



**Planning and Zoning Commission
Regular Meeting
212 Main Street
City of Lake Dallas, Texas 75065
Thursday, February 20, 2025, at 6:00 p.m.
Agenda**

1. Call to Order and Determination of Quorum

2. Pledges of Allegiance

3. Citizen Agenda & Public Comment

An opportunity for citizens to address the Planning & Zoning Commission on matters which are not scheduled for consideration by the Planning & Zoning Commission. Speakers will be limited to five (5) minutes each. The Texas Open Meeting Act prohibits deliberation by the Planning & Zoning Commission of any subject which is not on the posted agenda, therefore the Planning & Zoning Commission will not be able to discuss or take any action on items brought up during the citizen presentations that are not on the agenda.

4. Consider and act on the Planning and Zoning Minutes for December 19, 2024.

5. Conduct a public hearing and provide recommendation for a Planned Development, on property currently zoned District C-3 in the Downtown Overlay District, to allow for a Mixed Use Building of the O T Garza Survey, more commonly known as 312 Main St, TX 75065, Lake Dallas, Denton County. Texas.

6. Conduct a public hearing and provide recommendation for a proposed text amendment to zoning regulations in the Lake Dallas Municipal Code, Chapter 122 "Zoning," Article XI, "M-1 Light Industrial District," Section 122-441, "Permitted Uses," amending the permitted uses allowed in the M-1 Light Industrial District.

7. Consider and take appropriate action on a Final Plat and associated Construction Plans for Lot 1, Block A of Ace Hardware Addition, being a replat of +/- 1.506 acres in the Susan O. McCarroll Survey, Abstract No. 958, a portion of Lots 1-4, Block A and a portion of Lot 1 and all of Lots 2-4, Block B of Barmarchar Sites, of the City of Lake Dallas, Denton County, Texas.

8. Consider and act on a recommendation to appoint a member to the Planning and Zoning Board.

9. Announcements and requests for future agenda items.

10. Adjourn.

I certify that the above notice of this meeting was posted on the bulletin board at City Hall of the City of Lake Dallas, Texas on or before February 14, 2025, at 5:00 p.m.



Codi Delcambre, City Secretary

If you plan to attend this public meeting and you have a disability that requires special arrangements at this meeting, please contact City Secretary's Office at (940) 497-2226 ext. 102 or fax (940) 497-4485 at least two (2) working days prior to the meeting so that appropriate arrangements can be made.

**State of Texas
County of Denton
City of Lake Dallas**

The Lake Dallas City Planning and Zoning Commission met in a regular meeting December 19, 2024 in the Lake Dallas City Hall, 212 Main Street, with notice of the meeting given, as required by Title 5, Chapter 551.041 of the Texas Government Code, Chairperson Melody Parlett called the meeting to order at 6:00 p.m.

1. Roll Call

Melody Parlett
Annette Fuller

Chairperson.
Vice Chairperson.
Member Place 3.
Member Place 4.
Alternate 2

Christian Cline
Layne Cline

Absent:
None.

Staff Present:

Daniel Rusnak, Permit Tech
Codi Delcambre, City Secretary

2. Pledge of Allegiance

- 3. Conduct a public hearing and provide recommendation for a Planned Development with a base zoning of R-1-6000 Single Family Dwelling District applicable to the development and use of approximately 0.986 acres of land being part of the Gotcher Addition, Abstract No. 043A, City of Lake Dallas, Denton County, Texas; located on Lot 7R Block 1. The property is generally located at 206 Gotcher Ave Lake Dallas, TX 75065. The property is currently zoned as a Planned Development with R-1-600 Single Family Dwelling District as the base.**

City Planner Randi Rivera presented plan to the board. Applicant Terry Lantrip thanked the board for their time and consideration. Board discussed the proposed language.

Motion: Board member Sam Park made the motion to recommend approval of the proposed request as described and presented. Board member Layne Cline seconded the Motion.

Ayes: Melody Parlett, Annette Fuller, Christian Cline, Layne Cline.

Nays: None

Motion Passed 4-0

4. Citizen Agenda & Public Comment:

An opportunity for citizens to address the Planning & Zoning Commission on matters which are not scheduled for consideration by the Planning & Zoning Commission. In order to address the Planning & Zoning Commission, please complete a Public Meeting Appearance Card and present it to the City Secretary prior to the start of the meeting. The Texas Open Meeting Act prohibits deliberation by the Planning & Zoning Commission of any subject which is not on the posted agenda, therefore the Planning & Zoning Commission will not be able to discuss or take any action on items brought up during the citizen presentations. Citizen presentation will be limited to five (5) minutes per person.

No one requested to speak.

5. Announcements or request for future agenda items.

None.

6. Adjournment of Regular Meeting.

Meeting was adjourned at 6:15 pm.

Passed and approved on the _____ day of _____, 2024.

Melody Parlett, Chairperson

Attest:

Daniel Rusnak, Permit Tech



**P&Z COMMISSION
AGENDA MEMO**

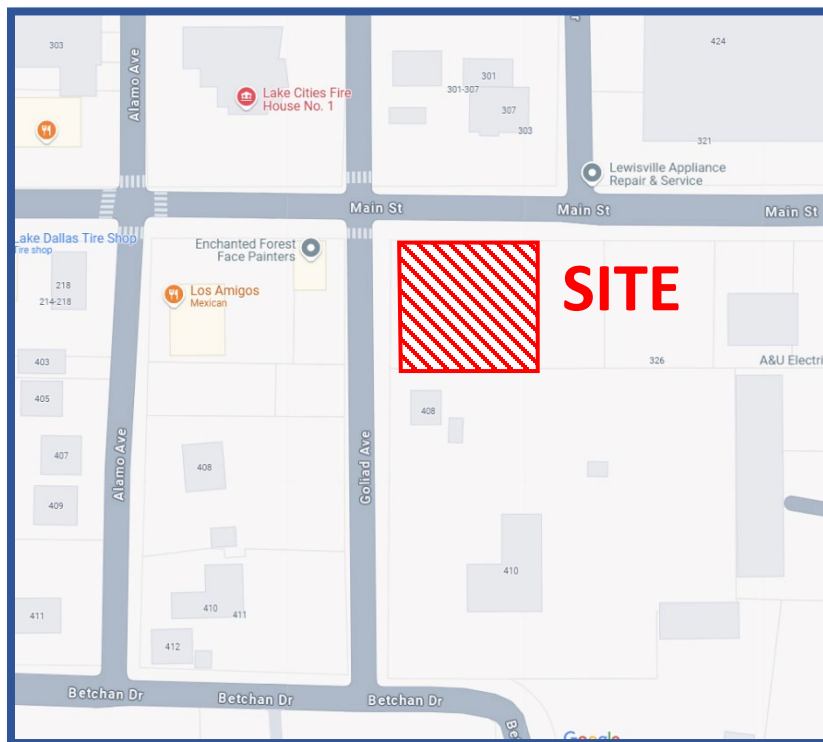
Prepared By: Randi Rivera, AICP, City Planning Consultant

