	584.77	584.93	586.20	FULL FLOW
1+26.41	1+40.55	45B	14.14	582.03	583.78	582.10	583.85	0.50%	RCP	21.00			1	0.013	0.00	0.90	0.00	1.43	10	100	9.24	0.00	13.22	5.50	4.67	11.23	--	--	--	0.0069	0.10	0.47	0.35	0.16	584.93	585.03	585.20	586.60	FULL FLOW
1+40.55	1+66.94	MH00	26.39	582.10	583.85	582.23	583.98	0.50%	RCP	21.00			1	0.013	0.66	0.90	0.59	1.43	10	100	9.24	5.49	13.22	5.50	4.67	11.23	--	--	--	0.0069	0.18	0.47	0.25	0.39	585.20	585.38	585.77	586.94	FULL FLOW
1+66.94	2+08.90	45B	41.96	582.23	583.73	582.57	584.07	0.80%	RCP	18.00			1	0.013	0.00	0.90	0.00	0.84	10	100	9.24	0.00	7.73	4.38	5.33	9.42	--	--	--	0.0054	0.23	0.30	0.35	0.10	585.77	586.00	586.10	587.30	FULL FLOW
2+08.90	2+82.97	45B	74.07	582.57	584.07	583.16	584.66	0.80%	RCP	18.00			1	0.013	0.00	0.90	0.00	0.84	10	100	9.24	0.00	7.73	4.38	5.33	9.42	--	--	--	0.0054	0.40	0.30	0.35	0.10	586.10	586.50	586.61	589.96	FULL FLOW
2+82.97	3+79.98	45Y	97.01	583.16	584.66	583.94	585.44	0.80%	RCP	18.00			1	0.013	0.31	0.90	0.28	0.84	10	100	9.24	2.58	7.73	4.38	5.33	9.42	--	--	--	0.0054	0.52	0.30	0.50	0.23	586.61	587.13	587.36	590.50	FULL FLOW
3+79.98	5+79.98	45Y	200.00	583.94	585.44	585.54	587.04	0.80%	RCP	18.00			1	0.013	0.40	0.90	0.36	0.56	10	100	9.24	3.33	5.16	2.92	5.33	9.42	--	--	--	0.0024	0.48	0.13	0.50	0.11	587.36	587.84	587.96	590.50	FULL FLOW
5+79.98	6+94.98	45B	115.00	585.79	587.04	586.71	587.96	0.80%	RCP	15.00			1	0.013	0.00	0.90	0.00	0.20	10	100	9.24	0.00	1.83	1.49	4.72	5.79	--	--	--	0.0008	0.09	0.03	0.35	0.10	587.96	588.05	588.15	591.60	FULL FLOW
6+94.98	7+51.55	45B	56.57	586.71	587.96	586.99	588.24	0.50%	RCP	15.00			1	0.013	0.00	0.90	0.00	0.20	10	100	9.24	0.00	1.83	1.49	3.73	4.58	--	--	--	0.0008	0.05	0.03	0.35	0.10	588.15	588.19	588.29	591.46	FULL FLOW
7+51.55	8+81.13	INLET	129.58	586.99	588.24	587.64	588.89	0.50%	RCP	15.00			1	0.013	0.22	0.90	0.20	0.20	10	100	9.24	1.83	1.83	1.49	3.73	4.58	0.55	3.52	0.19	0.0008	0.10	0.03	1.25	0.35	588.11	588.18	588.53	590.25	PARTIAL
LAT A-1	1+00.00	1+63.95	INLET	63.95	582.48	583.98	583.36	1.38%	RCP	18.00			1	0.013	0.66	0.90	0.59	0.59	10	100	9.24	5.49	5.49	3.11	7.00	12.37	--	--	--	0.0027	0.17	0.15	1.25	0.19	585.77	585.95	586.13	589.08	FULL FLOW
LAT A-2	1+00.00	1+06.36	45B	6.36	584.72	585.72	585.49	12.12%	RCP	12.00			1	0.013	0.00	0.90	0.00	0.28	10	100	9.24	0.00	2.58	3.28	15.84	12.44	--	--	--	0.0052	0.03	0.17	0.35	0.10	587.36	587.39	587.49	590.44	FULL FLOW
1+06.36	1+14.86	INLET	8.50	585.49	586.49	586.52	587.52	12.12%	RCP	12.00			1	0.013	0.31	0.90	0.28	0.28	10	100	9.24	2.58	2.58	3.28	15.84	12.44	--	--	--	0.0052	0.04	0.17	1.25	0.21	587.49	587.54	587.75	590.28	FULL FLOW
LAT A-3	1+00.00	1+06.36	45B	6.36	586.13	587.13	586.43	4.67%	RCP	12.00			1	0.013	0.00	0.90	0.00	0.36	10	100	9.24	0.00	3.33	4.24	9.83	7.72	--	--	--	0.0087	0.06	0.28	0.35	0.10	587.96	588.01	588.11	590.43	FULL FLOW
1+06.36	1+14.86	INLET	8.50	586.43	587.43	586.62	587.82	4.67%	RCP	12.00			1	0.013	0.40	0.90	0.36	0.36	10	100	9.24	3.33	3.33	4.24	9.83	7.72	--	--	--	0.0087	0.07	0.28	1.25	0.35	588.11	588.18	588.53	590.25	FULL FLOW

STORM LINE B

STA. Dwnstr.	STA. Upstr.	Upstr. Structure	Dist.	FL Elev. Dwnstr.	TP Elev. Dwnstr.	FL Elev. Upstr.	TP Elev. Upstr.	Pipe Slope	RCP or RCB	RCP Dia.	RCB Height	RCB Width	# of Barrels	Mng.'s "n"	Intercepted Area "A"	Runoff Coefficient "C"	Incremental "CA"	Accumulated "CA"	Time @ Upstr. Sta.	Design Freq.	Intensity "I"	Q indiv.	Q Design	Vel. Full	V _{cap}	Q _{cap}	Dn	Vp	Vph	Friction Slope	Friction Loss	Velocity Head	Head Loss Coeff.	Minor Losses	HGL El Dwnstr.	HGL El Upstr.	HGL El Upstr.	Throat El.	FLOW TYPE
1+00.00	1+32.89	INLET	32.89	583.50	584.50	586.61	587.61	9.46%	RCP	12.00			1	0.013	0.11	0.90	0.10	0.10	10	100	9.24	0.91	0.91	1.46	13.99	10.99	0.20	8.46	1.11	0.0007	0.02	0.02	1.25	0.10	585.50	585.52	---	590.43	PARTIAL

STORM LINE C

STA. Dwnstr.	STA. Upstr.	Upstr. Structure	Dist.	FL Elev. Dwnstr.	TP Elev. Dwnstr.	FL Elev. Upstr.	TP Elev. Upstr.	Pipe Slope	RCP or RCB	RCP Dia.	RCB Height	RCB Width	# of Barrels	Mng.'s "n"	Intercepted Area "A"	Runoff Coefficient "C"	Incremental "CA"	Accumulated "CA"	Time @ Upstr. Sta.	Design Freq.	Intensity "I"	Q indiv.	Q Design	Vel. Full	V _{cap}	Q _{cap}	Dn	Vp	Vph	Friction Slope	Friction Loss	Velocity Head	Head Loss Coeff.	Minor Losses	HGL El Dwnstr.	HGL El Upstr.	HGL El Upstr.	Throat El.	FLOW TYPE
1+00.00	1+23.19	45B	23.19	583.80	584.80	584.64	585.64	3.63%	RCP	12.00			1	0.013	0.00	0.90	0.00	0.17	10	100	9.24	0.00	1.58	2.01	8.67	6.81	--	--	--	0.0020	0.05	0.06	0.35	0.10	586.00	586.05	586.15	589.82	FULL FLOW
1+23.19	1+31.67	45B	8.48	584.64	585.64	584.95	585.95	3.63%	RCP	12.00			1	0.013	0.00	0.90	0.00	0.17	10	100	9.24	0.00	1.58	2.01	8.67	6.81	--	--	--	0.0020	0.02	0.06	0.35	0.10	586.15	586.16	586.26	590.45	FULL FLOW
1+31.67	1+67.57	INLET	35.90	584.95	585.95	586.25	587.25	3.63%	RCP	12.00			1	0.013	0.19	0.90	0.17	0.17	10	100	9.24	1.58	1.58	2.01	8.67	6.81	--	--	--	0.0020	0.07	0.06	1.25	0.10	586.26	586.33	586.43	590.39	FULL FLOW

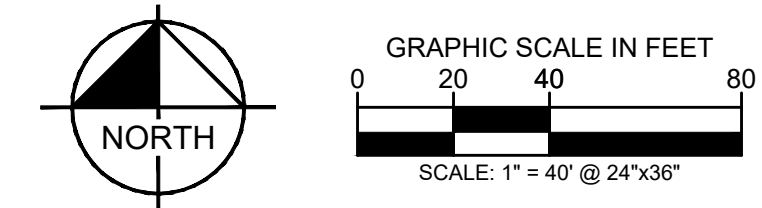
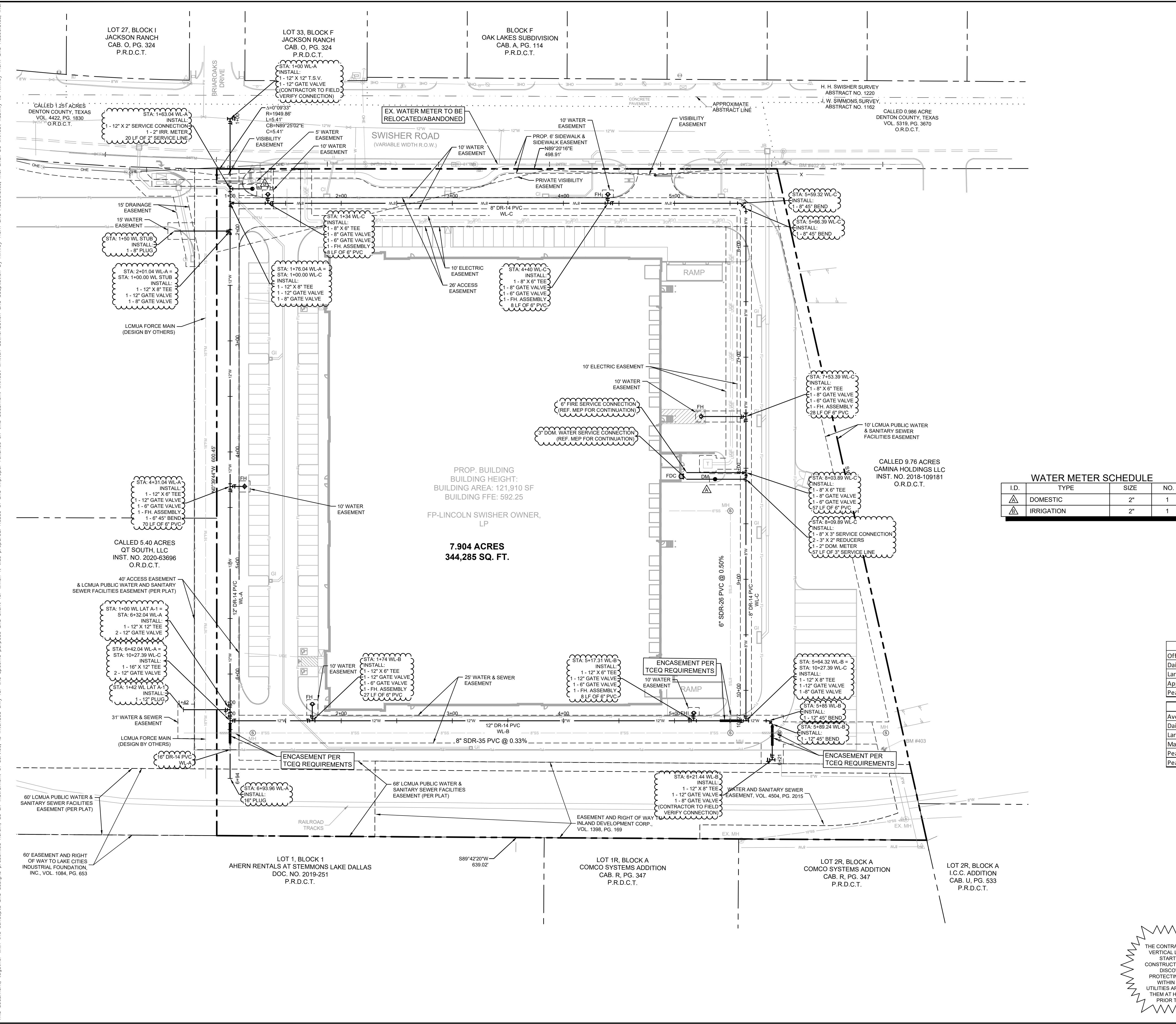
STORM LINE D

STA. Dwnstr.	STA. Upstr.	Upstr. Structure	Dist.	FL Elev. Dwnstr.	TP Elev. Dwnstr.	FL Elev. Upstr.	TP Elev. Upstr.	Pipe Slope	RCP or RCB	RCP Dia.	RCB Height	RCB Width	# of Barrels	Mng.'s "n"	Intercepted Area "A"	Runoff Coefficient "C"	Incremental "CA"	Accumulated "CA"	Time @ Upstr. Sta.	Design Freq.	Intensity "I"	Q indiv.	Q Design	Vel. Full	V _{cap}	Q _{cap}	Dn	Vp	Vph	Friction Slope	Friction Loss	Velocity Head	Head Loss Coeff.	Minor Losses	HGL El Dwnstr.	HGL El Upstr.	HGL El Upstr.	Throat El.	FLOW TYPE
1+00.00	1+04.57	45B	4.57	583.00	584.00	583.09	584.09	2.06%	RCP	12.00			1	0.013	0.00	0.90	0.00	0.24	10	100	9.24	0.00	2.25	2.86	6.53	5.13	--	--	--	0.0040	0.02	0.13	0.35	0.10	585.50	585.52	585.62	587.50	FULL FLOW
1+04.57	1+33.84	INLET	29.27	583.09	584.09	583.70	584.70	2.06%	RCP	12.00			1	0.013	0.27	0.90	0.24	0.24	10	100	9.24	2.25	2.25	2.86	6.53	5.13	--	--	--	0.0040	0.12	0.13	1.25	0.16	585.62	585.73	585.89	587.67	FULL FLOW

STORM LINE E

STA. Dwnstr.	STA. Upstr.	Upstr. Structure	Dist.	FL Elev. Dwnstr.	TP Elev. Dwnstr.	FL Elev. Upstr.	TP Elev. Upstr.	Pipe Slope	RCP or RCB	RCP Dia.	RCB Height	RCB Width	# of Barrels	Mng.'s "n"	Intercepted Area "A"	Runoff Coefficient "C"	Incremental "CA"	Accumulated "CA"	Time @ Upstr. Sta.	Design Freq.	Intensity "I"	Q indiv.	Q Design	Vel. Full	V _{cap}	Q _{cap}	Dn	Vp	Vph	Friction Slope	Friction Loss	Velocity Head	Head Loss Coeff.	Minor Losses	HGL El Dwnstr.	HGL El Upstr.	HGL El Upstr.	Throat El.	FLOW TYPE
1+00.00	2+47.67	45Y	147.67	581.00	584.00	581.74	584.74	0.50%	RCP	36.00			1	0.013	1.04	0.90	0.94	4.19	10	100	9.24	8.65	36.67	5.47	6.69	47.29	--	--	--	0.0033	0.49	0.46	0.50	0.32	583.50	583.99	584.32	587.33	FULL FLOW
2+47.67	2+55.67	PSC	8.00	581.74	584.74	581.78	584.78	0.50%	RCP	36.00			1	0.013	0.00	0.90	0.00	3.25	10	100	9.24	0.00	30.02	4.25	6.69	47.29	--	--	--	0.0020	0.02	0.26	1.00	0.15	584.32	584.33	584.48	587.30	FULL FLOW
2+55.67	3+37.67	45Y	82.00	581.78	584.28	582.19	584.69	0.50%	RCP	30.00			1	0.013	1.05	0.90	0.95	3.25	10	100	9.24	8.73	30.02																

Plotted By: Moody, Aaron Date: March 25, 2025 10:42:40am File Path: K:\DNT_Civil\063319112 - LFC Swisher Road\CAD\PlanSheets\Construction Engineering Plans\C-8-Water.dwg
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LEGEND

	PROPERTY LINE
	SETBACK LINE
	PROPOSED EASEMENT
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED STORM SEWER LINE
	PROPOSED FIRE LANE
	EXISTING OVERHEAD POWER LINE
	EXISTING CABLE LINE
	EXISTING GAS LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER MANHOLE (SS MH)
	PROPOSED DOUBLE CLEAN-OUT
	PROPOSED CLEAN-OUT
	PROPOSED FIRE HYDRANT (FH)
	PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
	PROPOSED WATER METER
	PROPOSED WATER VALVE
	PROPOSED BEND
	PROPOSED REDUCER
	PROPOSED LIGHT POLE
	EXISTING POWER POLE
	EXISTING LIGHT POLE
	EXISTING FIRE HYDRANT
	EXISTING STORM MANHOLE
	EXISTING SAN. SWR. MANHOLE
	EXISTING SIGN

WATER METER SCHEDULE

I.D.	TYPE	SIZE	NO.
	DOMESTIC	2"	1
	IRRIGATION	2"	1

- ### UTILITY NOTES
- SEE MEP PLANS FOR ALL UTILITY CONNECTIONS INTO BUILDING.
 - WATER AND SEWER LINES SHALL STUB 5 FEET FROM BUILDING FOR SERVICE CONNECTIONS UNLESS OTHERWISE NOTED.
 - A FIVE FOOT CLEARANCE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS.
 - REFER TO DETAILS FOR WATER METER, METER BOX, FIRE HYDRANTS, VALVES, VALVE BOXES AND SERVICE INSTALLATION.
 - REFER TO DETAILS FOR SANITARY SEWER MANHOLE REQUIREMENTS.
 - REFER TO DETAILS FOR TRENCHING, BEDDING, BACK FILL, AND TRENCH COMPACTION REQUIREMENTS.
 - WATER AND SANITARY SEWER PIPE SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, OR PVC PIPE.
 - PVC SLEEVES SHALL CONSIST OF 2 - 4" SCHEDULE 40 PVC CONDUITS, BURIED 2 MIN. BELOW FINISHED GRADE. SLEEVES SHALL EXTEND A MINIMUM OF 2' BEYOND PAVING.

SEWER DEMAND

Office Building or Factory - A facility must be designed for the largest shift

Daily Wastewater Flow - (Gal Per Person)	20
Largest Shift - (People)	99
Apply multiplier to determine peak flows	4.0
Peak flow (GPD)	7,920

WATER DEMAND

Average daily demand in gallons per capita per day - 30 TAC 290.45(d)(1)	
Daily Water Flow - (Gal Per Person)	24
Largest Shift - (People)	99
Maximum daily demand / Average daily demand	2.0
Peak hour demand / Maximum daily demand	1.5
Peak flow (GPD)	7,128

- ### BENCHMARKS
- BM# 400** SET ON THE BACK OF A CURB ALONG THE NORTH CURB LINE OF THE SOUTHWEST DRIVE ±90' NORTHEAST OF THE START OF DRIVEWAY PAVEMENT.
N: 7097809.7207', E: 2416644.1497', ELEV: 587.33'
- BM# 401** SET ON THE CORNER OF A RETAINING WALL LOCATED ±50' SOUTH OF THE CENTERLINE OF SWISHER ROAD IN THE NORTHEAST CORNER OF LOT 1, BLOCK A OF C.T. 940 ADDITION.
N: 7098142.1520', E: 2416731.0357', ELEV: 586.67'
- BM# 402** SET ON THE BACK OF A CURB INLET ALONG THE SOUTH CURB LINE OF SWISHER ROAD ±105' EAST OF NORTHEAST DRIVEWAY.
N: 7098139.2405', E: 2417588.6048', ELEV: 586.84'
- BM# 403** SET ON THE CONCRETE IN THE SOUTHEAST CORNER OF PROPERTY ±15' WEST OF PROPERTY FENCE.
N: 7097612.1417', E: 2417663.3666', ELEV: 591.59'

CAUTION!

THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION IN VICINITY.

**Know what's below.
Call before you dig.**

DATE

REVISIONS

No.

DATE

03/25/2025

SCALE

AS SHOWN

DESIGNED BY

ALM

DRAWN BY

ALM

CHECKED BY

TBB

DATE

03/25/2025

PROJECT NO.