February 20th, 2025

Conduct a public hearing and provide recommendation for a Planned Development, on property currently zoned District C-3 in the Downtown Overlay District, to allow for a Mixed Use Building of the O T Garza Survey, more commonly known as 312 Main St, TX 75065, Lake Dallas, Denton County, Texas.

DESCRIPTION:

Planning and Zoning Commission shall consider the request for Planned Development for the property at 312 Main St, Lake Dallas 75065 (located on O T Garza BLK 14 Lot 1-4) to allow the for the construction of a Mixed Use Building.



BACKGROUND INFORMATION:

The property at 312 Main St, TX 75065, Lake Dallas, consists of vacant land. The applicant is proposing a two story, 12,332 square-foot, mixed-use building with retail and restaurants on the first floor and four residential lofts on the second floor. The development will have direct access off Main Street and Goliad Avenue. There will be 10 onstreet parking spaces along Main Street and additional parking to the rear of the property. A five foot sidewalk will be extended along the Main Street frontage, between the parking and the building front.

The property is currently zoned as C-3 District within the Downtown District Overlay. The Downtown District Overlay allows mixed use buildings, with lofts above ground floor uses, with a Planned Development District. Therefore, the proposed zoning is Planned Development with C-3 as the base zoning and remaining within the Downtown District Overlay. The PD also provides additional permitted uses not currently listed within the C-3 zoning district. Those include: Commissary Kitchen, Drug/Pharmacy Store, Meat and Butcher Shop, Micro-Brewery, and Wine Tasting Room.

In addition to proposing the additional permitted uses above, the PD also provides development standards for certain regulations that will be unique to the PD District only and may vary from City standards. Below is a list of the development standards needed for this PD:

DEVELOPMENT STANDARDS:

1. Parking

Requirement	PD Standard	Reason
Section 122-764: A minimum of one off-street parking space shall be provided on the premises for each 200 square feet of floor space. Within the Downtown District it allows 20% reduction and does not require all the parking to be on the same lot as it is intended to serve.	The minimum amount of parking spaces required is 33 and they shall be provided in accordance with the following: -Number of parking spaces provided onsite shall be 23, including 10 onstreet and 13 offstreet parking located onsite - The remaining 10 parking spaces required shall be counted as existing shared parking spaces within the Downtown District	Due to the limited amount of space available it is requested that a 20% reduction in parking be allowed and shared parking be utilized within the Downtown District.

2. Landscaping

Requirement	PD Standard	Reason
(2.b) - Whenever an off-street parking or vehicular use area abuts an adjacent property line, a perimeter landscape area at least ten feet in width shall be maintained between the edge of the parking area and the adjacent property line.	For off-street parking and vehicular use areas abutting adjacent property lines there shall be a minimum of four feet along the east property line and one foot along the southern property line	Due to the limited amount of horizontal space available for a development of this size, a perimeter landscape area with a measurement of at least 10' in width was not provided. It is requested that the perimeter landscaping width be reduced.
(2.c) – Perimeter landscape areas shall contain at least one tree for each 50 lineal feet or fraction thereof of perimeter area	The area of the perimeter landscape buffer, required for off-street parking and vehicular use areas abutting the adjacent property lines and public rights-of-way, shall have a minimum of eight (8) trees. No spacing intervals shall be required.	Due to the limited amount of perimeter space the number of trees required would not be ideal and the placement would not fit.
Sec. 122-1229 Landscaping requirements for Nonvehicular open space	Nonvehicular open space shall not be required	Due to the limited amount of space nonvehicular open space is not required
Sec. 122-1228 (b) There shall be a minimum of one tree planted for each 400 square feet or fraction thereof of required interior landscape area. (c) Interior areas of parking lots shall contain planting islands located so as to best relieve the expanse of paving. Planter islands must be located no further apart than every 12 parking spaces and at the terminus of all rows of parking. Such islands shall	Tree planting requirements for Interior Landscape Trees and Parking Terminus Trees may overlap.	Due to the limited amount of space and not wanting trees in the ROW, interior and Parking Terminus trees are allowed to overlap.

contain at least one tree. The remainder shall be landscaped with shrubs, lawn, ground cover and other appropriate material not to exceed three feet in height.		
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3. Site Standards

Requirement	PD Standard	Reason
Section 2.05 (E) 2 City Engineering Design Manual Driveway radii shall fall entirely within the subject property so as to begin at the street curb at the extension of the property line	The driveway onto Main Street may have a radii that extends past the extension of the east property line, along the street curb within the existing right of way	In order for the development to meet the fire lane turning radii, the radii has to extend beyond the side property line along Main Street, along the frontage of the adjacent property to the east.

4. Architecture

Requirement	PD Standard	Reason
Section 122-687 (B) Upon Development, redevelopment and/or infill development within the Downtown District, each new or reconstructed building and structure, or part thereof, shall have a minimum of four of the following architectural features	The architectural of the proposed building shall be generally consistent with the Concept Elevations attached to this Planned Development and said building shall provide the following architectural features: Awning, Balcony, Roof Parapet, Patio	These architectural features align with what is listed in the code, these are just limiting the features to the ones listed.

5. Setbacks

Requirement	Proposed	Base Zoning C-3 Downtown District
Minimum Front Yard Setback	8 feet	10 feet

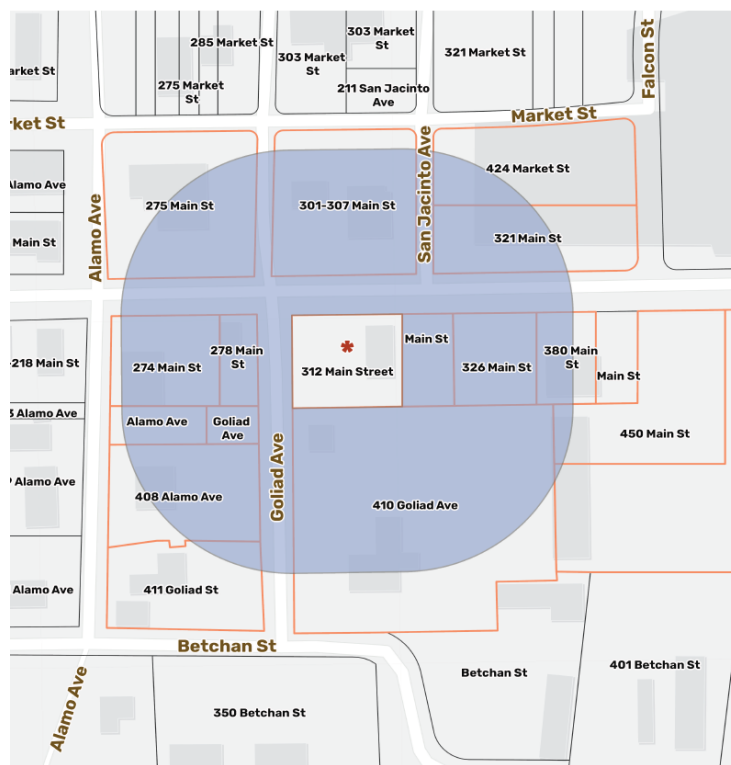
ADJACENT ZONING AND LAND USE:

DIRECTION	ZONING	EXISTING USE
Subject Property	C-3 Downtown Overlay	N/A
North	C-3 Downtown Overlay	Office
South	C-3 Downtown Overlay	Single Family Residence/Vacant Lot
West	C-3 Downtown Overlay	Gift Shop
East	C-3 Downtown Overlay	Vacant Lot

FEEDBACK:

Correspondence:

The City Code requires notification of the property owners within 200 feet of the subject property. For this application, 17 Property Owner Notifications were mailed at least 11 days prior to the public hearing. The following map shows properties within 200’ of the subject site.



RECOMMENDED MOTIONS:

Following the public hearing, the City P&Z Commission can:

RECOMMEND TO APPROVE/DENY the rezoning of the Planned Development.

OR

RECOMMEND TO APPROVE/DENY the Planned Development with modifications or additions to the listed variances. (Said modifications or additions would need to be listed in the motion.)

ATTACHMENTS:

Draft Ordinance

Site Plan

Landscape Plan

Elevations

**CITY OF LAKE DALLAS, TEXAS
ORDINANCE NO. 2025-_____**

AN ORDINANCE OF THE CITY OF LAKE DALLAS, TEXAS, AMENDING THE LAKE DALLAS MUNICIPAL CODE ZONING ORDINANCE AND MAP OF THE CITY OF LAKE DALLAS, TEXAS, AS HERETOFORE AMENDED, BY CHANGING THE ZONING REGULATIONS GOVERNING THE DEVELOPMENT AND USE OF LOT 1, LOT 2, LOT 3 AND LOT 4, BLOCK 14, OLD TOWN OF GARZA, AN ADDITION TO THE CITY OF LAKE DALLAS, DENTON COUNTY, TEXAS, FROM C-3 COMMERCIAL DISTRICT, WITH DOWNTOWN DISTRICT, TO PLANNED DEVELOPMENT (PD) DISTRICT WITH A BASE ZONING OF C-3 COMMERCIAL DISTRICT AND DOWNTOWN DISTRICT; ADOPTING DEVELOPMENT REGULATIONS; PROVIDING A CONFLICTS RESOLUTION CLAUSE, PROVIDING A SEVERABILITY CLAUSE, PROVIDING A SAVINGS CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND (\$2,000.00) DOLLARS FOR EACH OFFENSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Lake Dallas and the governing body of the City of Lake Dallas, in compliance with the laws of the State of Texas and the ordinances of the City of Lake Dallas, have given requisite notice by publication and otherwise, and after holding due public hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, and in the exercise of its legislative discretion have concluded that the Lake Dallas Municipal Code Zoning Ordinance and Map should be amended; and

WHEREAS, having received the recommendation of the Planning and Zoning Commission and the report presented by the City Administration, the City Council of the City of Lake Dallas, Texas, finds that exceptional circumstances affecting the Property exists such that establishment of a planned development district regulating the development of the Property is justified.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAKE DALLAS, TEXAS, THAT:

SECTION 1. CHANGE OF ZONING CLASSIFICATION

The Lake Dallas Municipal Code Zoning Ordinance and Map of the City of Lake Dallas, Texas (collectively, the Zoning Ordinance”), heretofore duly passed by the governing body of the City of Lake Dallas, as previously amended, be, and the same are hereby amended by amending the regulations governing the use and development of Lot 1, Lot 2, Lot 3 and Lot 4, Block 14, Old Town of Garza, an addition to the City of Lake Dallas, Denton County, Texas, as recorded in Volume 75, Page 130, Deed Records of Denton County, Texas, from “C-3” Commercial District,

with Downtown District to Planned Development (PD) District with a base zoning of C-3 Commercial District and Downtown District, subject to Section 2 of this Ordinance.

SECTION 2. LAND USE AND DEVELOPMENT STANDARDS

The Property shall be developed and used in accordance with the provisions of the Zoning Ordinance, as amended, subject to the following modifications:

A. Base Zoning. Subject to the modifications or additions set forth in this Section 2, the Property shall be developed and used in accordance with the provisions of the Zoning Ordinance applicable to property located within the C-3 Commercial District and Downtown District, except as modified by this ordinance.