063319112

SHEET NUMBER

C-8.0

WATER PLAN

SWISHER ROAD INDUSTRIAL

PREPARED FOR

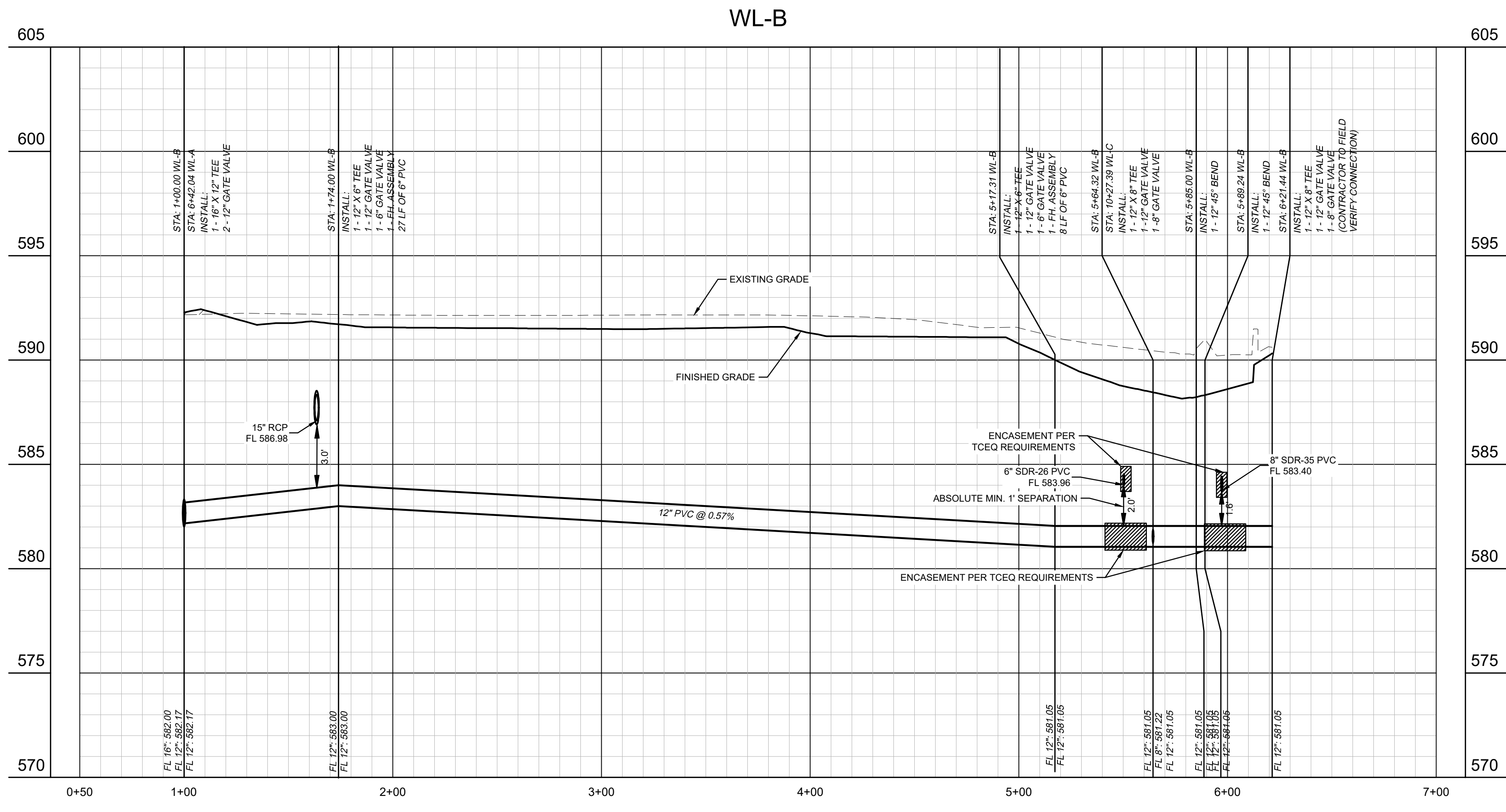
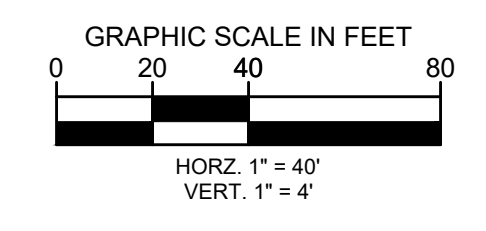
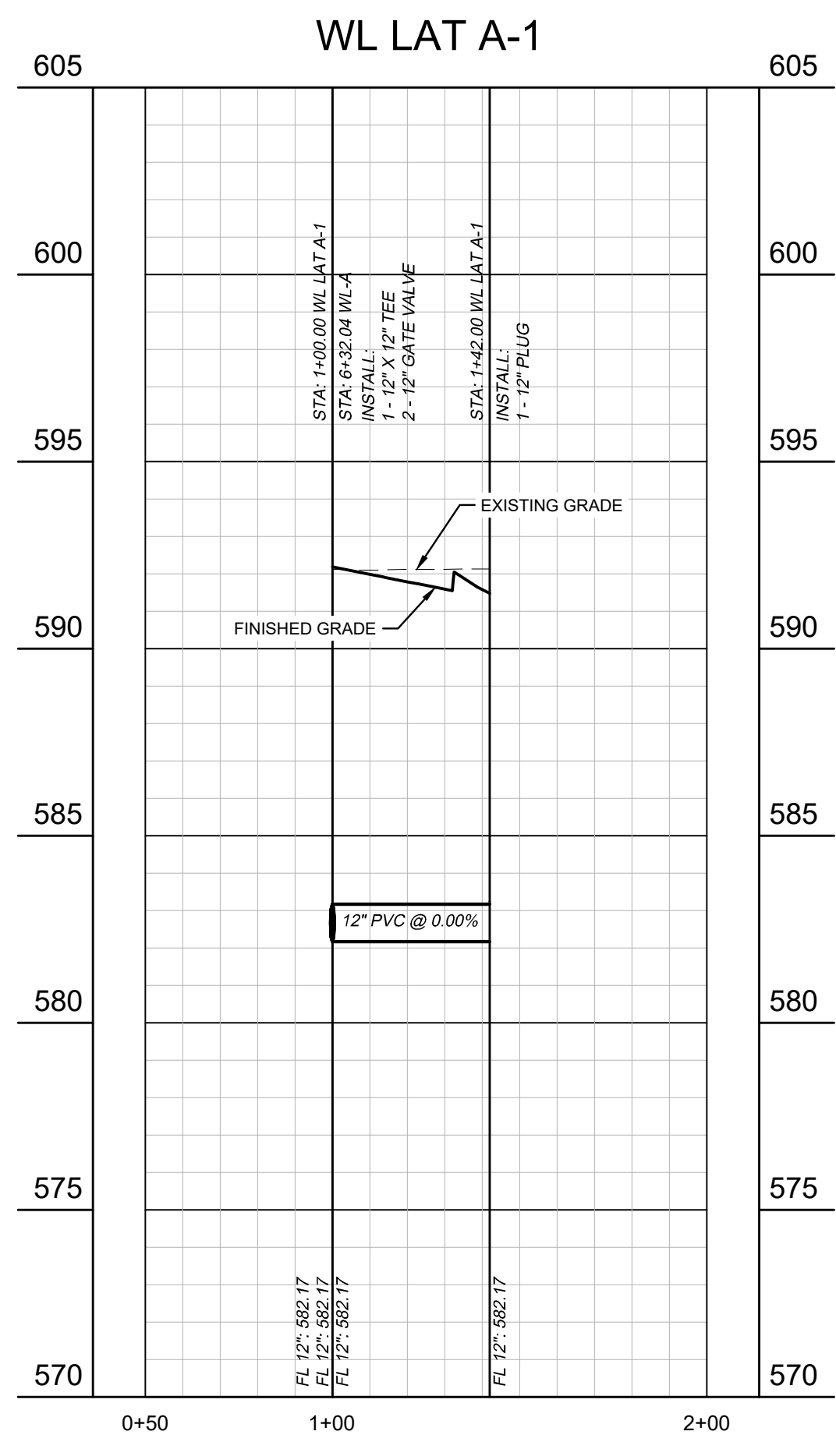
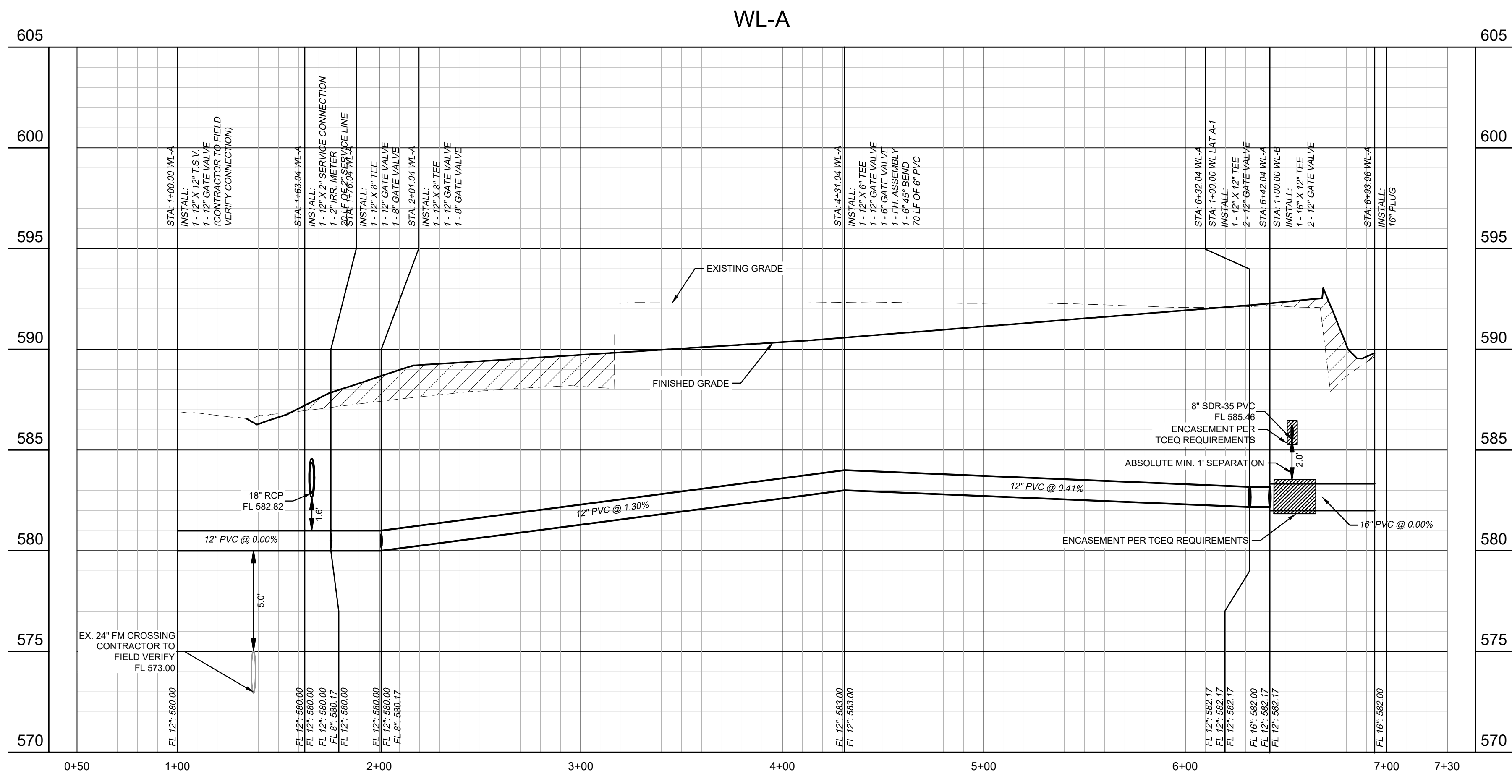
LINCOLN PROPERTY COMPANY

LAKE DALLAS

TEXAS

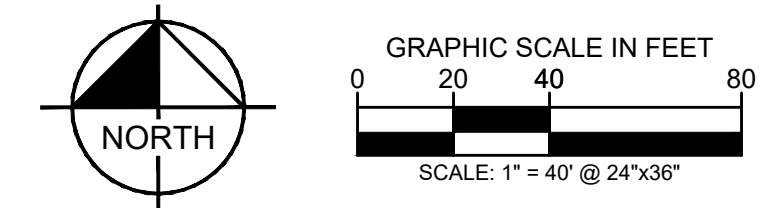
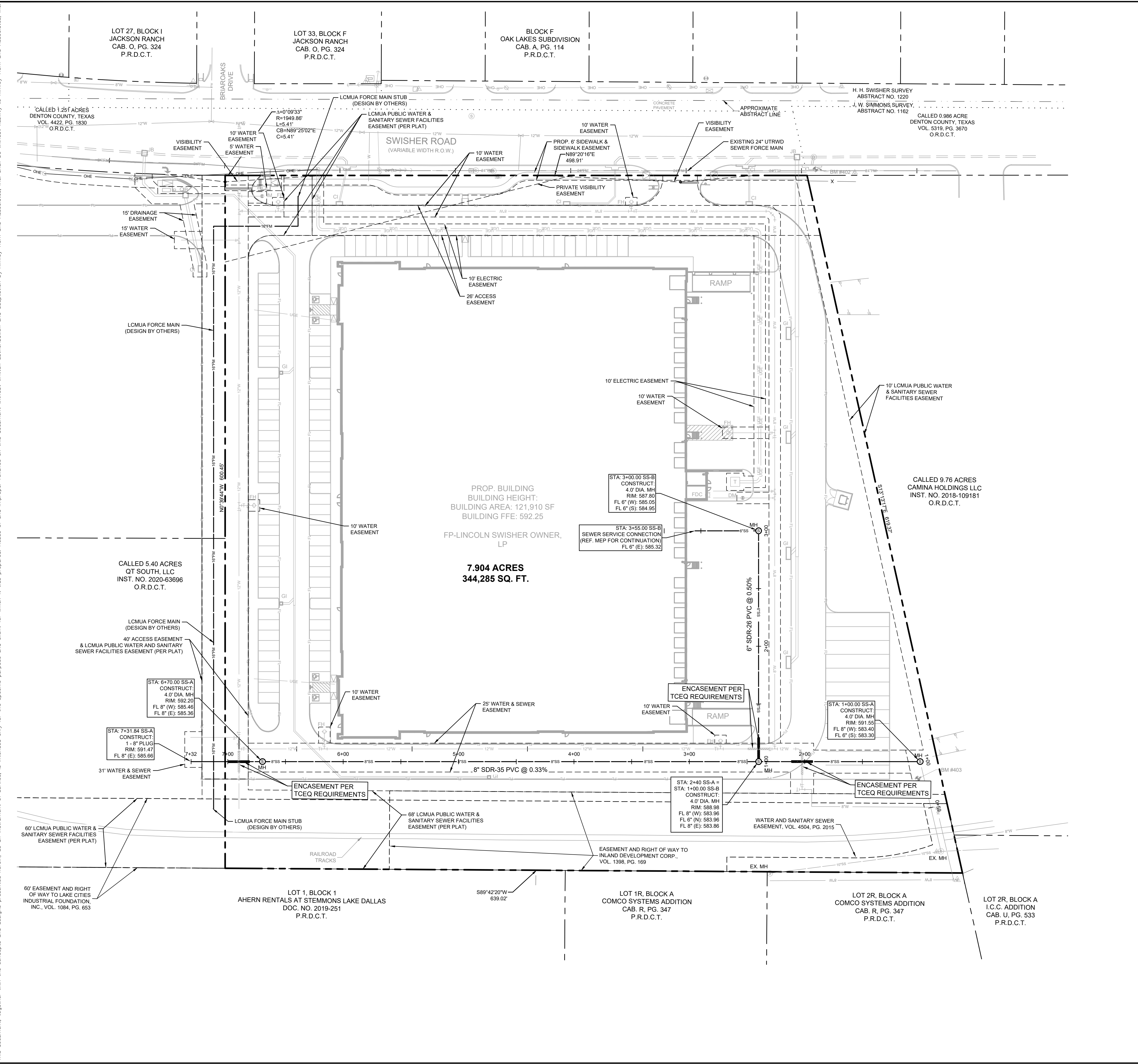
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100 WEST OAK STREET, SUITE 203, DENTON, TEXAS 76201
PHONE: 940-287-3620 FAX: 940-287-3620
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM NO. F-928

Plotted By: Moody, Aaron Date: March 25, 2025 10:42:43am File Path: K:\DNT\Civil\063319112 - LFC Swisher Road\CAD\PlanSheets\Construction Engineering Plans\C-Water.dwg
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	03/25/2025
SCALE AS SHOWN DESIGNED BY ALM DRAWN BY ALM CHECKED BY TBB	REVISIONS No. DATE
<h1>WATER PROFILES</h1>	
SWISHER ROAD INDUSTRIAL PREPARED FOR LINCOLN PROPERTY COMPANY LAKE DALLAS, TEXAS	
DATE: 03/25/2025 PROJECT NO. 063319112 SHEET NUMBER C-8.1	

Plotted By: Moody, Aaron Date: March 25, 2025 10:43:03am File Path: K:\DNT\Civil\063319112 - LFC Swisher Road\CAD\PlanSheets\Construction Engineering Plans\C-9 Sewer.dwg
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	PROPOSED TEE
	PROPOSED BEND
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BENCHMARKS

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BMH #401	SET ON THE CORNER OF A RETAINING WALL LOCATED ±50' SOUTH OF THE CENTERLINE OF SWISHER ROAD IN THE NORTHEAST CORNER OF LOT 1, BLOCK A OF C.T. 940 ADDITION. N: 7098142.1520', E: 2416731.0357', ELEV: 586.67'
BMH #402	SET ON THE BACK OF A CURB INLET ALONG THE SOUTH CURB LINE OF SWISHER ROAD ±105' EAST OF NORTHEAST DRIVEWAY. N: 7098139.2405', E: 2417568.6048', ELEV: 586.84'
BMH #403	SET ON THE CONCRETE IN THE SOUTHEAST CORNER OF PROPERTY ±15' WEST OF PROPERTY FENCE. N: 7097612.1417', E: 2417663.3666', ELEV: 591.59'

CAUTION!

THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION IN VICINITY.

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DATE

REVISIONS

No.

DATE

REVISIONS

No.

SCALE

AS SHOWN

DESIGNED BY

ALM

DRAWN BY

ALM

CHECKED BY

TBB

DATE

03/25/2025

PROJECT NO.