B. Site Plan. The Property shall be used and developed substantially in accordance with the Site Plan attached hereto as Exhibit “A” and incorporated herein by reference (the “Site Plan”). The City Manager may authorize minor changes to the Site Plan as provided in Section 122-636 of the Zoning Ordinance.

C. Permitted Uses. In addition to the uses Permitted in the C-3 Commercial District and Downtown District, the following uses are permitted on the Property:

- (1) Commissary Kitchen
- (2) Drug/ Pharmacy Store
- (3) Meat and Butcher Shop
- (4) Micro-Brewery
- (5) Residential Multi-Family Lofts
- (6) Wine Tasting Room

D. Development Standards. The Property shall comply with the development standards of the C-3 Commercial District and Downtown District, except as provided below:

- (1) The minimum front yard setback shall be eight (8) feet.

E. Screening and Landscaping. The Property shall be developed substantially in accordance with the Landscape Plan, attached hereto as Exhibit “B” and incorporated herein by reference (the “Landscape Plan”), and the following:

- (1) For off-street parking and vehicular use areas abutting adjacent property lines, a minimum perimeter landscape buffer area is required as follows:
 - (iii) East Property line – four (4) foot
 - (iv) South Property line – one (1) foot

(2) The area of the perimeter landscape buffer, required for off-street parking and vehicular use areas abutting the adjacent property lines and public rights-of-way, shall have a minimum of eight (8) trees. No spacing intervals shall be required.

(3) Nonvehicular open space shall not be required.

(4) Tree planting requirements for Interior Landscape Trees and Parking Terminus Trees may overlap.

F. Parking. The following parking standards shall apply to the Property:

(1) The number of parking spaces required shall be no less than thirty-three (33), in accordance with the following:

(i) Off-street parking spaces shall total (13) , as shown on the Site Plan.

(ii) On-street parking spaces shall total ten (10, as shown on the Site Plan,).

(iii) Ten (10) parking spaces shall be shared or located elsewhere in the Downtown District.

G. Building Elevations. The Property shall be used and developed substantially in accordance with the elevations plan attached hereto as Exhibit “C” and incorporated herein by reference (the “Elevations Plan”), and incorporate the following:

(1) Awning;

(2) Balcony;

(3) Roof Parapet; and

(4) Patio.

H. The driveway onto the right of way on the north side of the Property may have a radius that extends past the extension of the east Property line, along the streets curb within the existing right-of-way, as shown on the Site Plan.

SECTION 3. In the event of an irreconcilable conflict between the provisions of another previously adopted ordinance of the City of Lake Dallas and the provisions of this ordinance as applicable to the use and development of the Property, the provisions of this Ordinance shall be controlling.

SECTION 4. Should any sentence, paragraph, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid the same shall not affect the validity of this ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Zoning Ordinance as a whole.

SECTION 5. An offense committed before the effective date of this ordinance is governed by the prior law and the provisions of the Zoning Ordinance, as amended in effect when the offense was committed, and the former law is continued in effect for this purpose.

SECTION 6. Any person, firm or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Zoning Ordinance of the City of Lake Dallas, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand (\$2,000.00) Dollars for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 7. This ordinance shall take effect immediately from and after its passage and the publication of the caption as the law and charter in such cases provides.

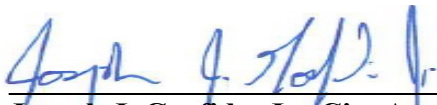
PASSED AND APPROVED this ___th day of _____ 2025.

Andi Nolan, Mayor

ATTEST:

Codi Delcambre, City Secretary

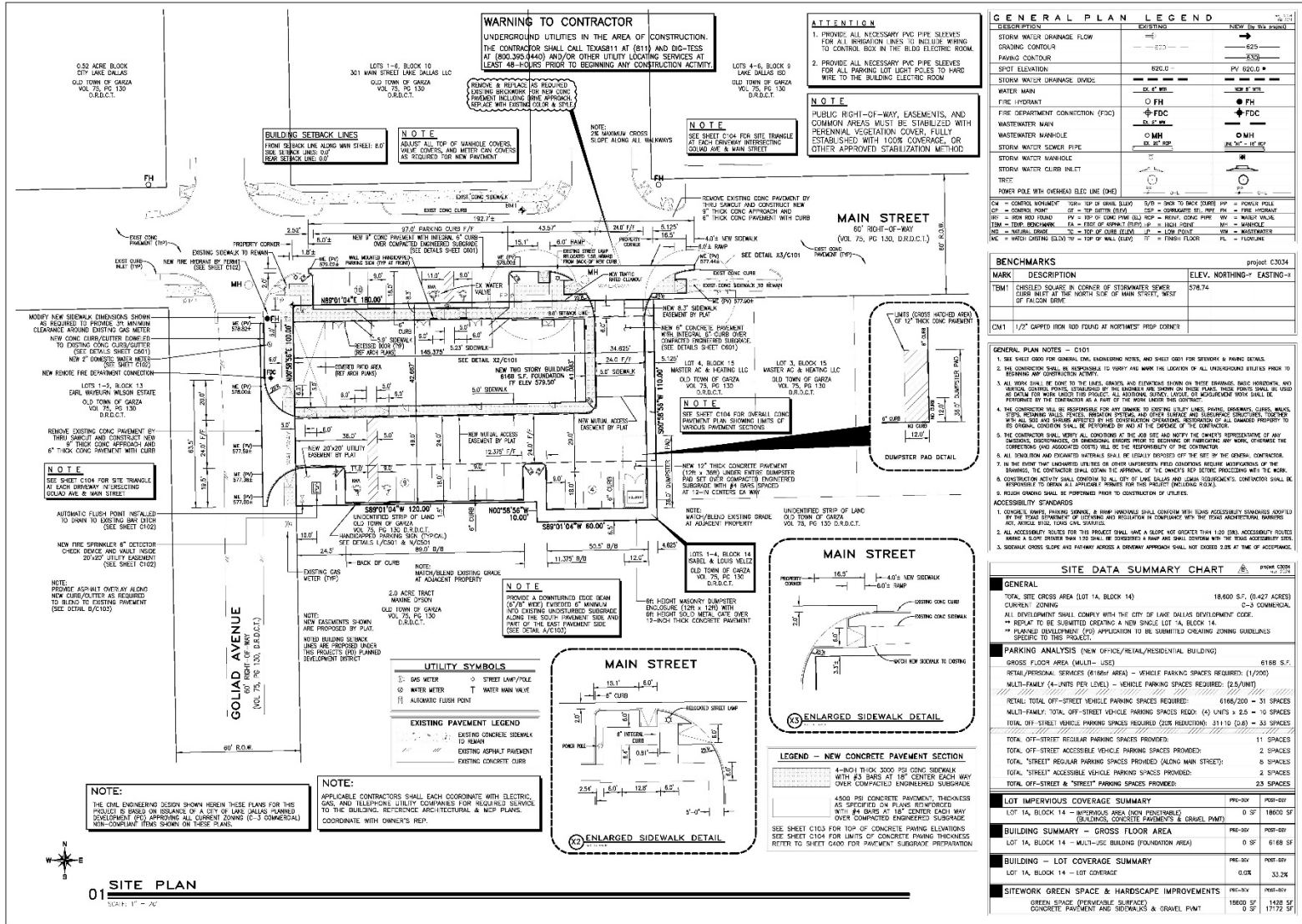
APPROVED AS TO FORM:



Joseph J. Gorfida, Jr., City Attorney

ORDINANCE NO. 2025-_____

EXHIBIT "A" – SITE PLAN



WARNING TO CONTRACTOR
UNDERGROUND UTILITIES IN THE AREA OF THE CONTRACTOR SHALL CALL TEXAS111 AT (817) AND DIG-TESS AT (800.350.4440) AND/OR OTHER UTILITY LOCATING SERVICES AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY.

ATTENTION
1. PROVIDE ALL NECESSARY PDC PIPE SERVICES FOR ALL IRRIGATION LINES TO INCLUDE WIRING TO CONTROL BOX IN THE BLACK ELECTRIC ROOM.
2. PROVIDE ALL NECESSARY PDC PIPE SERVICES FOR ALL PARKING LOT LIGHT POLES TO HARD WIRE TO THE BUILDING ELECTRIC ROOM.

NOTE
PUBLIC RIGHT-OF-WAY, EASEMENTS, AND COMMON AREAS MUST BE STABILIZED WITH PERENNIAL VEGETATION COVER, FULLY ESTABLISHED WITH 100% COVERAGE, OR OTHER APPROVED STABILIZATION METHOD.

GENERAL PLAN LEGEND

DESCRIPTION	EXISTING	NEW (BY REV. NUMBER)
STORM WATER DRAINAGE FLOW	---	---
GRADING CONTOUR	---	---
PAVING CONTOUR	---	---
SPOT ELEVATION	R26.0	RY R26.0
STORM WATER DRAINAGE DIVIDE	---	---
WATER MAIN	---	---
FIRE HYDRANT	○ FH	○ FH
FIRE DEPARTMENT CONNECTION (FDC)	○ FDC	○ FDC
WASTEWATER MAIN	---	---
WASTEWATER MANHOLE	○ MH	○ MH
STORM WATER SEWER PIPE	---	---
STORM WATER MANHOLE	○ SMH	○ SMH
STORM WATER CURB INLET	---	---
TREE	---	---
POWER POLE WITH OVERHEAD BLEED LINE (OHE)	---	---

BENCHMARKS

MARK	DESCRIPTION	ELEV. NORTHING - EASTING
BM1	CHISELED SQUARE IN CORNER OF STORMWATER SEWER CURB INLET AT THE NORTH SIDE OF MAIN STREET, WEST OF FULCUM DRIVE.	578.74

GENERAL PLAN NOTES - C101

- SEE SHEET C000 FOR GENERAL NOTES, ENGINEERING NOTES, AND SHEET C001 FOR STREETS & FINISH ELEVATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY AND MARK THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY.
- ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE AND AT THE DISCRETION OF THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES, PLUMBING, DRAINAGE, CURBS, WALKS, STAIRS, FENCING, WALLS, FENCES, IRRIGATION SYSTEMS, AND OTHER UTILITIES AND SURROUNDING STRUCTURES, TOGETHER WITH ALL AS-BUILT RECORDS, DURING THE CONSTRUCTION PERIOD. REPAIRS TO ALL DAMAGES MUST BE COMPLETED BY THE CONTRACTOR AT HIS OWN EXPENSE AND AT THE DISCRETION OF THE OWNER.
- ALL UTILITIES AND EXISTING MATERIALS SHALL BE PROTECTED BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL OBTAIN THE APPROVAL OF THE OWNER'S REP BEFORE PROCEEDING WITH THE WORK.
- CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. DELAYS SHALL BE RESPONSIBLE TO OBTAIN ALL APPROVALS NECESSARY FOR THE PROJECT (INCLUDING PERMITS).
- REGAIN GRADING SHALL BE PERFORMED PRIOR TO CONSTRUCTION OF UTILITIES.

SITE DATA SUMMARY CHART

GENERAL	AREA	PERMITS
TOTAL SITE GROSS AREA (LOT 1A, BLOCK 14)	18,600 S.F. (0.427 ACRES)	PERM C004
CURRENT ZONING	C-3 COMMERCIAL	
ALL DEVELOPMENT SHALL COMPLY WITH THE CITY OF LAKE DALLAS DEVELOPMENT CODE.		
PERMITTED DEVELOPMENT (PD) APPLICATION TO BE SUBMITTED CREATING ZONING GUIDELINES SPECIFIC TO THIS PROJECT.		