063319112

SHEET NUMBER

C-9.0

SEWER PLAN

TEXAS

SWISHER ROAD

INDUSTRIAL

PREPARED FOR

LINCOLN PROPERTY COMPANY

LAKE DALLAS

DATE

03/25/2025

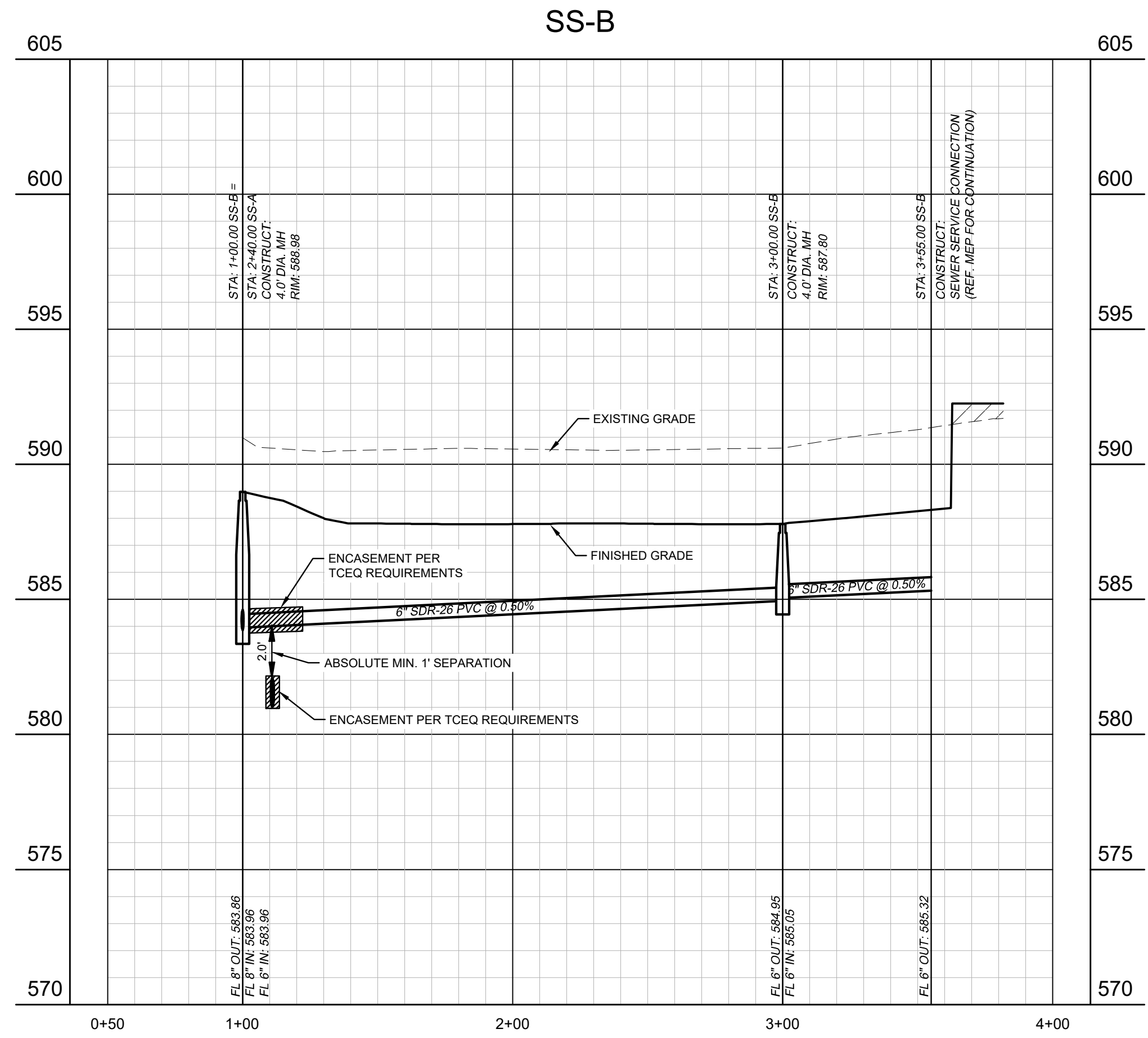
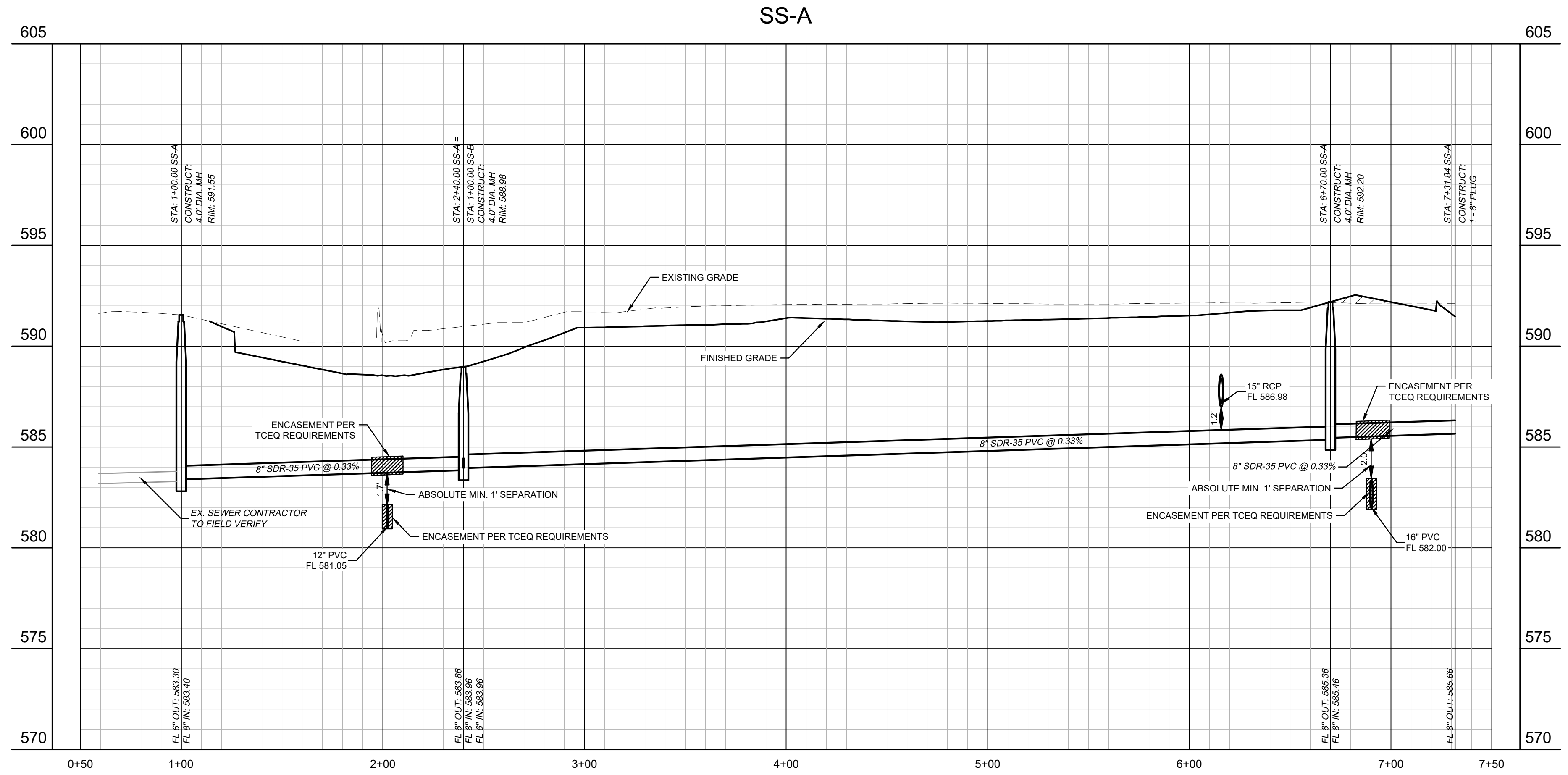
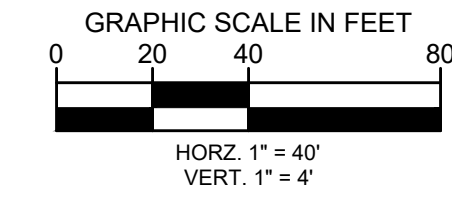
PROJECT NO.

063319112

SHEET NUMBER

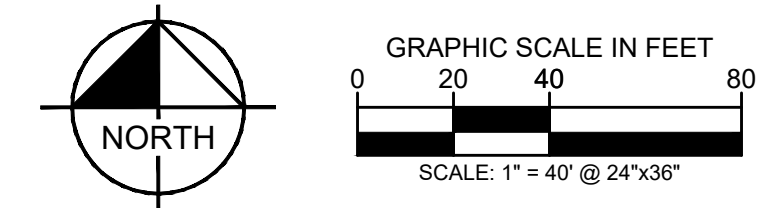
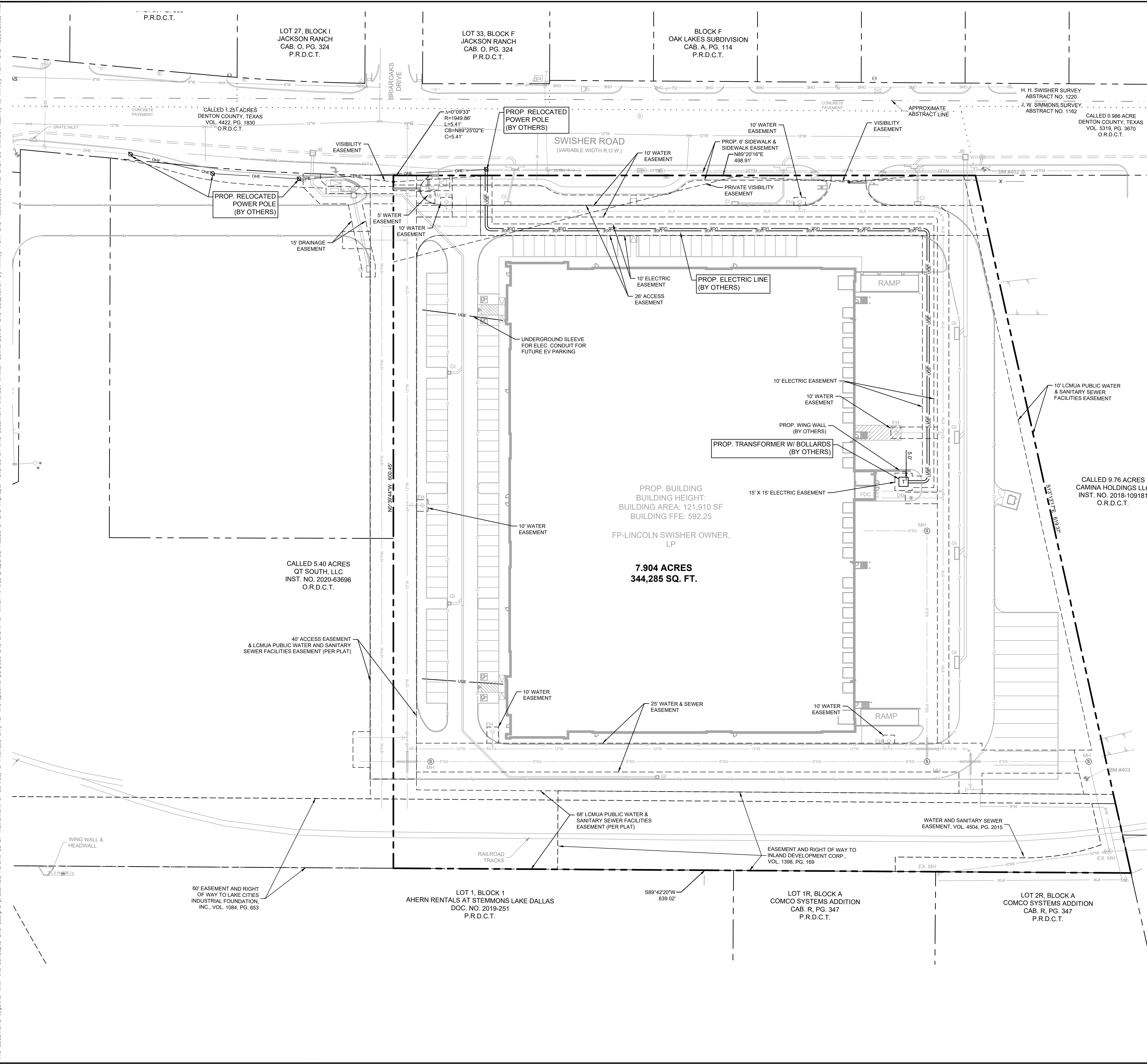
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SEWER PROFILES							
SWISHER ROAD INDUSTRIAL PREPARED FOR LINCOLN PROPERTY COMPANY LAKE DALLAS TEXAS				DATE 03/25/2025 PROJECT NO. 063319112 SHEET NUMBER C-9.1			
		REVISIONS		No.		DATE	

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LEGEND

	PROPERTY LINE
	SETBACK LINE
	PROPOSED EASEMENT
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED STORM SEWER LINE
	PROPOSED FIRE LINE
	PROPOSED UNDERGROUND ELECTRIC LINE
	EXISTING OVERHEAD POWER LINE
	EXISTING CABLE LINE
	EXISTING GAS LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER MANHOLE (SS MH)
	PROPOSED DOUBLE CLEAN-OUT
	PROPOSED FIRE HYDRANT (FH)
	PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
	PROPOSED WATER METER
	PROPOSED WATER VALVE
	PROPOSED TEE
	PROPOSED BEND
	PROPOSED REDUCER
	PROPOSED LIGHT POLE
	EXISTING POWER POLE
	EXISTING LIGHT POLE
	EXISTING FIRE HYDRANT
	EXISTING STORM MANHOLE
	EXISTING SAN. SWR. MANHOLE
	EXISTING SIGN

- ### UTILITY NOTES
- SEE MEP PLANS FOR ALL UTILITY CONNECTIONS INTO BUILDING.
 - WATER AND SEWER LINES SHALL STUB 5 FEET FROM BUILDING FOR SERVICE CONNECTIONS UNLESS OTHERWISE NOTED.
 - A FIVE FOOT CLEARANCE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS.
 - REFER TO DETAILS FOR WATER METER, METER BOX, FIRE HYDRANTS, VALVES, VALVE BOXES AND SERVICE INSTALLATION.
 - REFER TO DETAILS FOR SANITARY SEWER MANHOLE REQUIREMENTS.
 - REFER TO DETAILS FOR TRENCHING, BEDDING, BACK FILL, AND TRENCH COMPACTION REQUIREMENTS.
 - WATER AND SANITARY SEWER PIPE SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, ASBESTOS-CEMENT PRESSURE PIPE, PRETREATED CONCRETE PIPE, OR PVC PIPE.
 - PVC SLEEVES SHALL CONSIST OF 2 - 4" SCHEDULE 40 PVC CONDUITS, BURIED 2' MIN. BELOW FINISHED GRADE. SLEEVES SHALL EXTEND A MINIMUM OF 2' BEYOND PAVING.

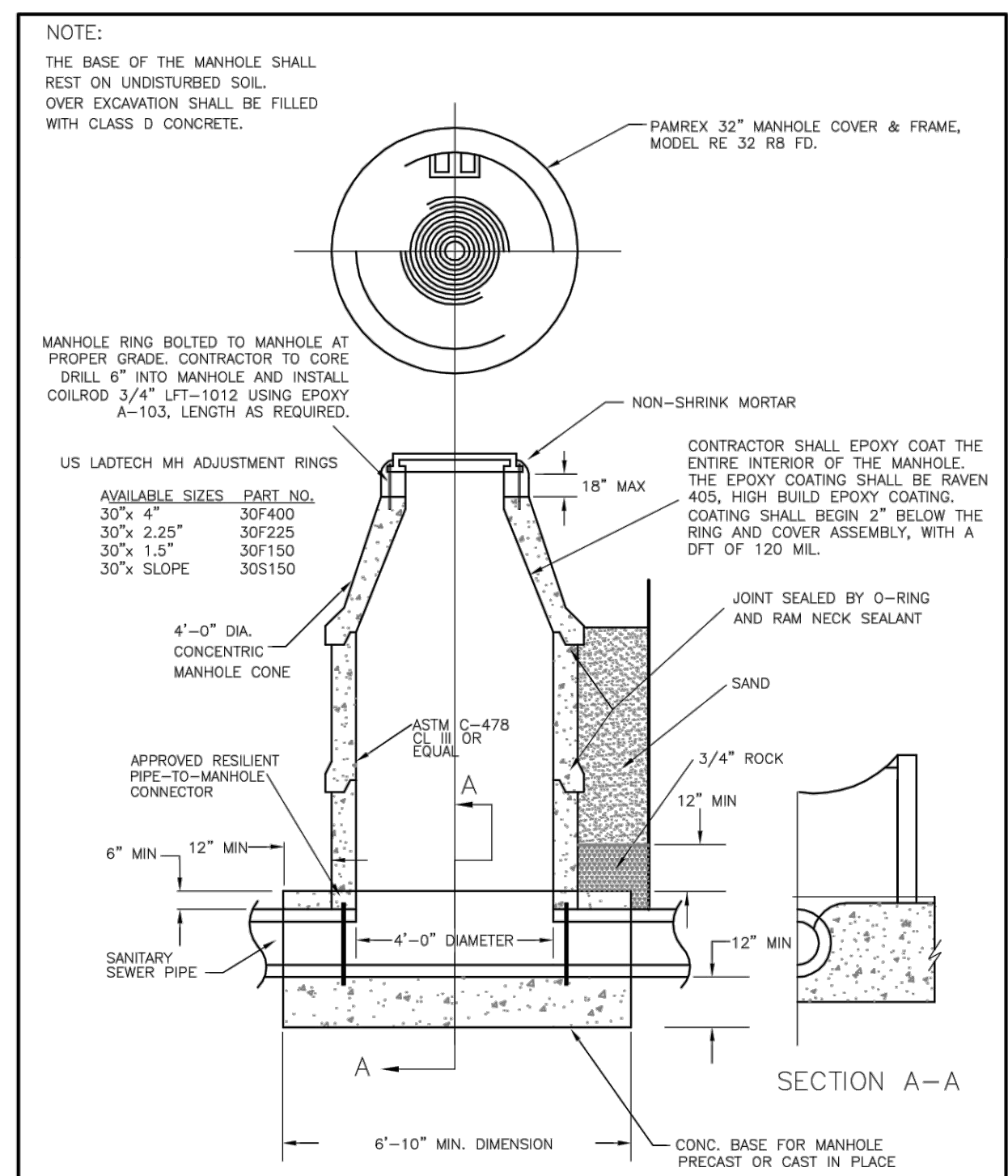
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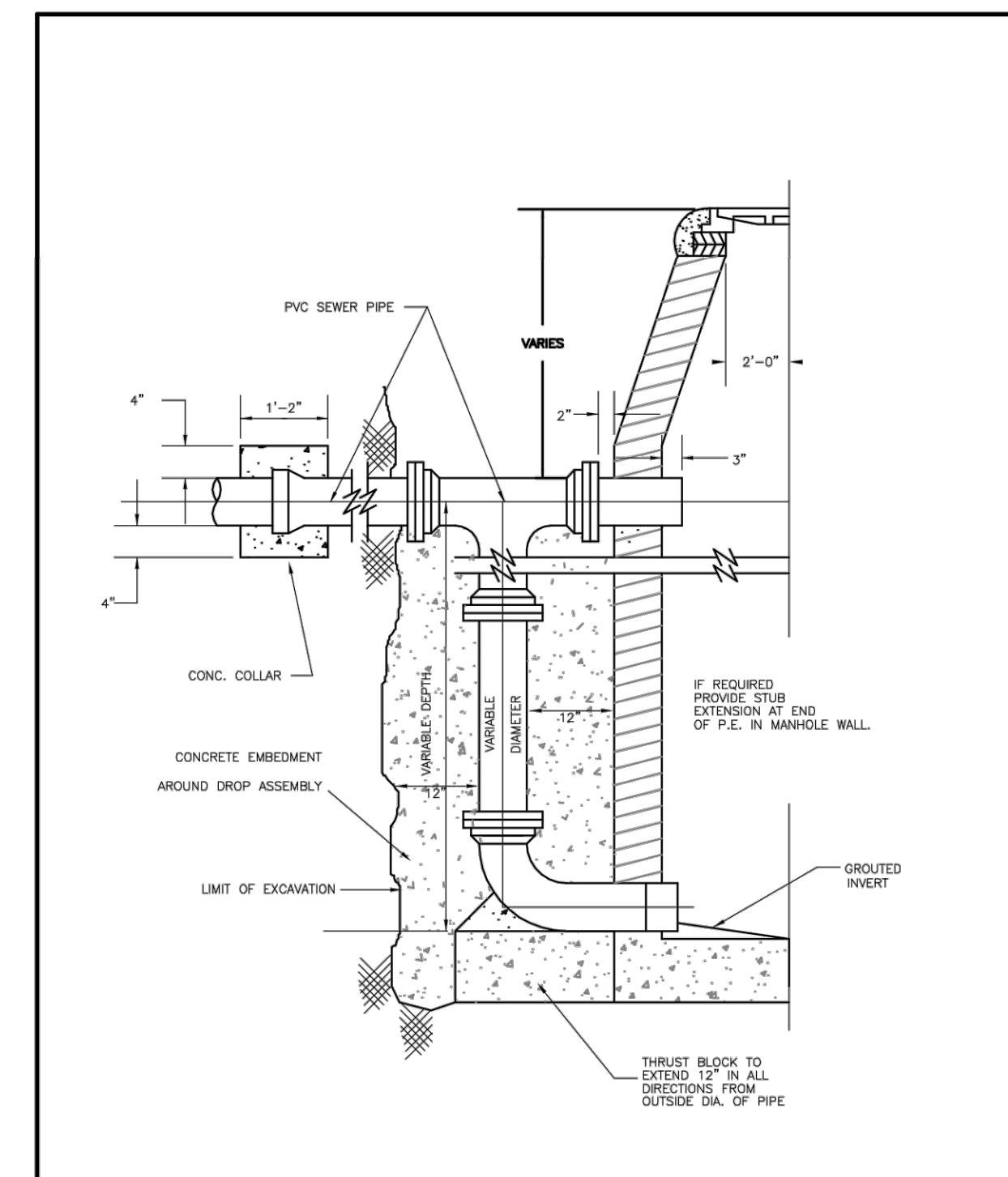
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<h2>FRANCHISE PLAN</h2>	
SWISHER ROAD INDUSTRIAL PREPARED FOR LINCOLN PROPERTY COMPANY LAKE DALLAS, TEXAS	
DATE	03/25/2025
PROJECT NO.	063319112
SHEET NUMBER	C-10.0

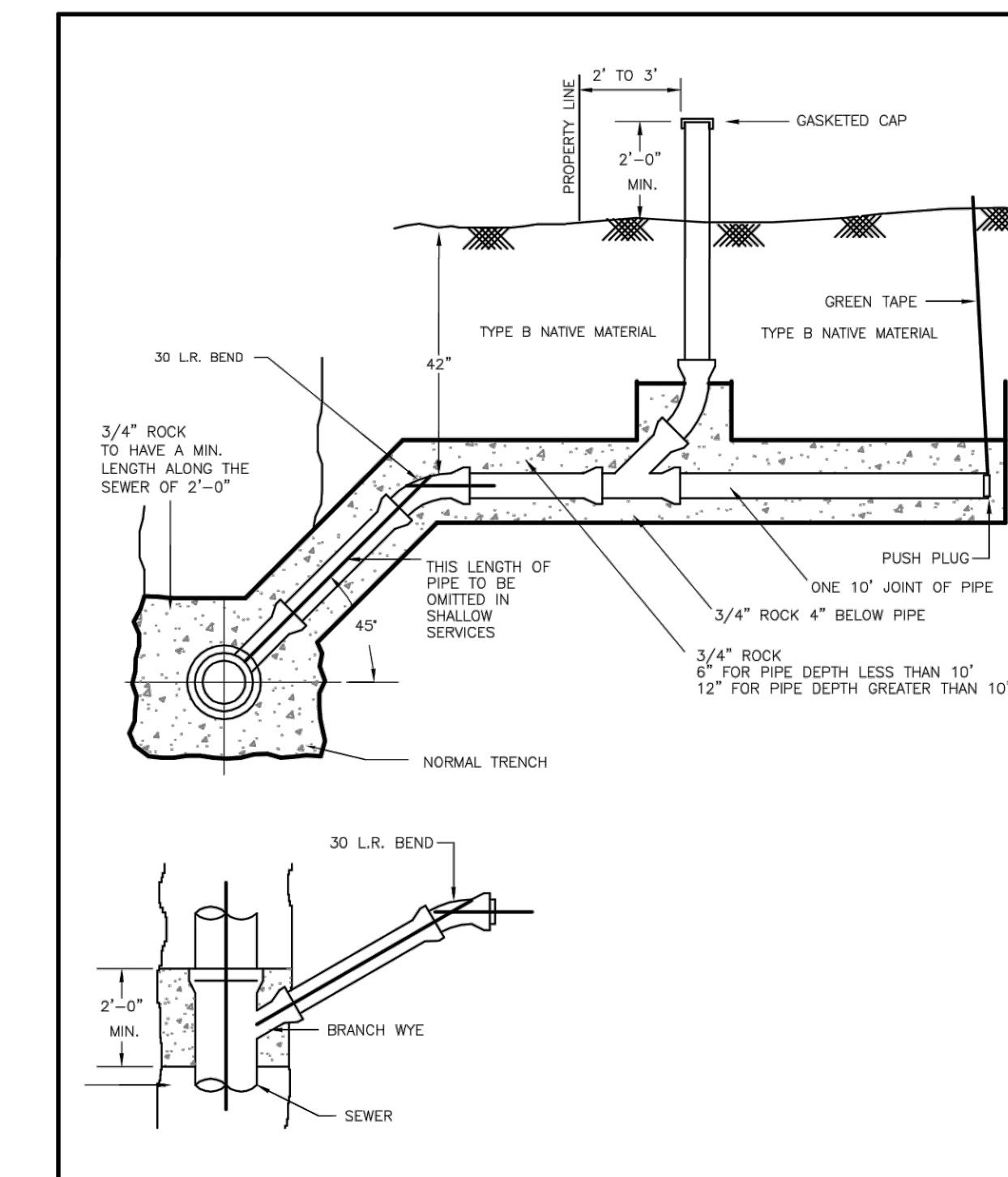
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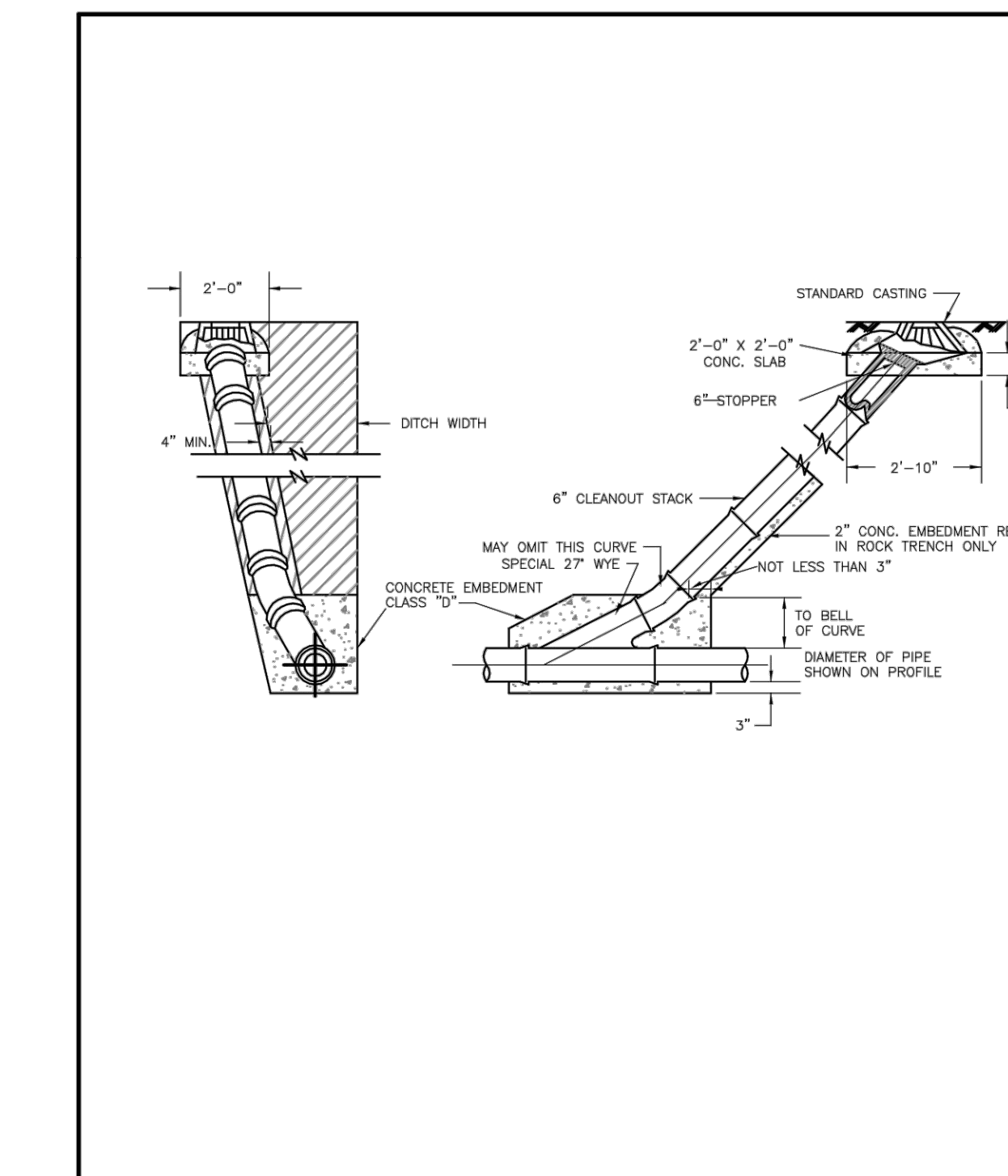
PRECAST SEWER MANHOLE
 05 March 2018
 FIG. S1



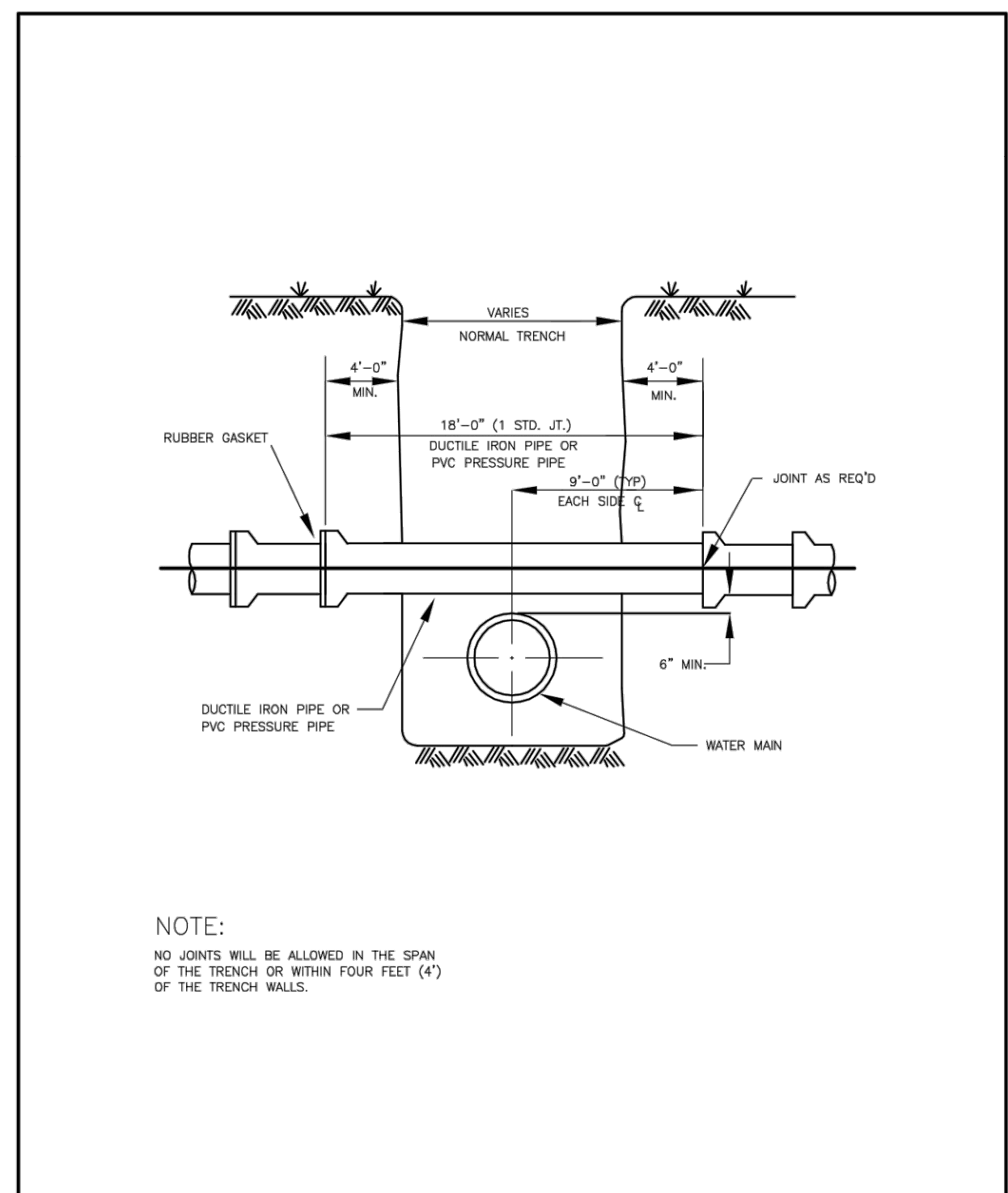
DROP SEWER MANHOLE
 06 Feb 2018
 FIG. S2



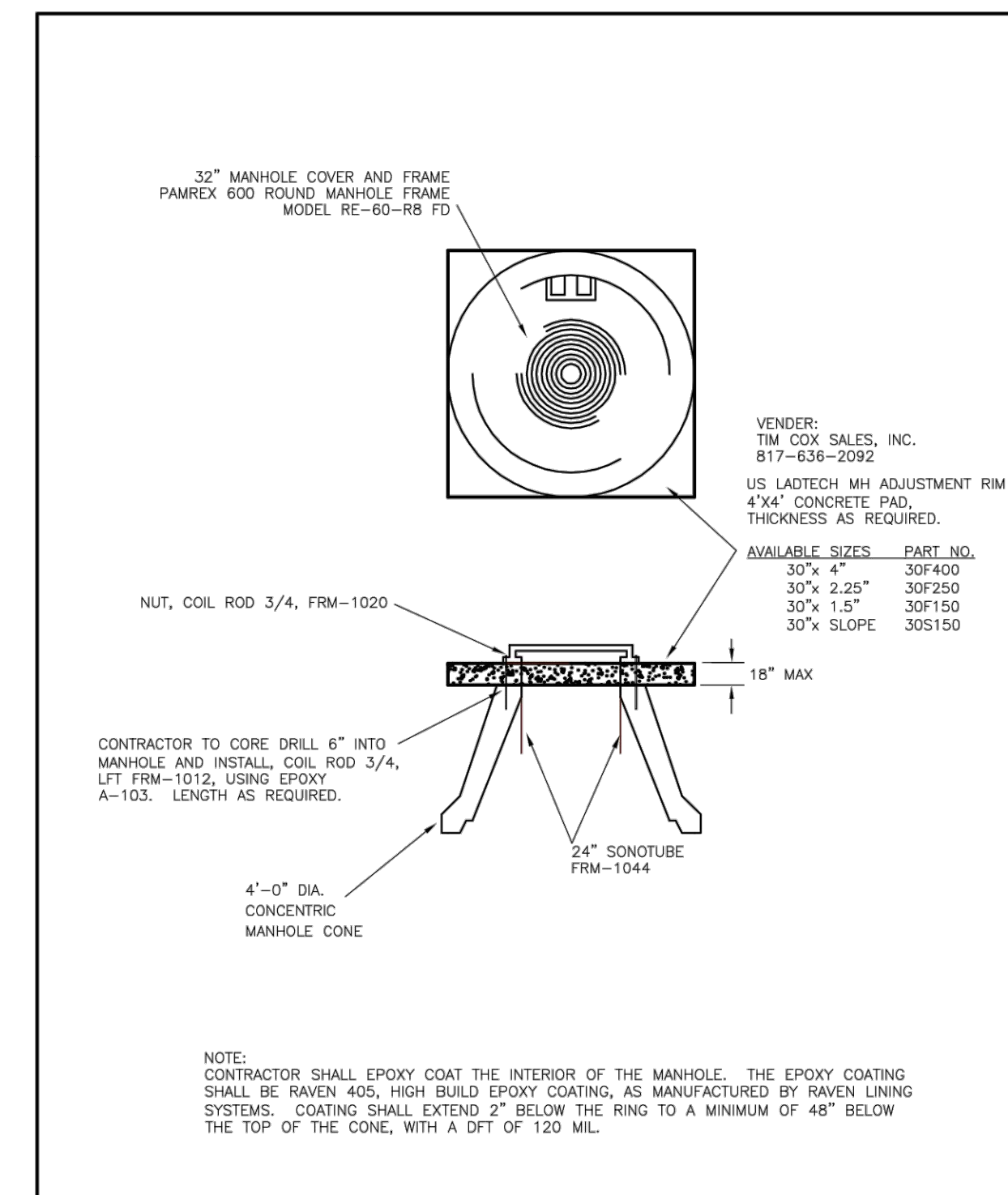
STANDARD SEWER CONNECTION
 06 Feb 2018
 FIG. S3



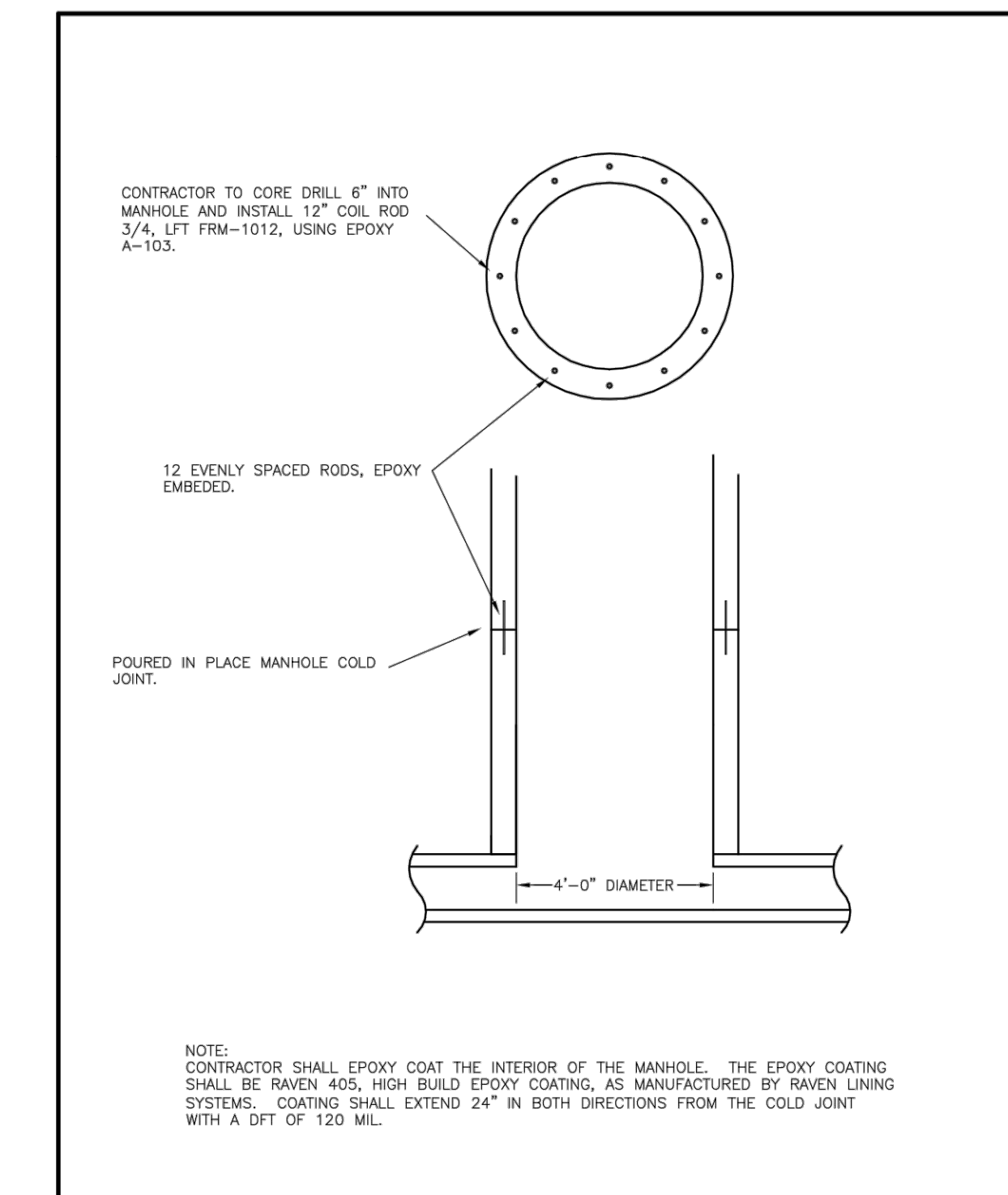
MAIN LINE SEWER CLEANOUT
 06 Feb 2018
 FIG. S4



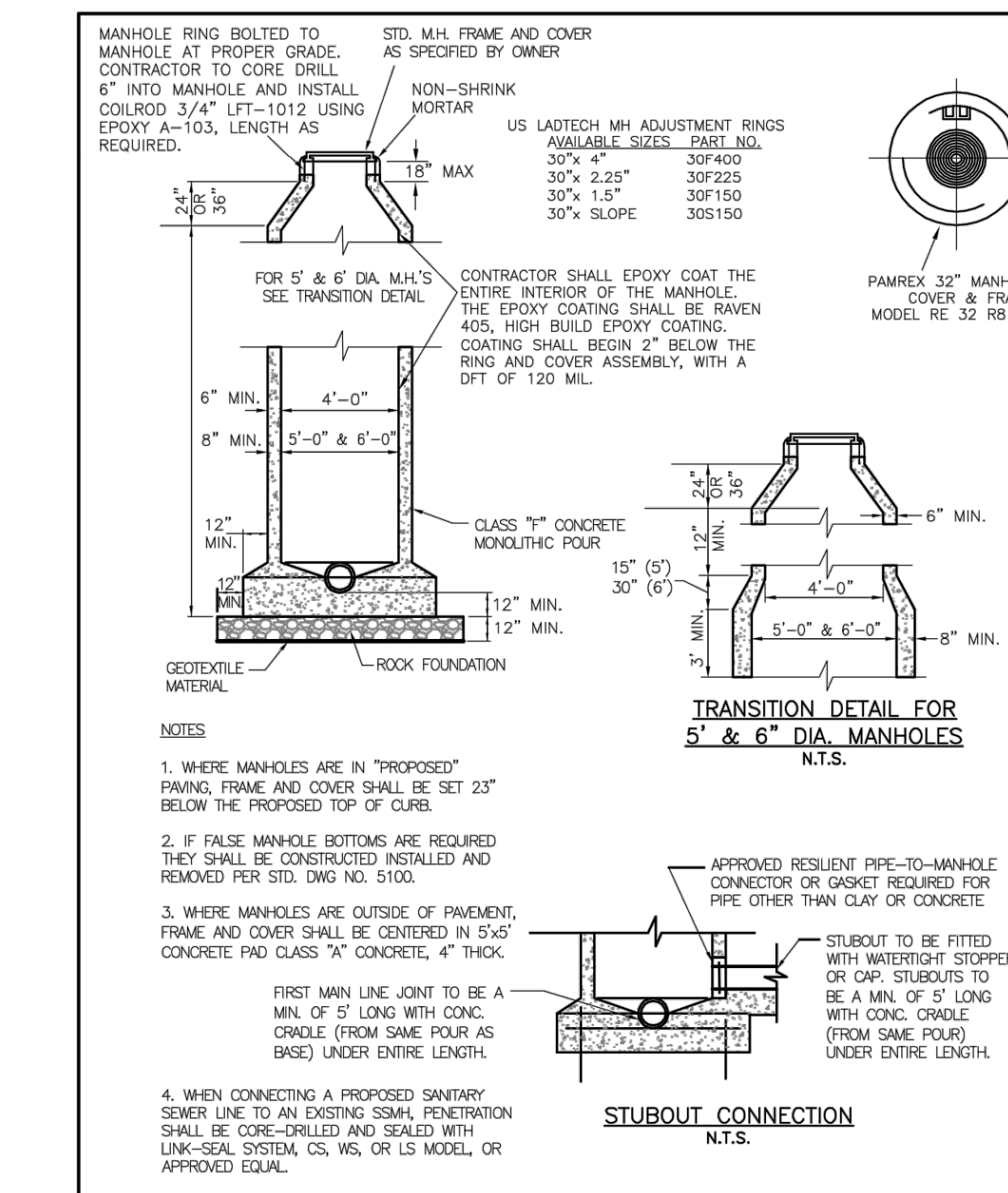
REPLACEMENT OF SEWER PIPE LATERAL
 06 Feb 2018
 FIG. S5