PARKING ANALYSIS (NEW OFFICE/RETAIL/RESIDENTIAL BUILDING)

TYPE	REQUIREMENT	PROVIDED
GROSS FLOOR AREA (MULTI-USE)	6168 S.F.	
RETAIL/PERSONAL SERVICES (6168 S.F. AREA) - VEHICLE PARKING SPACES REQUIRED: (1/200)	31 SPACES	
MULTI-FAMILY (4-UNITS PER LEVEL) - VEHICLE PARKING SPACES REQUIRED: (2.5/UNIT)	31 SPACES	
RETAIL TOTAL OFF-STREET VEHICLE PARKING SPACES REQUIRED:	6168/200 = 31 SPACES	
MULTI-FAMILY TOTAL OFF-STREET VEHICLE PARKING SPACES REQD: (4) UNITS X 2.5 = 10 SPACES		
TOTAL OFF-STREET VEHICLE PARKING SPACES REQUIRED (TOTAL REQUIRED): 2110 (208) = 33 SPACES		
TOTAL OFF-STREET REGULAR PARKING SPACES PROVIDED:	11 SPACES	
TOTAL OFF-STREET ACCESSIBLE VEHICLE PARKING SPACES PROVIDED:	2 SPACES	
TOTAL "STREET" REGULAR PARKING SPACES PROVIDED (ALONG MAIN STREET):	8 SPACES	
TOTAL "STREET" ACCESSIBLE VEHICLE PARKING SPACES PROVIDED:	2 SPACES	
TOTAL OFF-STREET & "STREET" PARKING SPACES PROVIDED:	23 SPACES	

LOT IMPERVIOUS COVERAGE SUMMARY

ITEM	PERM-30F	PERM-60F
LOT 1A, BLOCK 14 - IMPERVIOUS AREA (NEW PROPOSED) (BUILDINGS, CONCRETE PAVEMENTS & GRAVEL PAVT)	0 SF	18600 SF
BUILDING SUMMARY - GROSS FLOOR AREA		
LOT 1A, BLOCK 14 - MULTI-USE BUILDING (FOUNDATION AREA)	0 SF	6168 SF
BUILDING - LOT COVERAGE SUMMARY		
LOT 1A, BLOCK 14 - LOT COVERAGE	0.0%	33.2%
STREETWORK GREEN SPACE & HARDSCAPE IMPROVEMENTS		
GREEN SPACE (PERMEABLE SURFACE)	18600 SF	1428 SF
CONCRETE PAVEMENT AND SIDEWALKS & GRAVEL PAVT	0 SF	17172 SF

CARRERA consulting engineers, Inc.
Structural, Civil, & Construction Engineering

PERMITS AND CONSTRUCTION

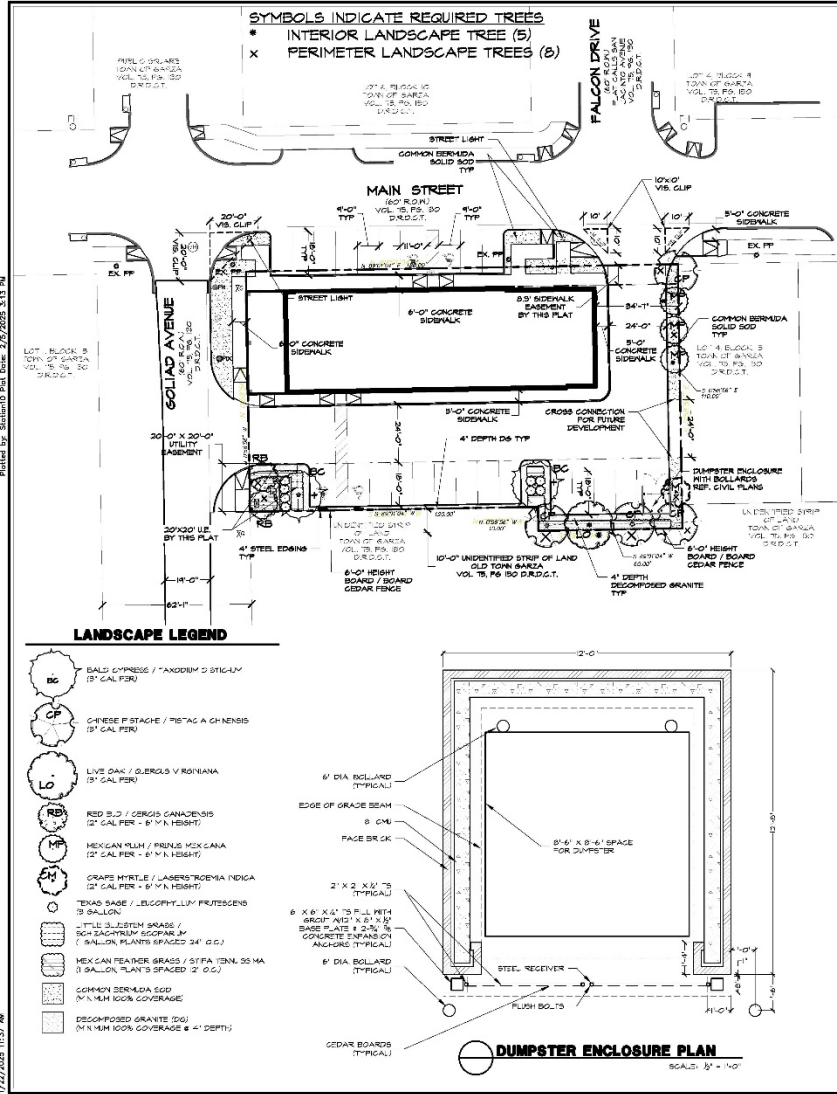
CIVIL ENGINEERING CONSTRUCTION PLAN
LAKE DALLAS MIXED-USE
LOT 1A, BLOCK 14
312 Main Street
Lake Dallas, Texas 75045

SITE PLAN

DATE: 01/14/25
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: AS SHOWN

SHEET No. C101

ORDINANCE NO. 2025- EXHIBIT "B" – LANDSCAPE PLAN



DIVISION 1. GENERALLY
 Sec. 222-122B. Minimum requirements for off-street parking and vehicular use areas.

Parting lots, vehicular use areas and other vehicles as to an effective area not less than the public use and adjacent property. Build the interior and part thereof of such areas shall be deemed to be an extension to be following onto a street used for parking or other use except that the order which building the interior part thereof is to be.

(1) **Interior Landscaping.** A minimum of ten percent of the gross parking area shall be devoted to living landscape and shall be planted with trees, shrubs, vines, and ground cover. The trees shall be planted four to five feet from the parking area to ensure proper drainage. The following additional trees shall be planted:

- gross parking area shall be provided from vehicular use areas of parking spaces that are adjacent to a street.
- Three (3) trees shall be planted for each 400 sq. ft. of parking space that is adjacent to a street.
- Three (3) trees shall be planted for each 400 sq. ft. of parking space that is adjacent to a street.

(2) **Perimeter Landscaping.**

- Where an off-street or vehicular use area abuts a public road a perimeter landscape area at least 10' depth shall be maintained between the abutting road and vehicular use area or off-street parking.
- Where an off-street parking or vehicular use area abuts an adjacent property line a perimeter landscape area at least 10' wide shall be maintained.

(3) **Screening.**

SCREENING ALTERNATE A: SCREENING ALTERNATE A CONSISTS OF A SOLID BOARD BOARD ON BOARD FENCE TO A MINIMUM HEIGHT OF SIX FEET, MEASURED FROM THE AVERAGE GRADE OF THE NEAREST PROPERTY LINE OF THE PROPERTY ADJACENT TO THAT ON WHICH THE SCREENING IS REQUIRED. THE BOARD FENCE MUST MEET THE FOLLOWING REQUIREMENTS OR THEIR EQUIVALENT: PICKETS TO BE FULL CUT GRADE CEDAR 2" x 4" RAILED AND STEEL POSTS OF ONE GAUGE AND OF 2" DIAMETER.

DIVISION 2. SCREENING
 Sec. 222-122B. - LOCATION OF REQUIRED SCREENING.

(A) WHERE THE SIDE REAR OR SERVICE SIDE OF A MULTIFAMILY OR NON-RESIDENTIAL USE IS ADJACENT TO A SINGLE-FAMILY TWO-FAMILY RESIDENTIAL DISTRICT, SCREENING NOT LESS THAN SIX FEET IN HEIGHT SHALL BE REQUIRED SEPARATING THE USE FROM THE ADJACENT RESIDENTIAL DISTRICT. SUCH SCREENING SHALL BE IN ACCORDANCE WITH SCREENING ALTERNATE A OR B GIVEN IN ORDINANCE 2025-108. NO SCREENING IS REQUIRED ADJACENT TO A STREET.

(B) SCREENING ALTERNATE B: SCREENING ALTERNATE B CONSISTS OF A SOLID BOARD BOARD ON BOARD FENCE TO A MINIMUM HEIGHT OF SIX FEET, MEASURED FROM THE AVERAGE GRADE OF THE NEAREST PROPERTY LINE OF THE PROPERTY ADJACENT TO THAT ON WHICH THE SCREENING IS REQUIRED. THE BOARD FENCE MUST MEET THE FOLLOWING REQUIREMENTS OR THEIR EQUIVALENT: PICKETS TO BE FULL CUT GRADE CEDAR 2" x 4" RAILED AND STEEL POSTS OF ONE GAUGE AND OF 2" DIAMETER.

LANDSCAPE REQUIREMENTS

(1) **INTERIOR LANDSCAPING**

- REQUIRED:** MINIMUM 10% OF THE GROSS PARKING DEVOTED TO LIVING LANDSCAPE. * GROSS PARKING AREA = 8,200 SQ FT / 10% = 820.0 SF REQUIRED
- PROVIDED:** INTERIOR LANDSCAPE AREA PROVIDED 1428 SF (0.17%)
- REQUIRED:** MINIMUM TREE PLANTED FOR EACH 400 SF OF REG. INTERIOR LANDSCAPE AREA = 0.258 SF / 400 = 2.06 SF PER TREE
- PROVIDED:** 9 TREES PER INTERIOR TREE PLANTING REQUIREMENT
- REQUIRED:** 1 TREE AT THE TERMINUS OF ALL ROWS OF PARKING
- PROVIDED:** 1 TREES AT THE TERMINUS OF EACH PARKING ROW

(2) **PERIMETER LANDSCAPING**

- REQUIRED:** WHERE AN OFF-STREET OR VEHICULAR USE ABUTS A PUBLIC ROAD A PERIMETER LANDSCAPE AREA AT LEAST 10' DEPTH SHALL BE MAINTAINED BETWEEN THE ABUTTING ROAD AND VEHICULAR USE AREA OR OFF-STREET PARKING.
- PROVIDED:** 10' AREA BETWEEN SOLID AVE. ROW AND PARKING SPACES
- REQUIRED:** 10' PERIMETER REQUIRED FOR PARKING ALONG MAIN STREET
- REQUIRED:** WHERE AN OFF-STREET PARKING OR VEHICULAR USE AREA ABUTS AN ADJACENT PROPERTY LINE A PERIMETER LANDSCAPE AREA AT LEAST 10' WIDE SHALL BE MAINTAINED.
- PROVIDED:** 10' WIDE PERIMETER LANDSCAPE BUFFER NOT REQUIRED PER APPROVED PLANNED DEVELOPMENT ORDINANCE.
- REQUIRED:** INTERIOR LANDSCAPE AREA SHALL CONTAIN AT LEAST 1 TREE FOR EACH 80 LINAL FEET OR FRACTION THEREOF PERIMETER LANDSCAPE AREA
- PROVIDED:** NORTH PROPERTY LINE = 180 LF / 80 / 80 = 4 (4 TREES)
- PROVIDED:** SOUTH PROPERTY LINE = 180 LF / 80 / 80 = 4 (4 TREES)
- PROVIDED:** WEST PROPERTY LINE = 100 LF / 100 / 80 = 1 (1 TREE) (AT 80%)
- PROVIDED:** EAST PROPERTY LINE = 120 LF / 100 / 80 = 2 (2 TREES)
- TOTAL TREES PROVIDED = 8**

STUDIO
DESIGN GROUP

1100 W. WILSON ST.
DALLAS, TEXAS 75203
(214) 443-1100

December 9, 2025

NORTH

0' 20' 40' 60'