REPAIR/RAISING MANHOLE RING AND COVER
 03 Oct 2017
 FIG. S6



POURED IN PLACE MANHOLE REPAIR/EXTENSION
 17 Jan 2020
 FIG. S7

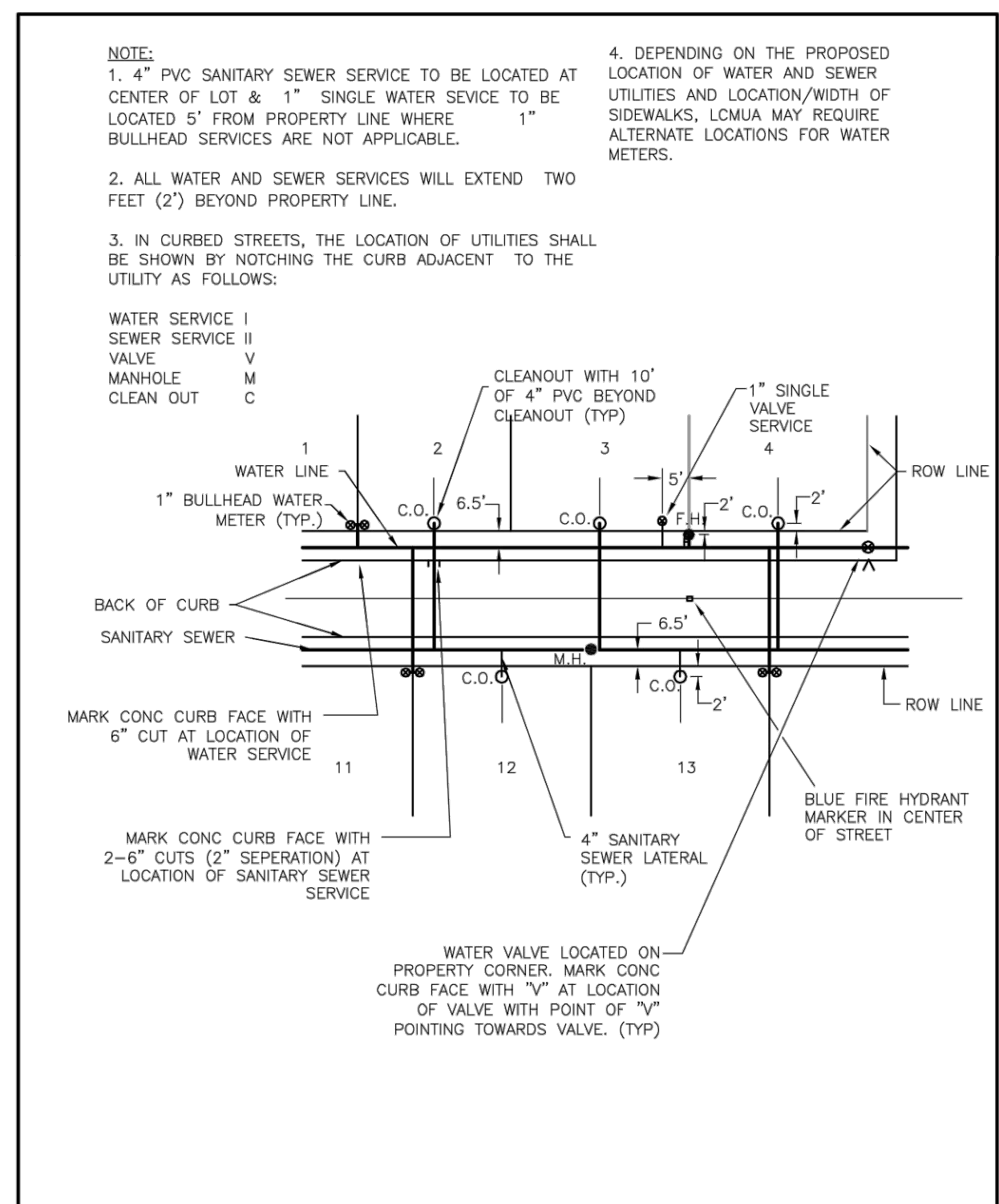


CAST IN PLACE SEWER MANHOLE
 17 Jan 2020
 FIG. S14

SS DETAILS SHEET 1

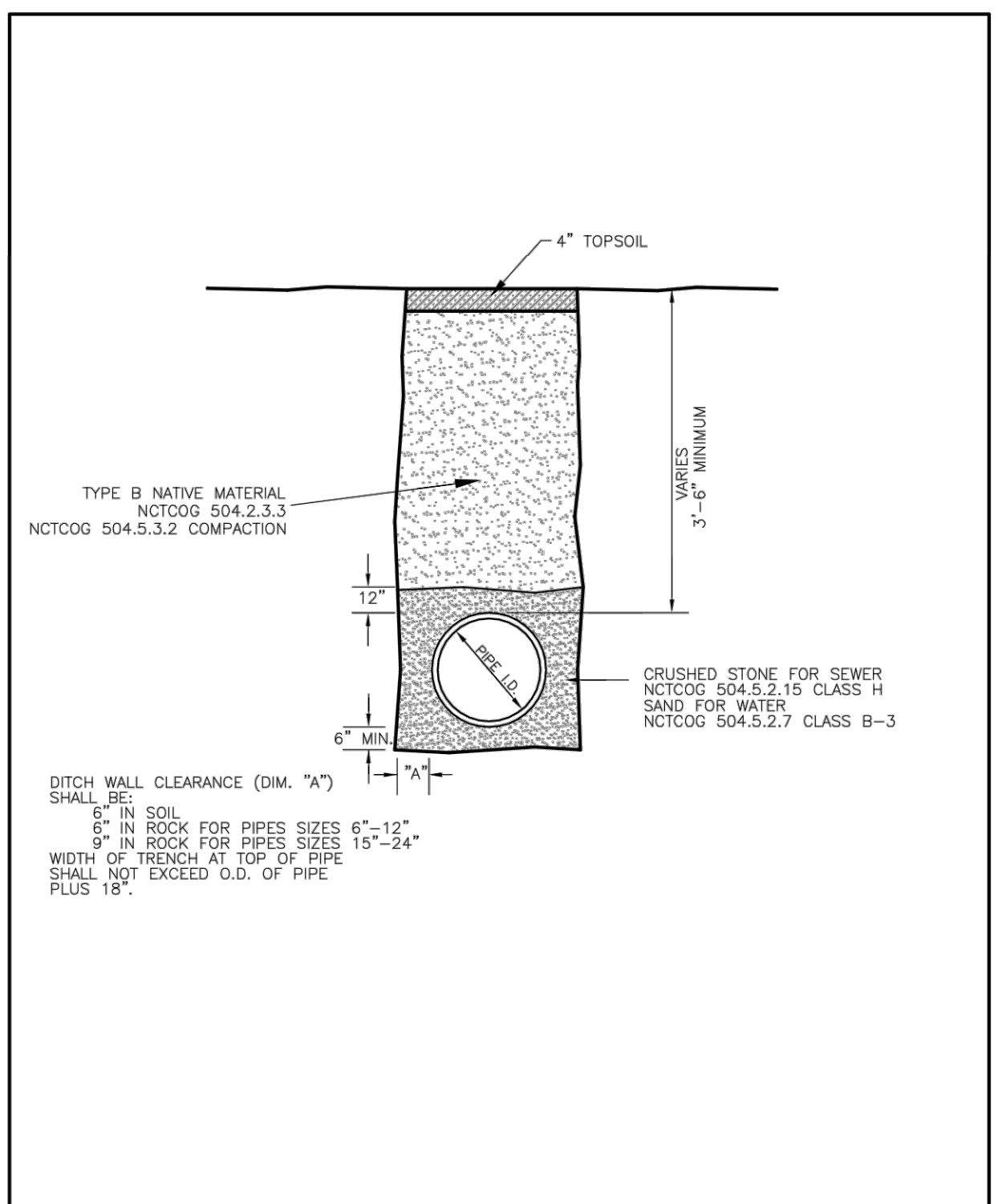
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<p>SWISHER ROAD INDUSTRIAL PREPARED FOR LINCOLN PROPERTY COMPANY</p>	
<p>LAKE DALLAS TEXAS</p>	
DATE	03/25/2025
PROJECT NO.	063319112
SHEET NUMBER	C-11.0
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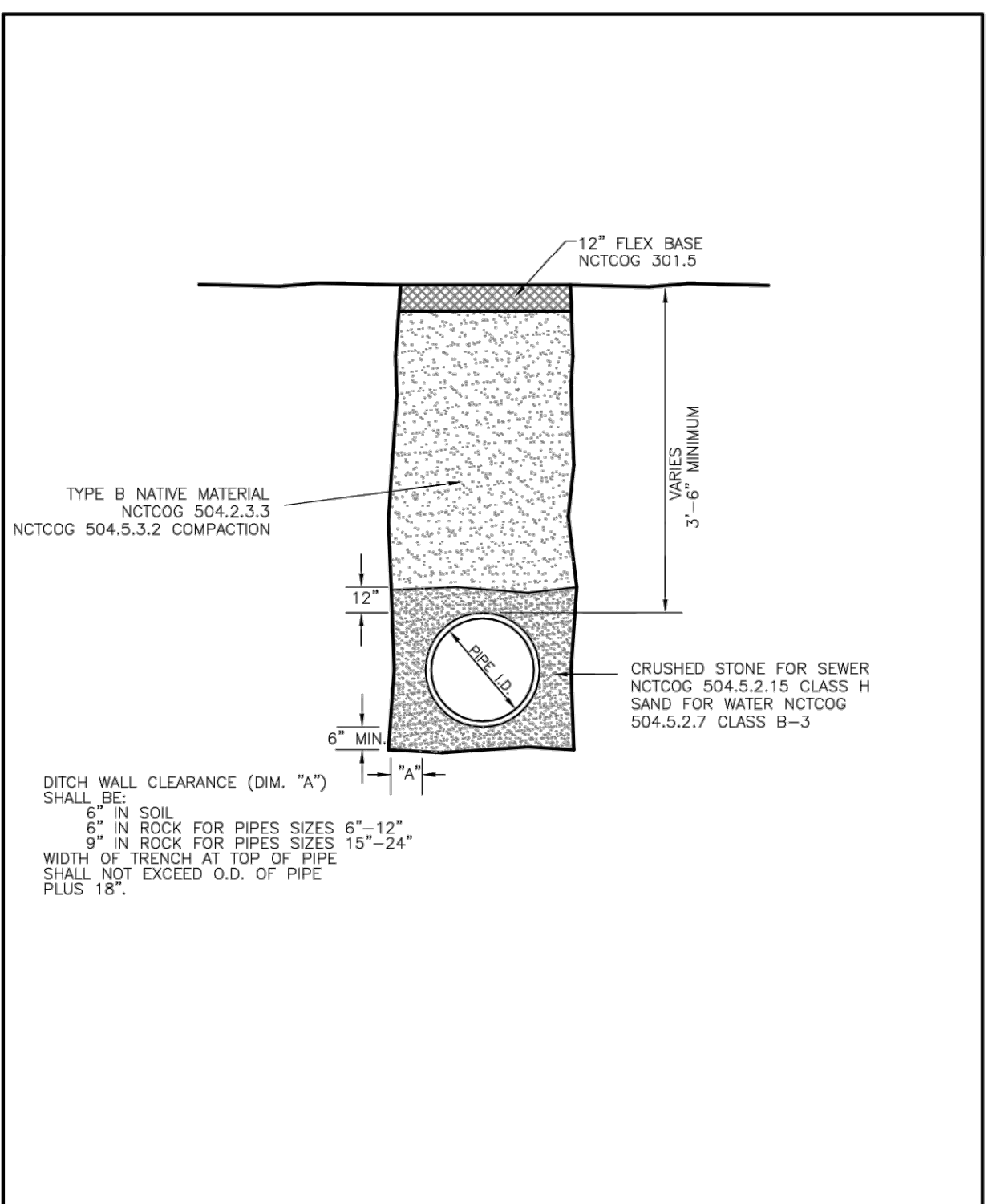
TYPICAL SERVICE LOCATION

17 Jan 2020
 FIG. G1



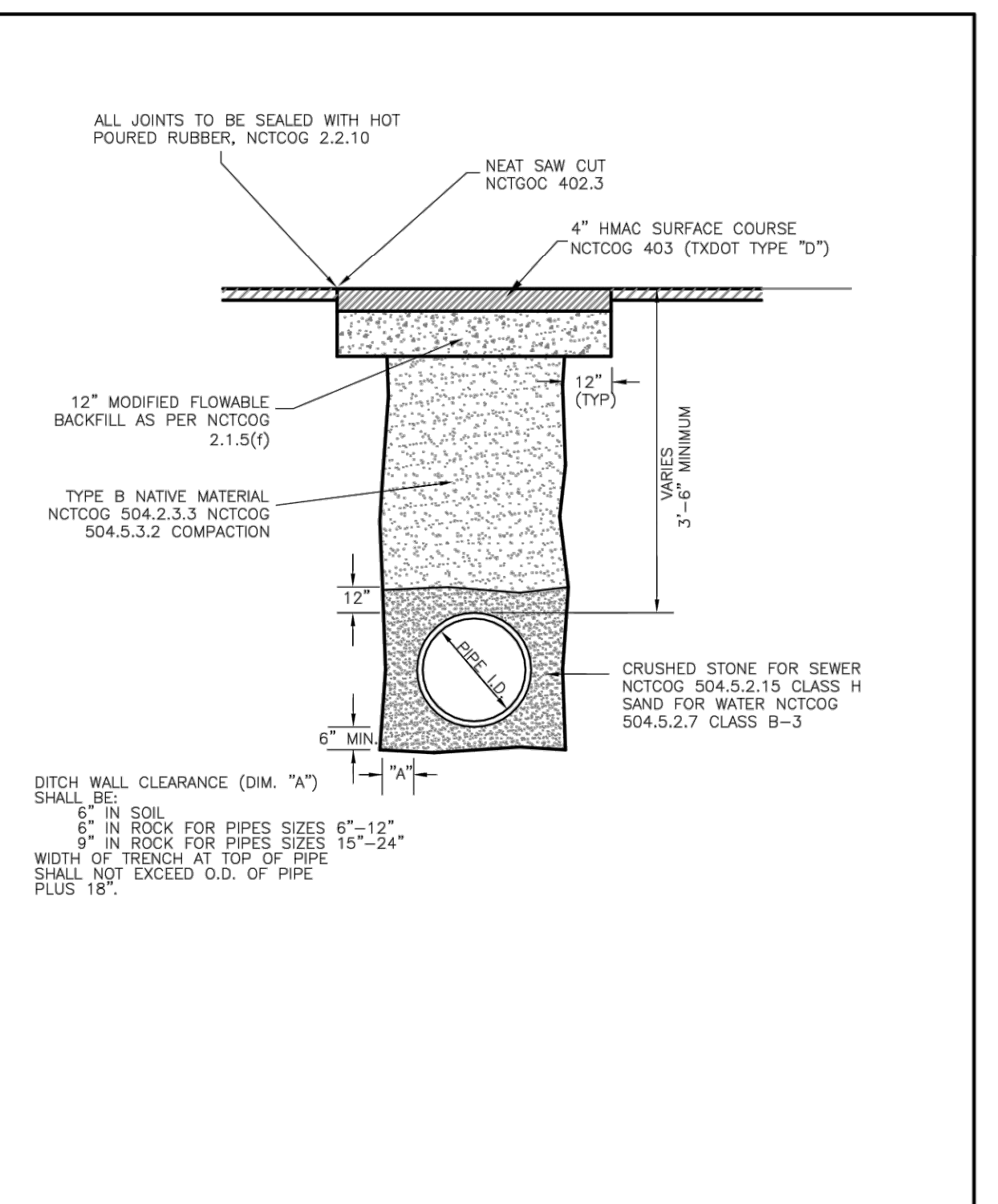
TRENCH IN UNPAVED AREAS

17 Jan 2020
 FIG. G2



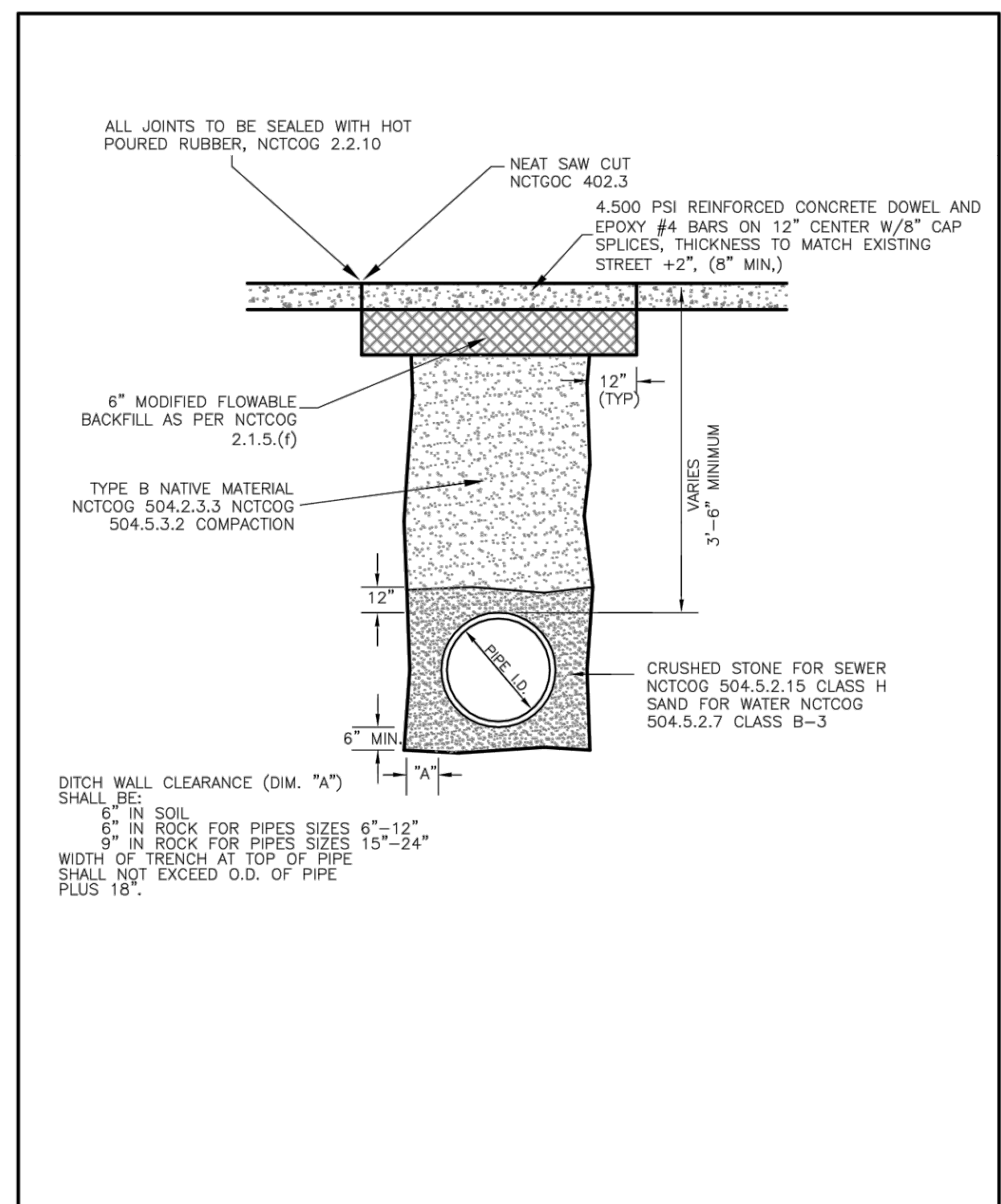
GRAVEL STREET REPAIR

25 Jan 2018
 FIG. G3



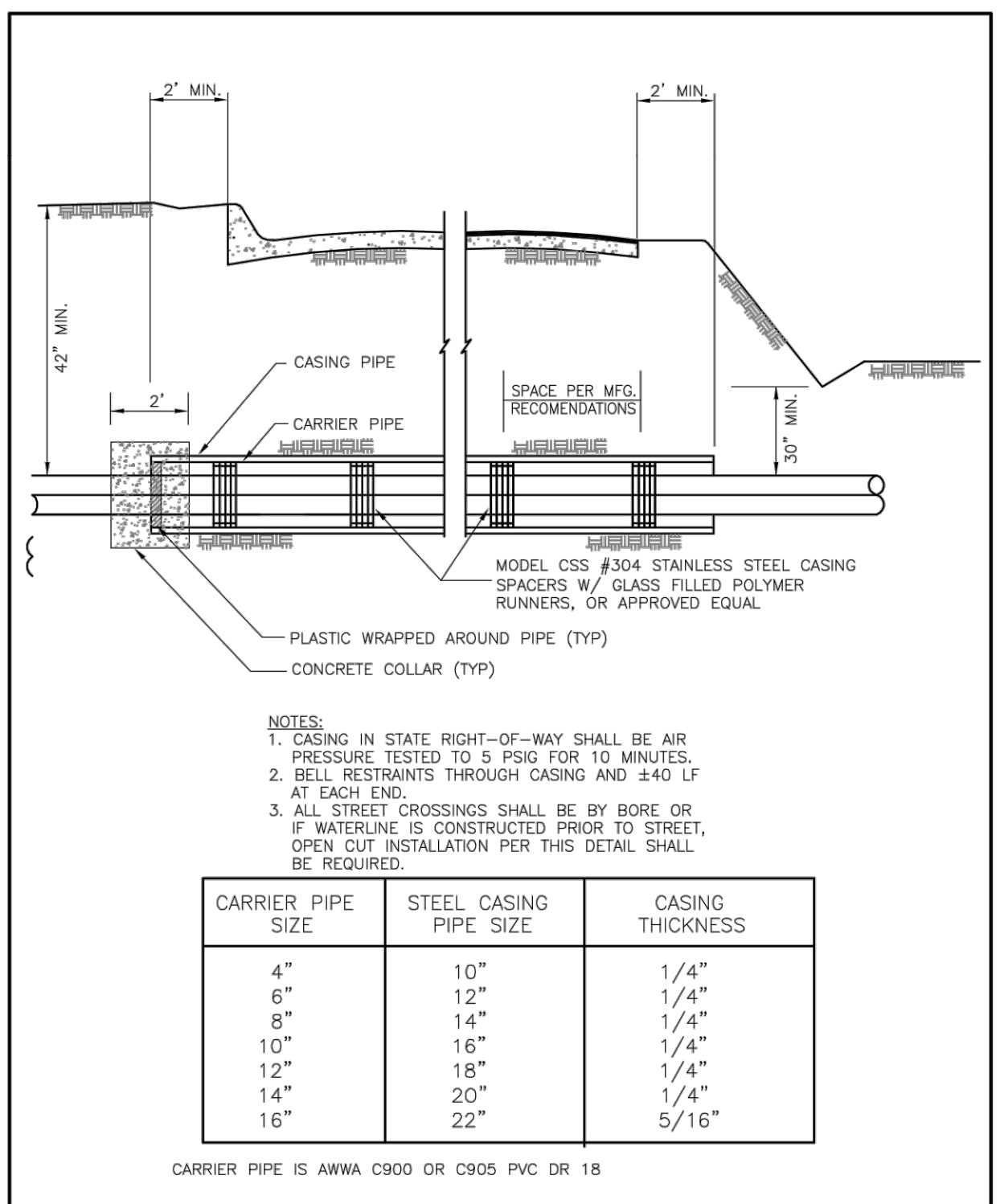
ASPHALT STREET REPAIR

17 Jan 2020
 FIG. G4



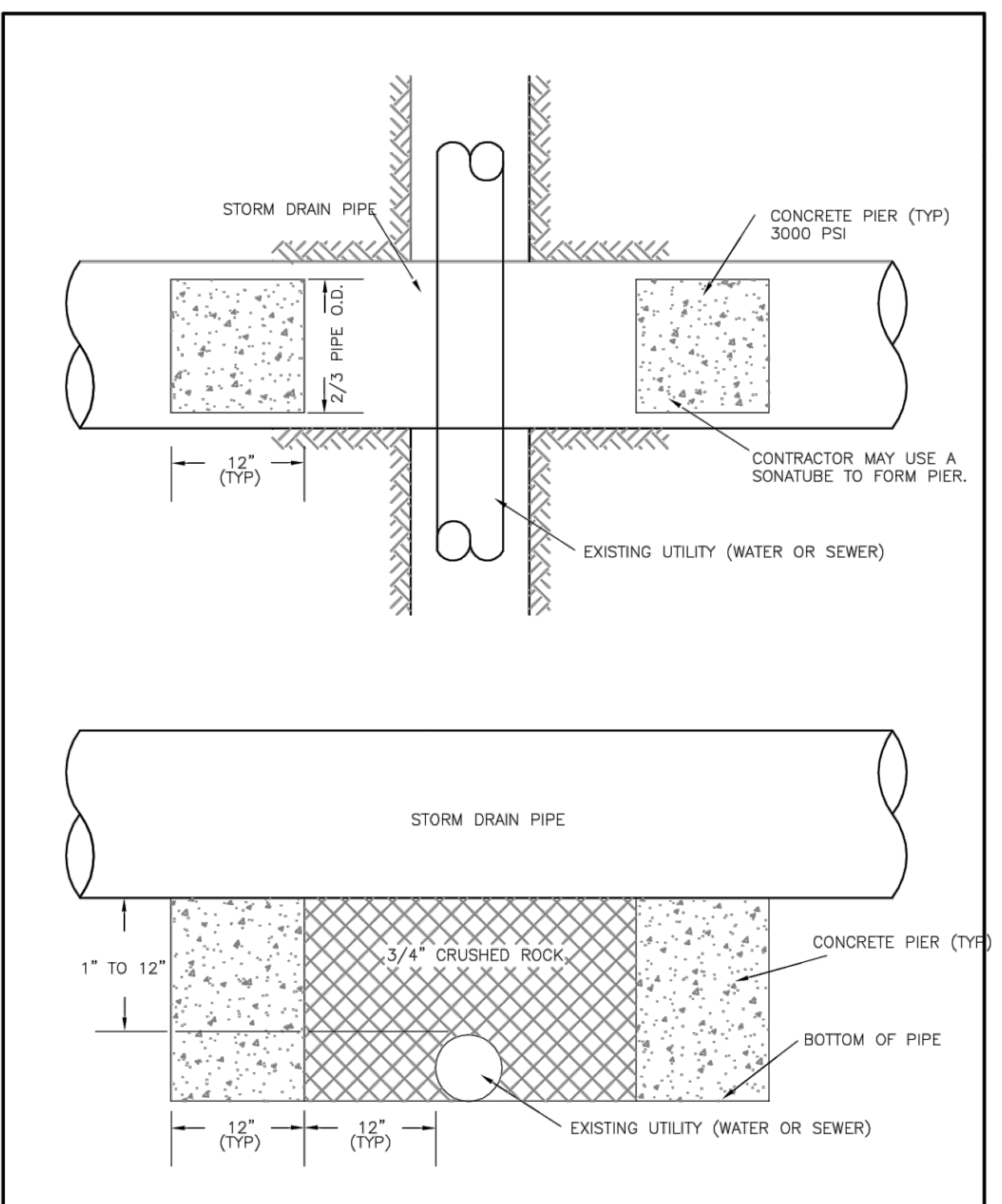
CONCRETE PAVEMENT REPAIR

17 Jan 2020
 FIG. G5



STREET BORE

17 Jan 2020
 FIG. G6



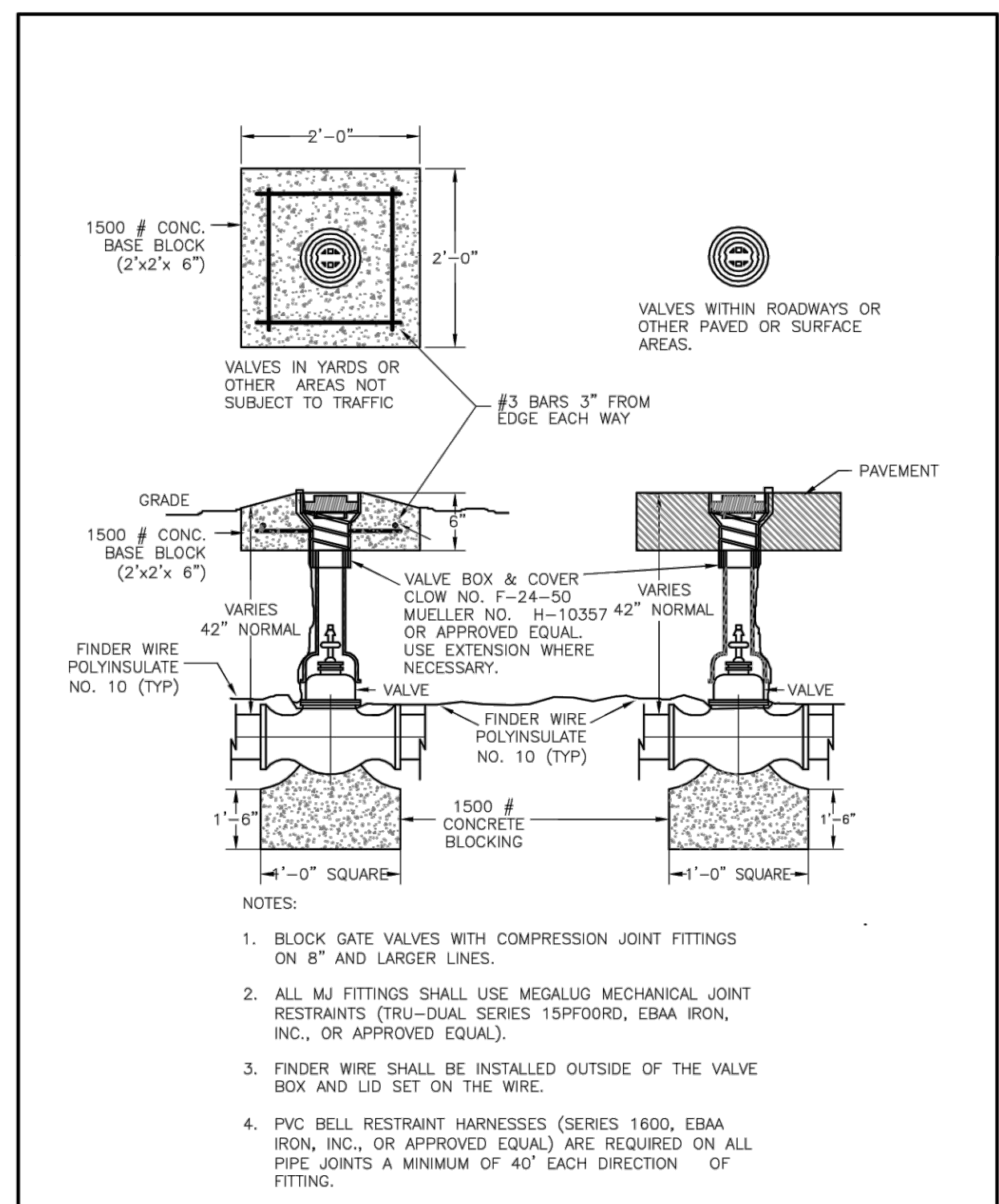
BRIDGING EXISTING UTILITIES

25 Jan 2018
 FIG. G7

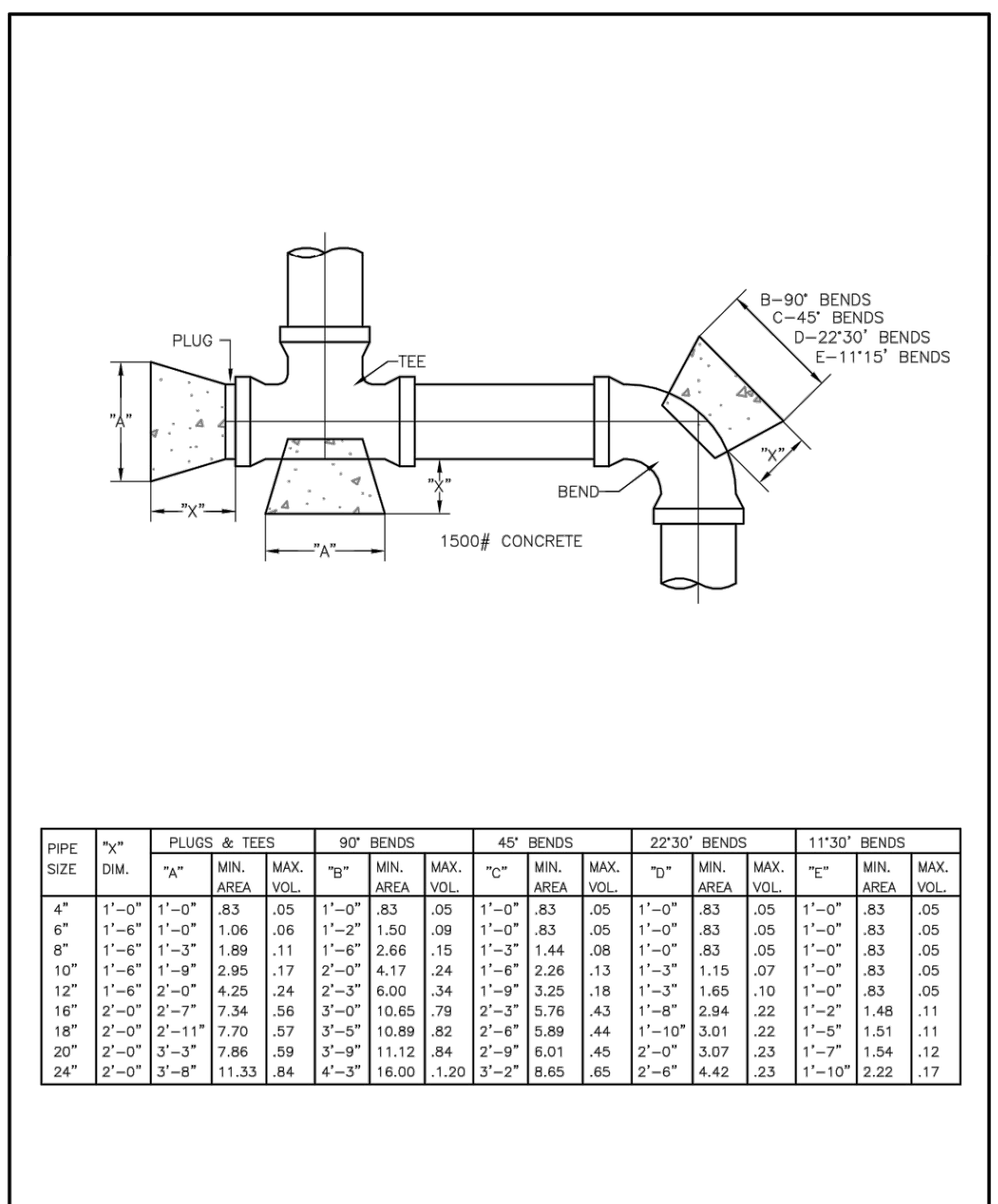
EMBEDMENT DETAILS

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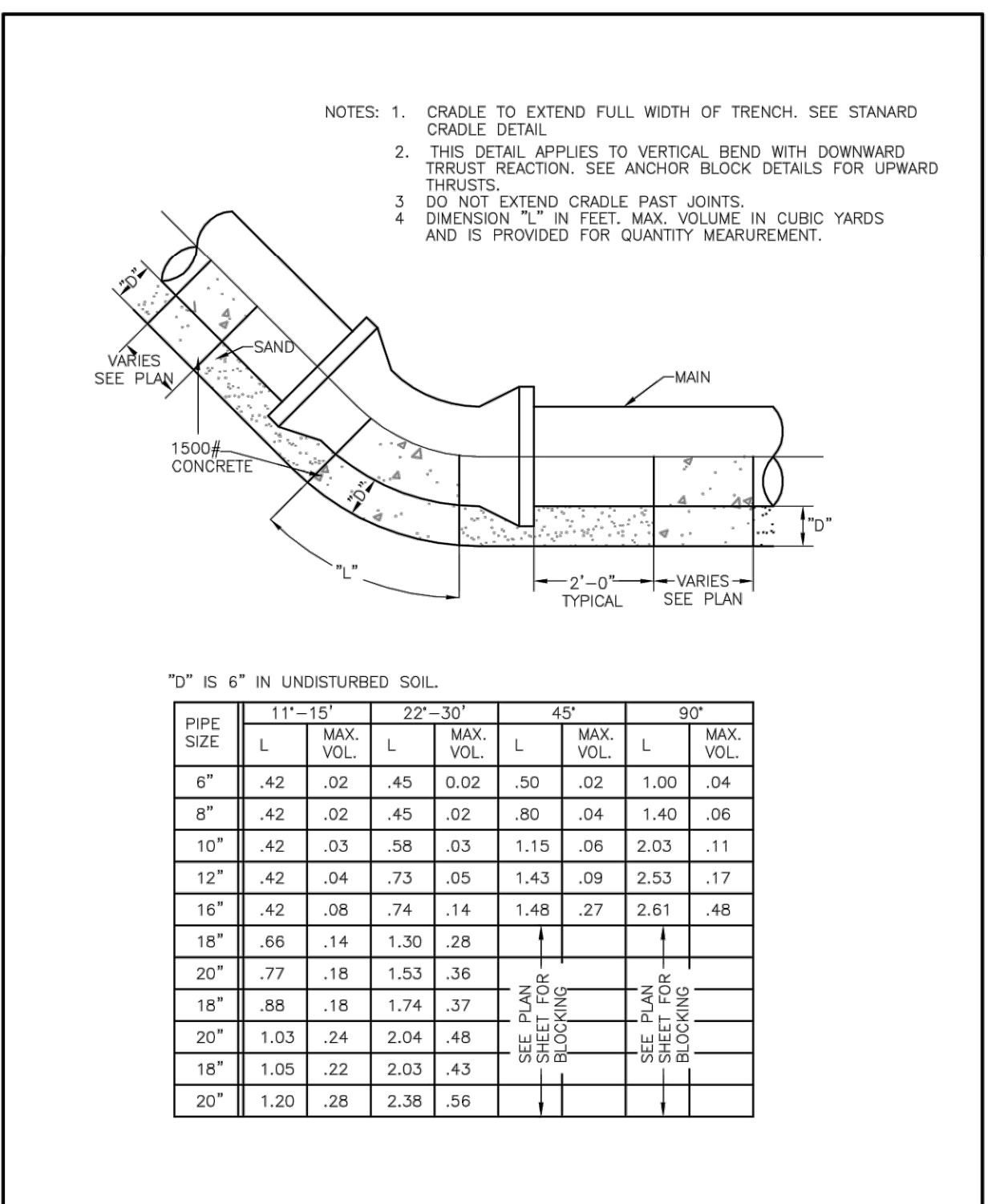
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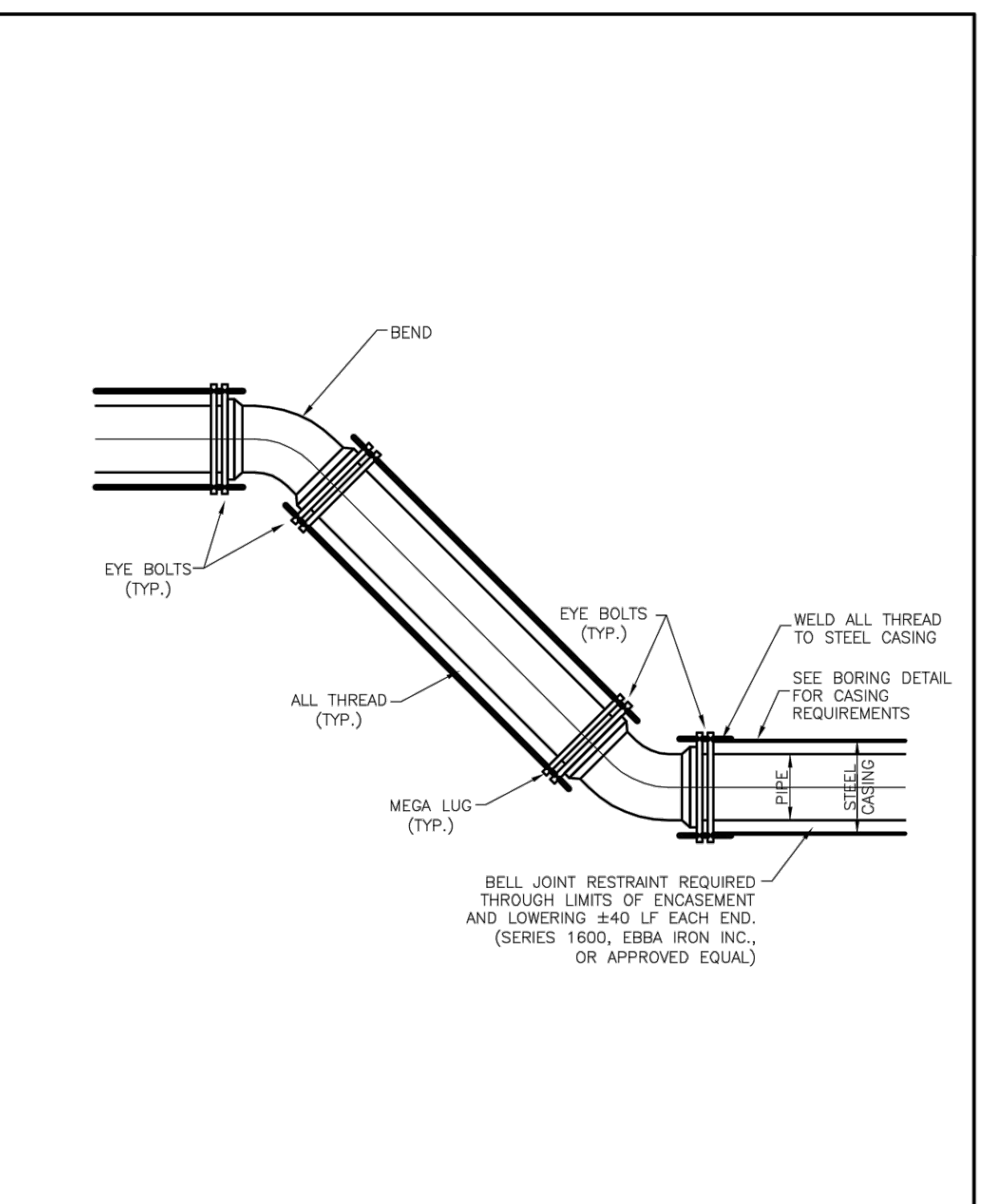
GATE VALVES & VALVE BOXES 17 Jan 2020
FIG. W1



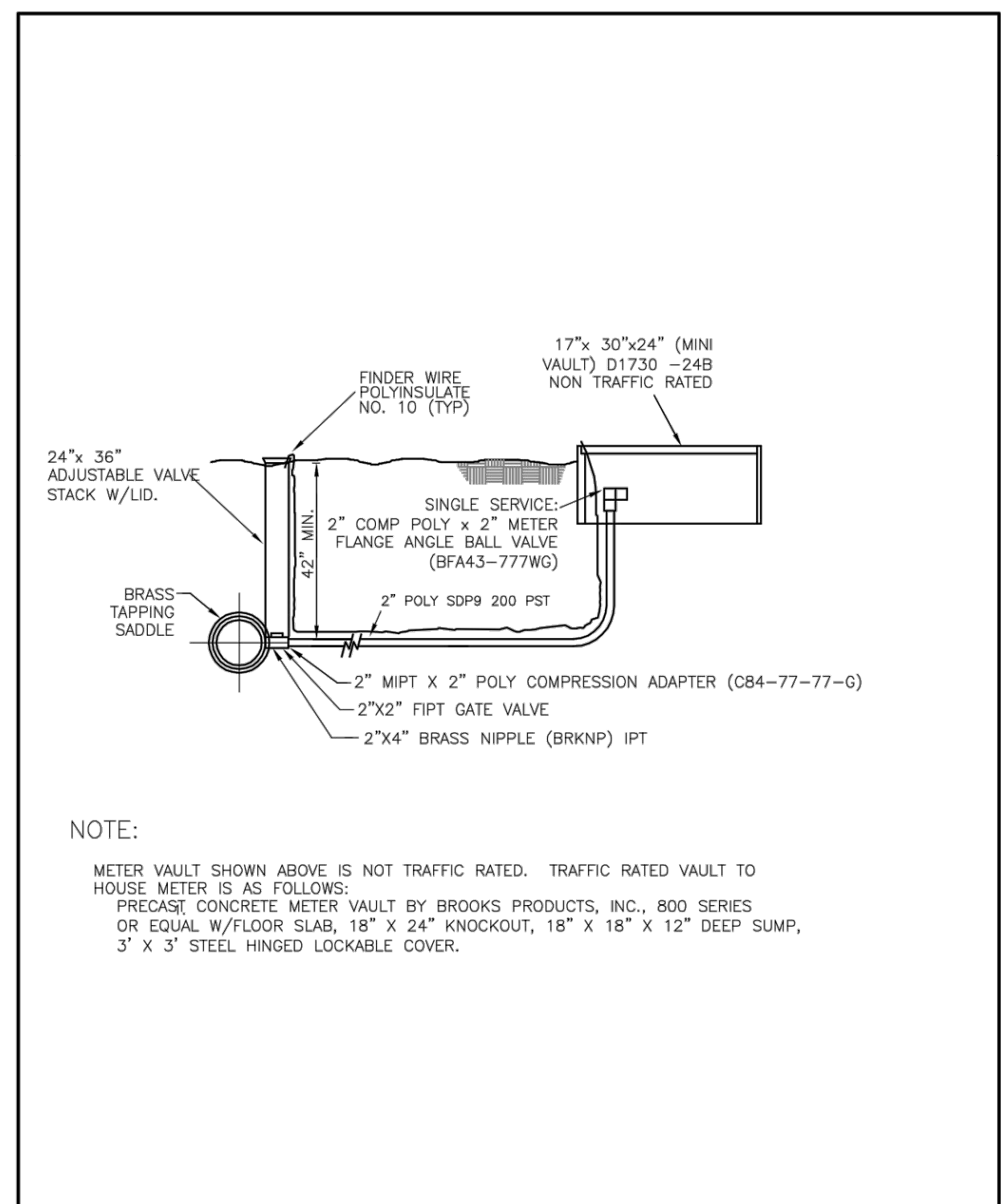
THRUST BLOCKING 06 Feb 2018
FIG. W2



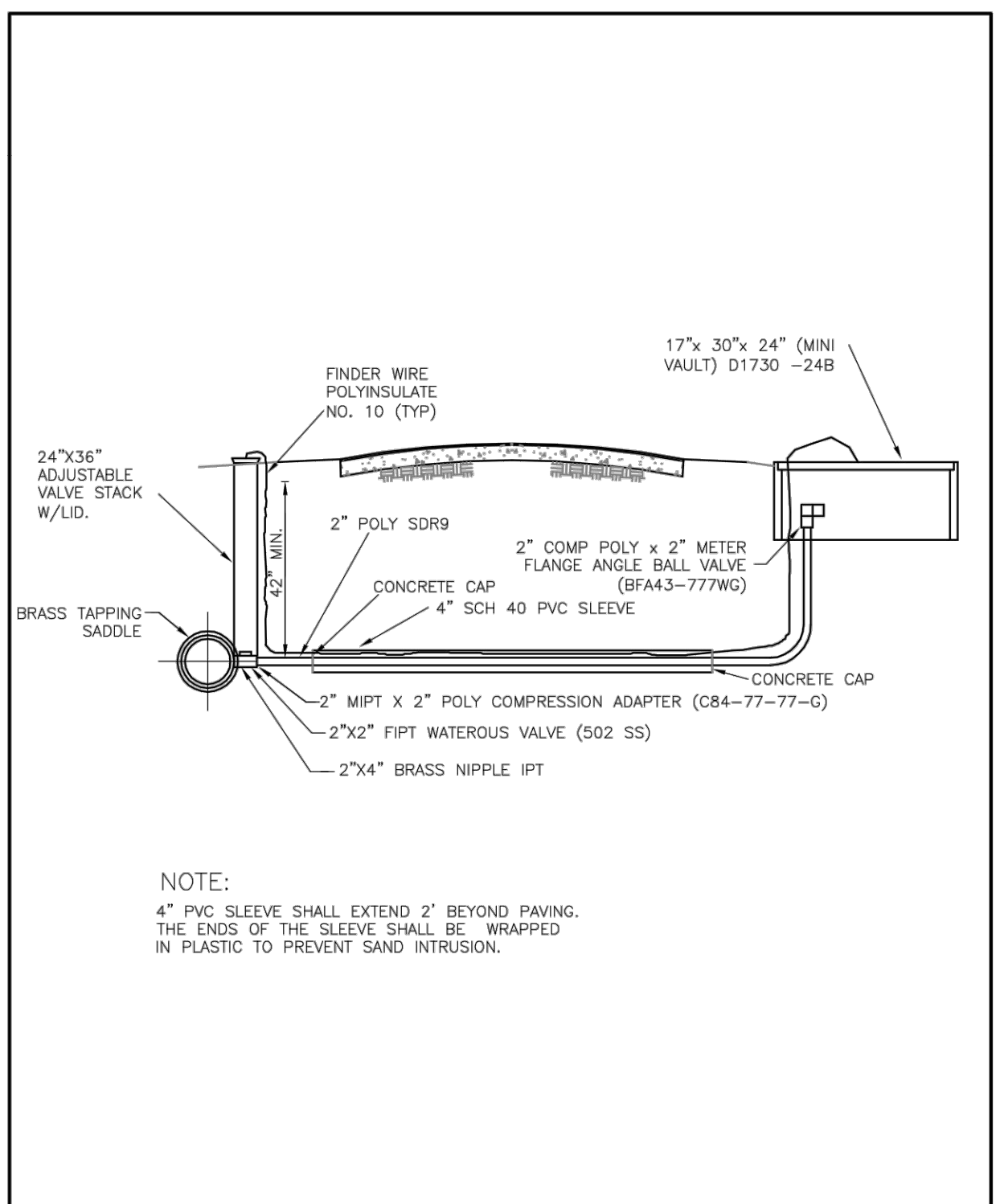
CONCRETE CRADLE AT VERTICAL BENDS 06 Feb 2018
FIG. W3



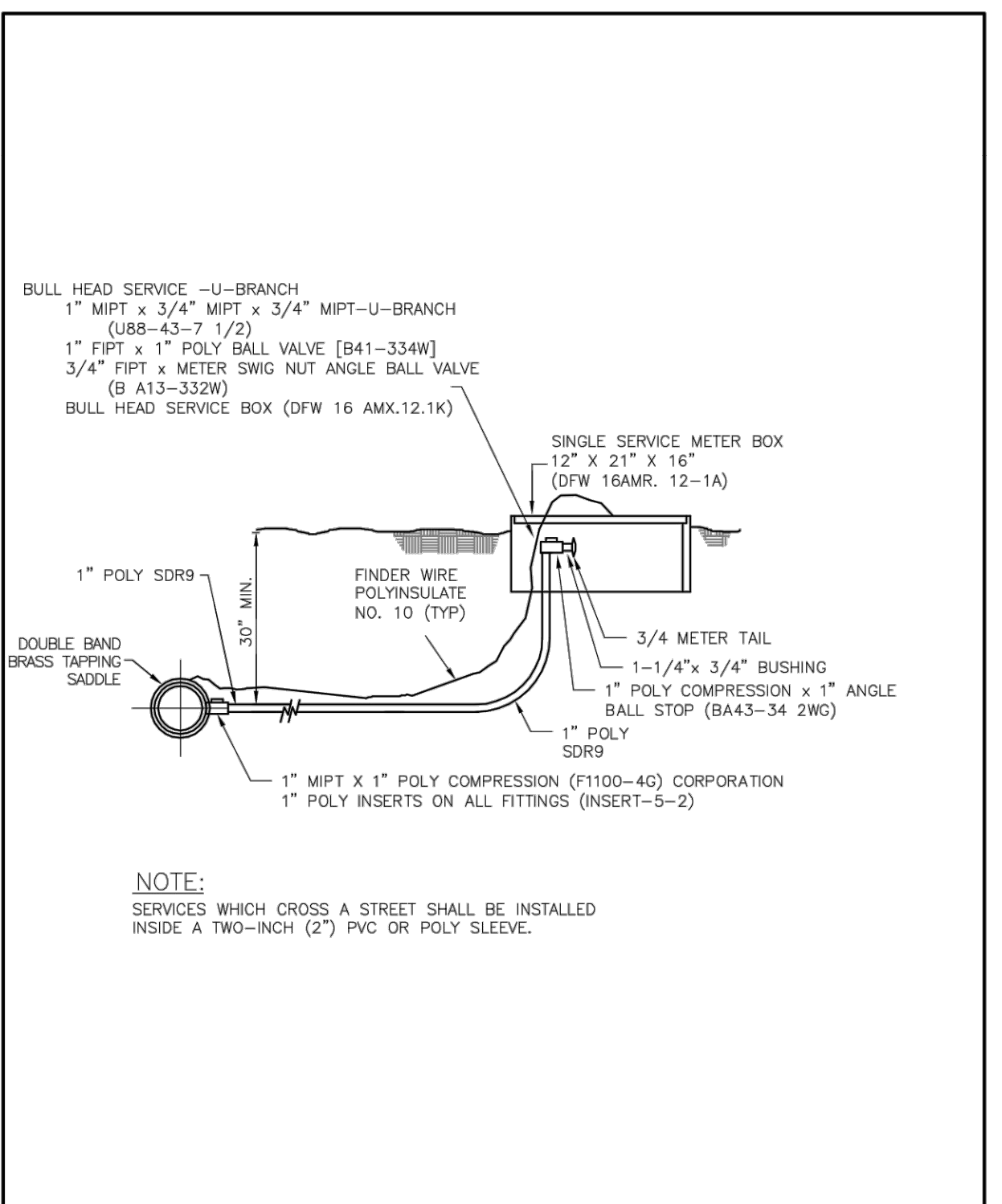
WATERLINE LOWERING JOINT RESTRAINT 17 Jan 2020
FIG. W4



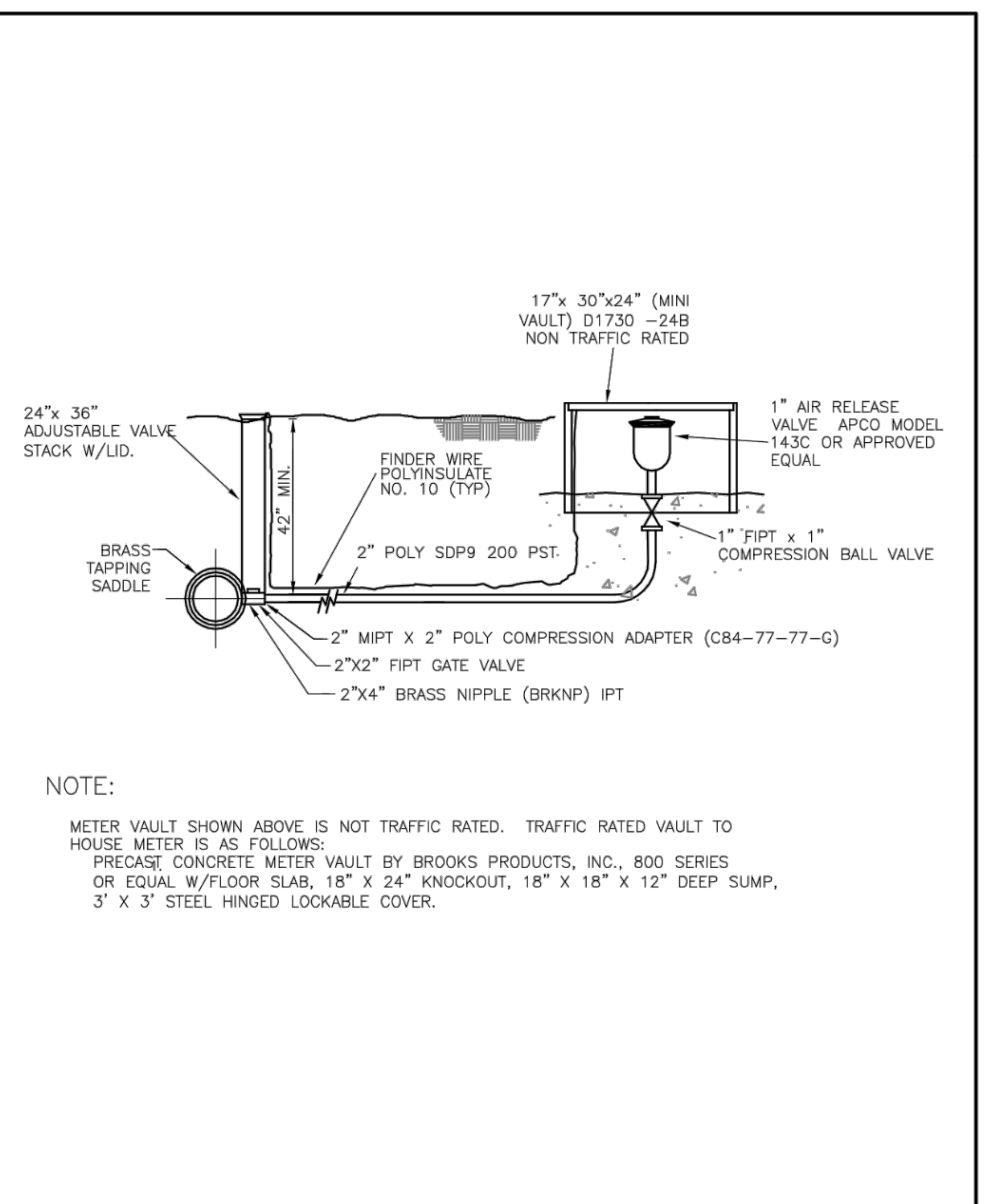
2" WATER SERVICE CONNECTION 30 Jan 2018
FIG. W5



2" LONG WATER SERVICE/BLOWOFF 25 Jan 2018
FIG. W6



WATER METER SINGLE & BULL HEAD SERVICE CONNECTIONS 25 Jan 2018
FIG. W7

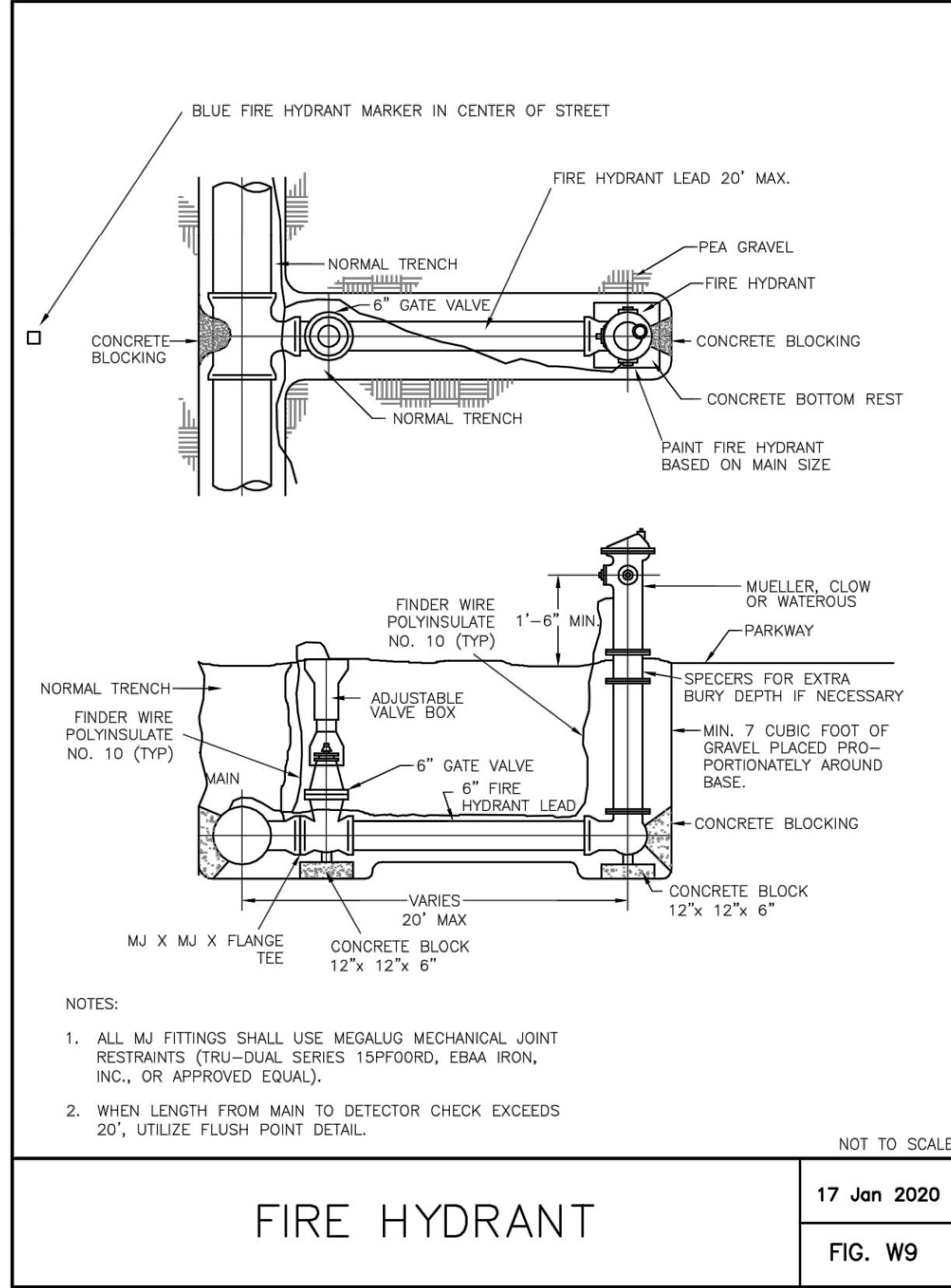


AIR RELEASE VALVE DETAIL 30 Jan 2018
FIG. W8

WATER DETAILS SHEET 1

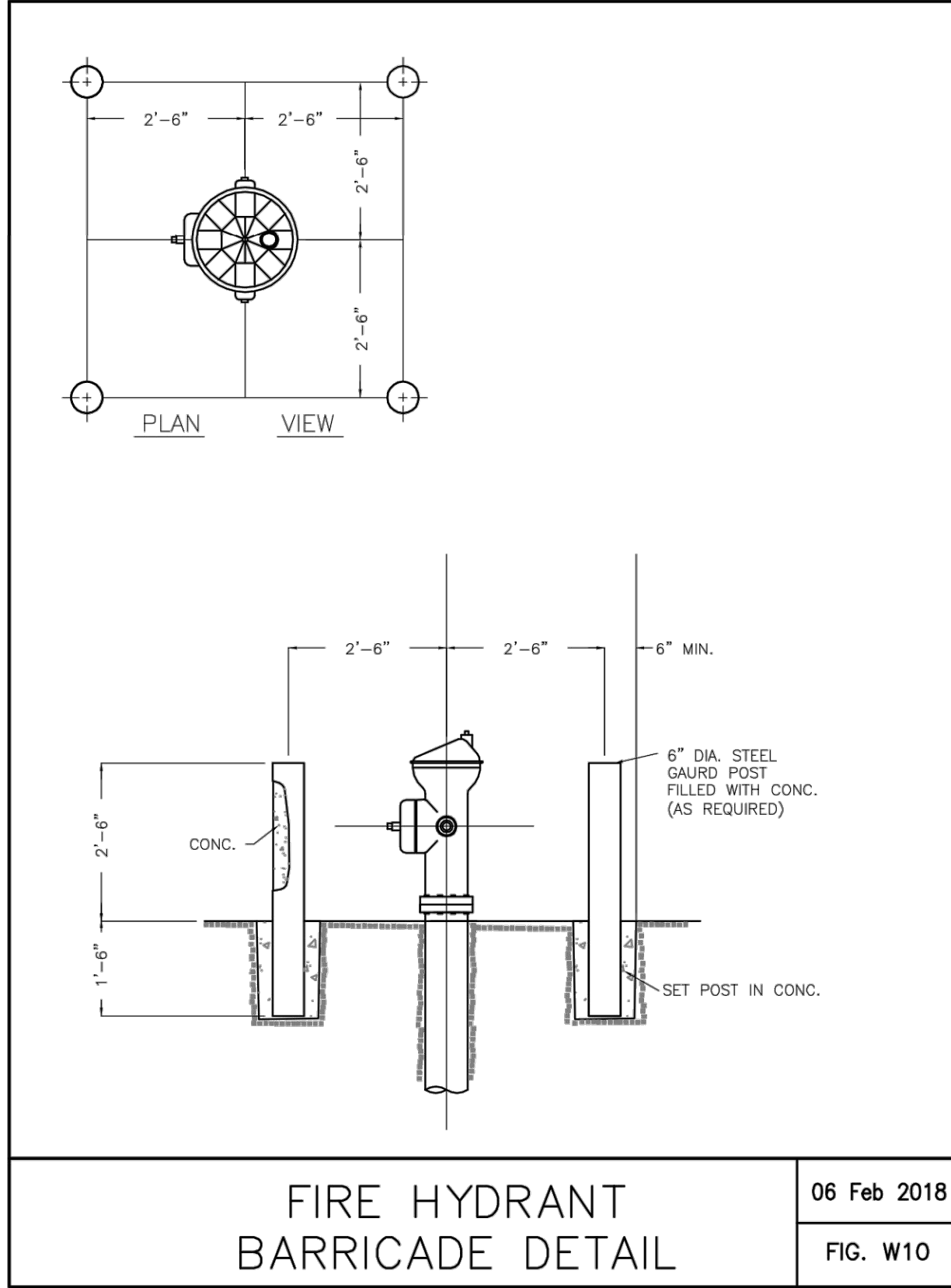
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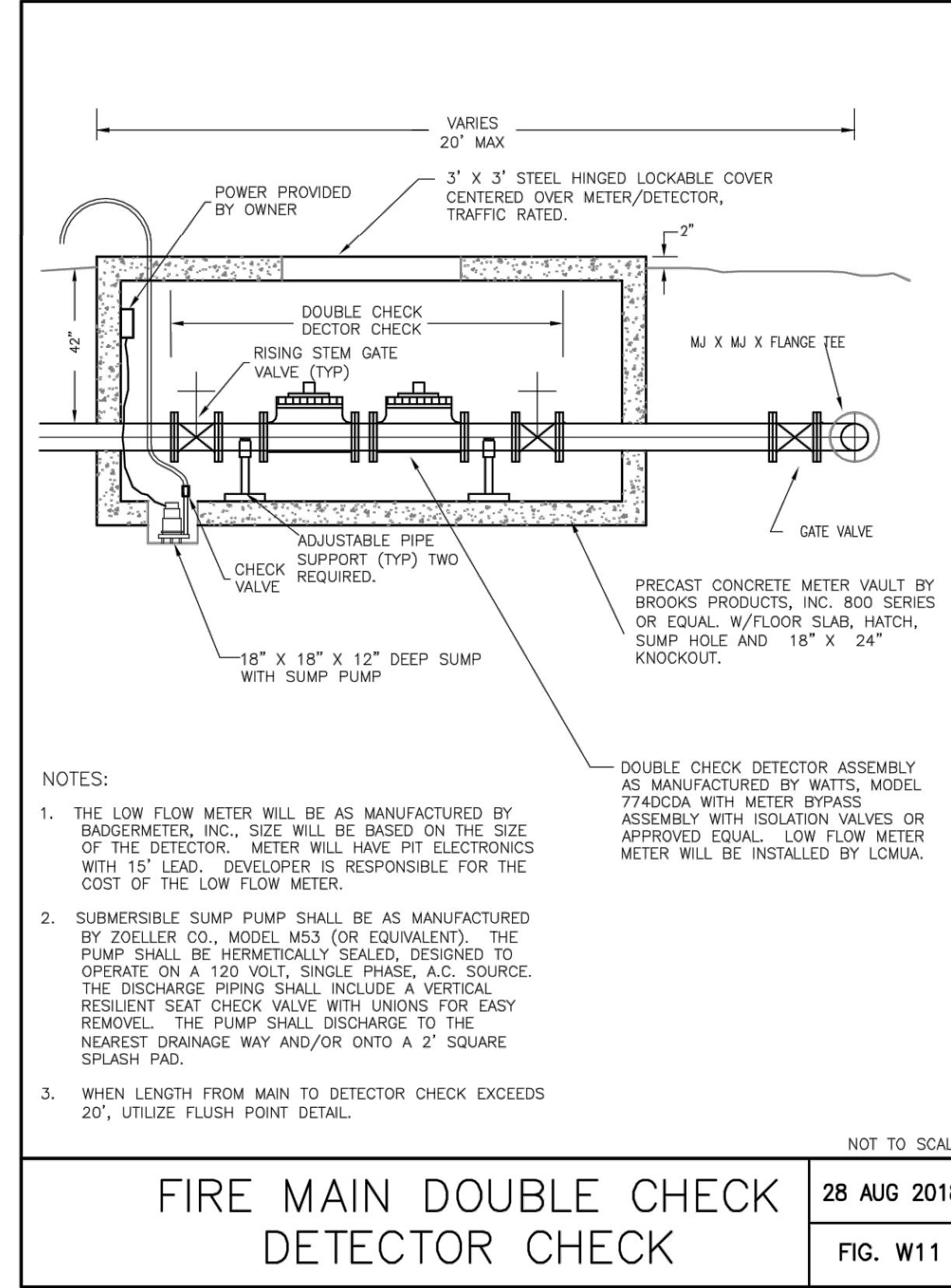
FIRE HYDRANT

17 Jan 2020
FIG. W9



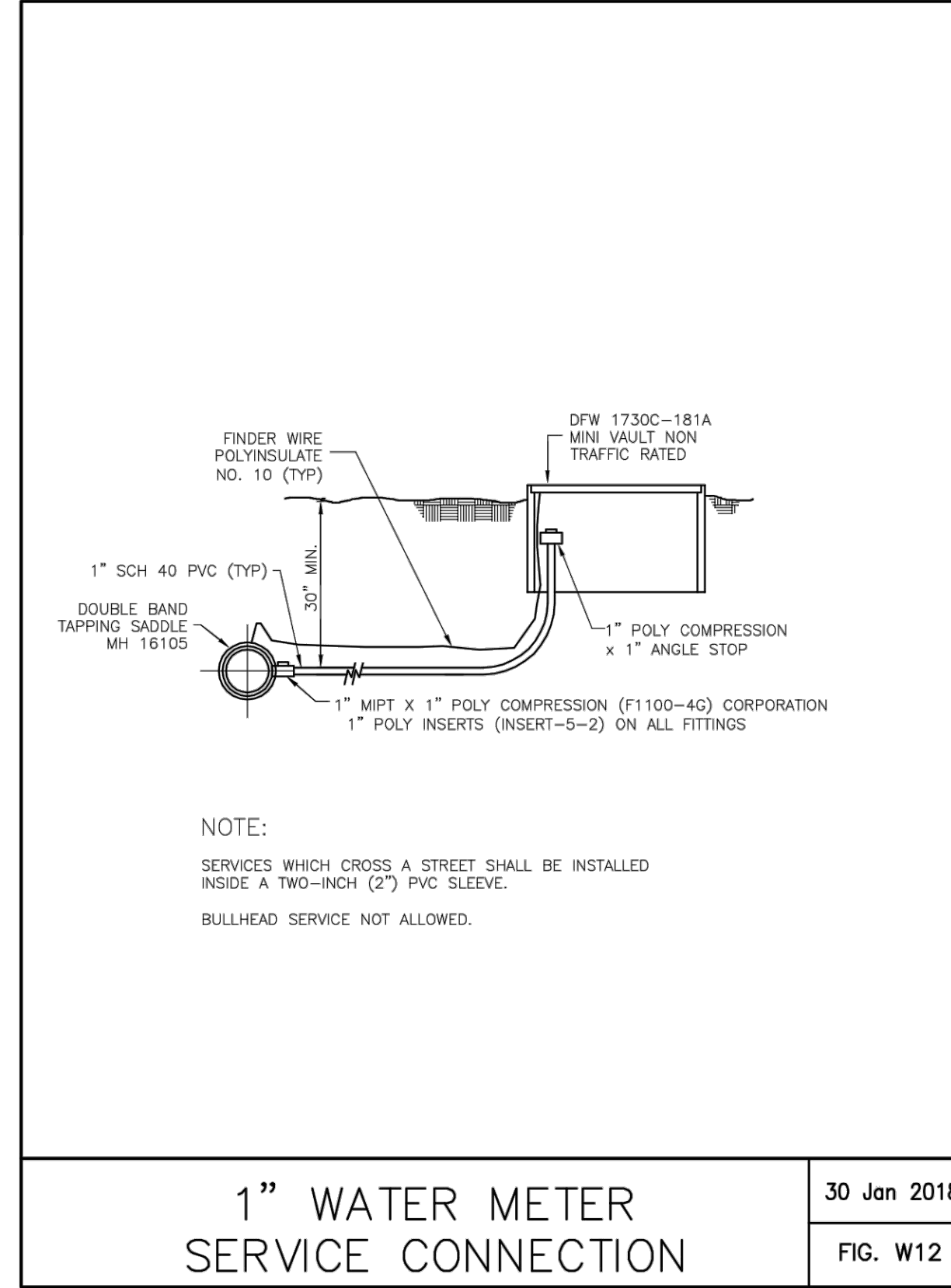
FIRE HYDRANT BARRICADE DETAIL

06 Feb 2018
FIG. W10



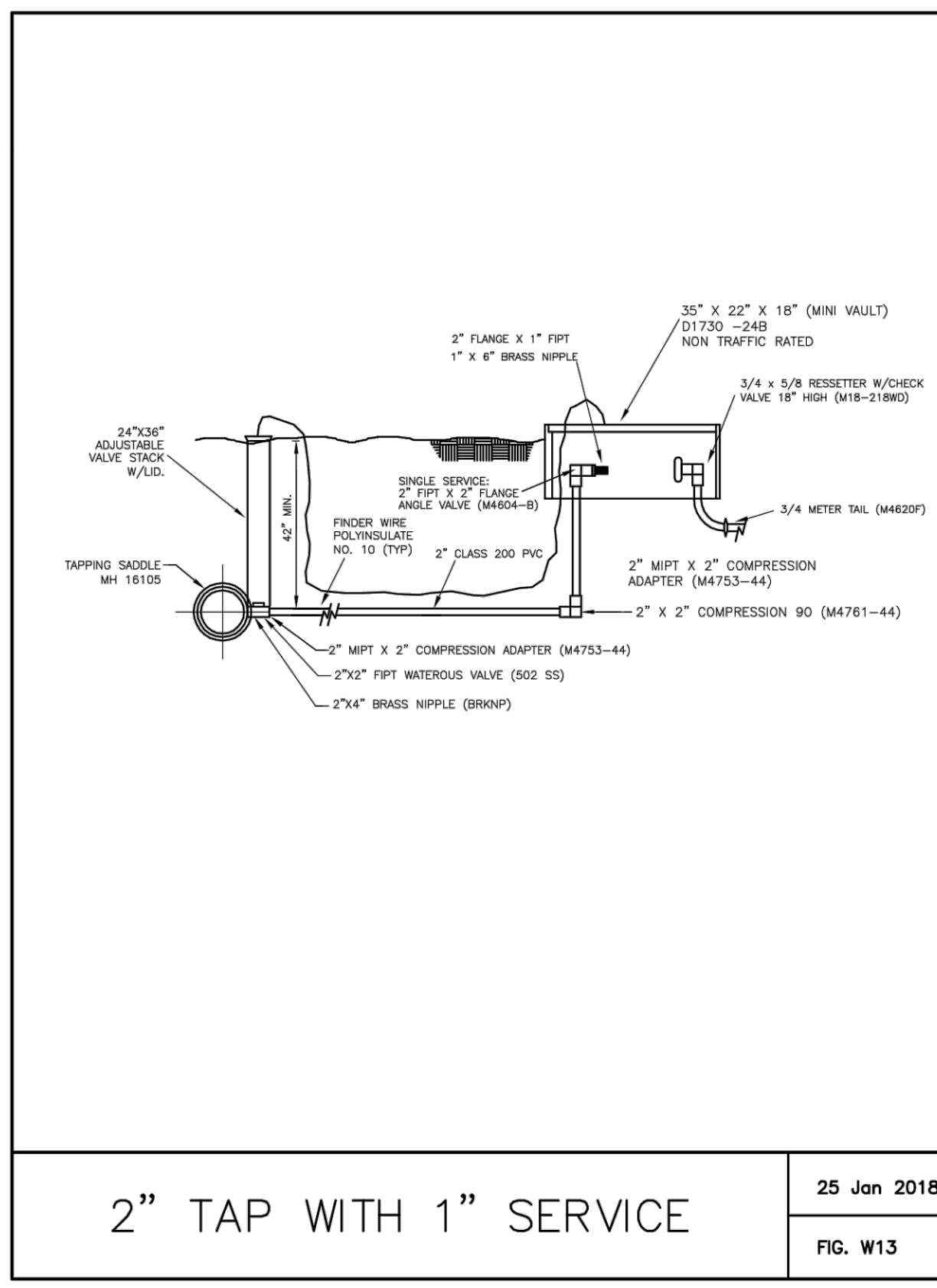
FIRE MAIN DOUBLE CHECK DETECTOR CHECK

28 AUG 2018
FIG. W11



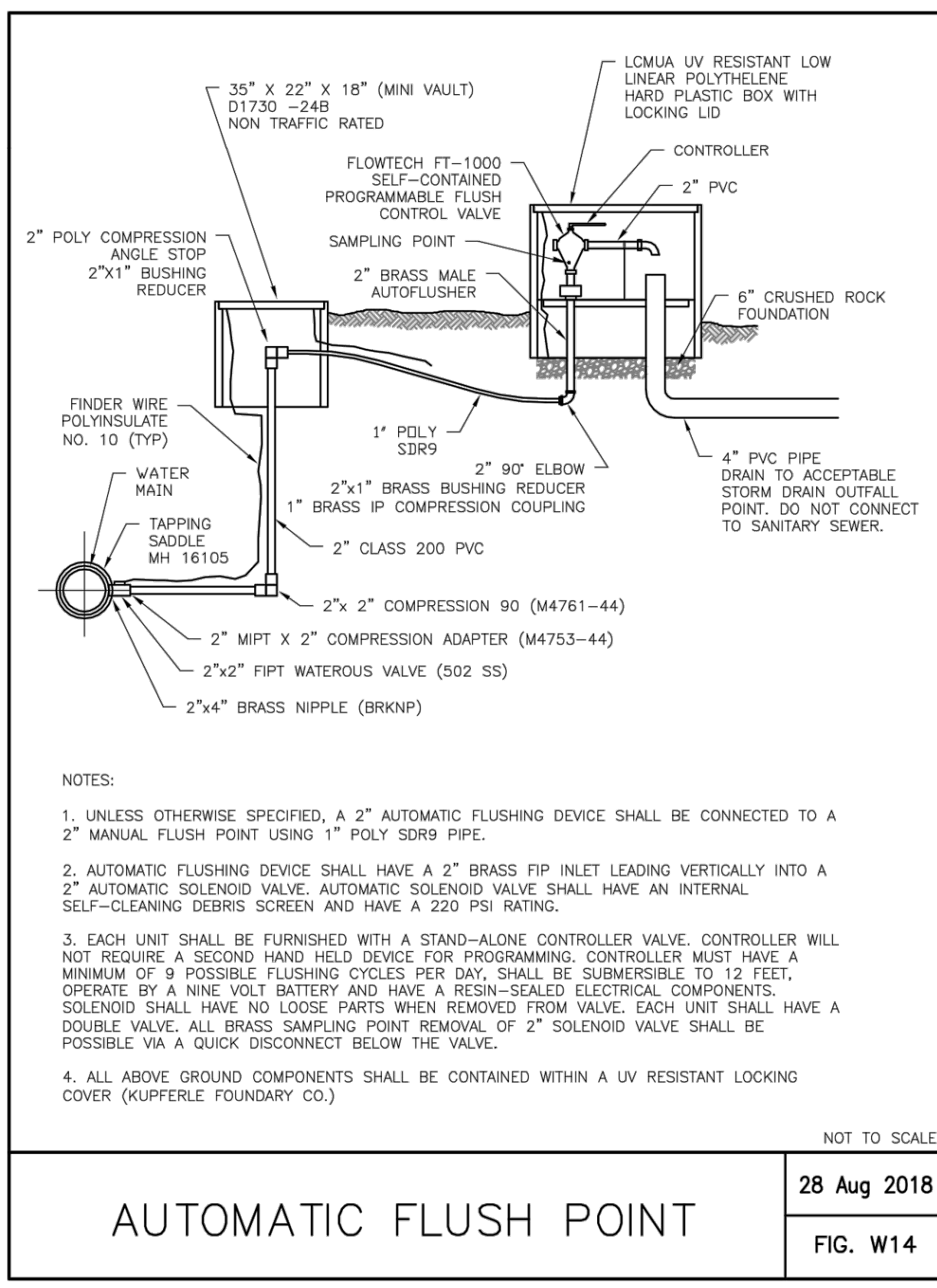
1" WATER METER SERVICE CONNECTION

30 Jan 2018
FIG. W12



2" TAP WITH 1" SERVICE

25 Jan 2018
FIG. W13



AUTOMATIC FLUSH POINT

28 Aug 2018
FIG. W14

WATER DETAILS SHEET 2

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<p>SCALE AS SHOWN DESIGNED BY ALM DRAWN BY ALM CHECKED BY TBB</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 80%;">No.</th> <th style="width: 20%;">DATE</th> </tr> <tr> <td> </td> <td> </td> </tr> </table>	No.	DATE		
No.	DATE				
<p>LCMUA CONSTRUCTION DETAILS</p>					
<p>SWISHER ROAD INDUSTRIAL PREPARED FOR LINCOLN PROPERTY COMPANY LAKE DALLAS TEXAS</p>					
<p>DATE: 03/25/2025 PROJECT NO. 063319112 SHEET NUMBER C-11.4</p>					

**ATTACH TRAFFIC
CONTROL PLAN**

**ATTACH TREE
PRESERVATION PLAN**

**ATTACH TREE
PRESERVATION PLAN**

**ATTACH LANDSCAPE
PLAN**

**ATTACH LANDSCAPE
PLAN**