1" = 20' - 0"

Landscape Plan
Lake Dallas Mixed-Use
Lake Dallas, Dallas County, Texas

NO.	DATE	BY	APP.
1	11/13/2025	LSI	LSI
2	11/13/2025	LSI	LSI
3	11/13/2025	LSI	LSI

PROJECT:
LDM001

SHEET:
1 LSI

ORDINANCE NO. 2025-_____

EXHIBIT "B" – LANDSCAPE PLAN

LANDSCAPE NOTES:

1. A TREE PERMIT IS REQUIRED FOR ALL REMOVAL OF ALL TREES PROTECTED AND UNPROTECTED.
2. PLANT MATERIAL SHALL BE MEASURED AND SIZED ACCORDING TO THE LATEST EDITION OF THE TEXAS NURSERY & LANDSCAPE ASSOCIATION (TLNA) SPECIFICATIONS GRACE.
3. ALL PLANT SUBSTITUTIONS ARE SUBJECT TO CITY OF GELINA APPROVAL AND MUST BE SPECIFIED ON THE PLANTING AND MAINTAIN ADGIASATE COVERAGE AS APPROVED BY THE CITY OF GELINA.
4. GRADING COVERS USED IN LIEU OF TURF GRASS MUST PROVIDE COMPLETE COVERAGE WITHIN ONE YEAR OF PLANTING AND MAINTAIN ADGIASATE COVERAGE AS APPROVED BY THE CITY OF GELINA.
5. TREES MUST BE PLANTED FOUR FEET (4') OR GREATER FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND/OR OTHER STRUCTURES. THE CITY OF GELINA HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
6. TREE PITS SHALL HAVE ROUGHENED SIDES AND BE TWO TO THREE TIMES DEEPER THAN THE ROOT BALL OF THE TREE IN ORDER TO FACILITATE HEALTHY ROOT GROWTH.
7. TREES SHALL NOT BE PLANTED DEEPER THAN THE BASE OF THE TRUNK PLANE.
8. THE TREE PIT SHALL BE BACKFILLED WITH NATIVE TOPSOIL FREE OF ROCKS AND OTHER DEBRIS.
9. BRUSHY TREES AND WIRE BACKERS SHALL BE LOGGED AND PULLED BACK FROM THE TRUNK OF TREE AS MUCH AS POSSIBLE.
10. TREES SHALL NOT BE WATERED TO EXCESS THAT RESULTS IN SOIL SATURATION. IF SOIL RESOURCES SATURATED, THE WATERING SCHEDULE SHALL BE ADJUSTED TO ALLOW FOR DRAINAGE AND ABSORPTION OF THE EXCESS WATER.
11. A 3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
12. NO FERTILIZERS OR ENTRY MAY USE IMPROPER OR MALICIOUS MAINTENANCE OR PRUNING TECHNIQUES WHICH WOULD LEAD TO THE DEATH OF THE TREE. IMPROPER OR MALICIOUS TECHNIQUES INCLUDE, BUT ARE NOT LIMITED TO: TOPPING OR OTHER UNSYMMETRICAL TRIMMING OF TREES; TRIMMING TREES WITH A BACKSICK; OR USE OF FIRE OR TORCH TO CHANGE THE SHAPE OF A TREE.
13. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL LIVING EARTH TECHNOLOGY OR APPROVED EQUAL TO A DEPTH OF 8" MINIMUM.
14. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD OR OTHER MULCH.
15. TREES OVERHANGING PARKS AND PARKING SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 7 FEET. TREES OVERHANGING PAVED STREET PAVEMENT OR CURBS AND FIRE LANCES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 14 FEET.
16. A VISIBILITY TRIANGLE MUST BE PROVIDED AT ALL INTERSECTIONS. SHRUBS ARE NOT TO EXCEED 30 INCHES IN HEIGHT. TREES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 7 FEET AT THE POINT OF PLANTING.
17. TREES PLANTED ON A SLOPE SHALL HAVE THE SOIL STAIN AT THE AVERAGE GRADE OF SLOPE.
18. NO SHRUBS SHALL BE PLANTED WITHIN AREAS LESS THAN 8 FEET IN WIDTH. ALL BEDS LESS THAN 8 FEET IN WIDTH SHALL BE GRASS, GRASSCOVER OR SOME TYPE OF FINED PAVING.
19. THE OWNER, TRUMP, AND/OR THEIR AGENTS, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE ESTABLISHMENT, AND PERMANENCE OF PLANT MATERIAL. ALL LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE BUT NOT LIMITED TO: MOISTURE, EDGING, PRUNING, FERTILIZING, WATERING AND OTHER ACTIVITIES NECESSARY FOR THE MAINTENANCE OF LANDSCAPED AREAS.
20. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT IS DAMAGED, DESTROYED, OR REMOVED SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE AND VARIETY WITHIN 30 DAYS UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY OF GELINA.
21. LANDSCAPE AND OPEN AREAS SHALL BE KEPT FREE OF TRASH, LITTER AND WEEDS.
22. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO IRRIGATE ALL LANDSCAPE AREAS. CONCRETE ON STREETS AND ALLEYS IS PROHIBITED. A PERMIT FROM THE BUILDING INSPECTION DEPARTMENT IS REQUIRED FOR EACH IRRIGATION SYSTEM.
23. NO PLANT MATERIAL SHALL BE ALLOWED TO ENDOURCH ON RIGHT-OF-WAY SIDEWALKS OR DRIVEWAYS TO THE EXTENT THAT THE VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN OR BICYCLE TRAFFIC IS IMPAIRED.
24. NO PLANTING AREAS SHALL EXCEED 3% SLOPE IF HORIZONTAL TO VERTICAL.
25. EARTHWORK SHALL NOT INCLUDE CONSTRUCTION DEBRIS. CONTRACTOR MUST CORRECT SLURPAGE OR DAMAGE TO THE SMOOTH FINISH GRADE OF THE DRIVE PRIOR TO ACCEPTANCE.
26. ALL PAVEMENTS SHALL MEET ADA AND T.A.S. REQUIREMENTS.
27. CONTACT CITY OF GELINA PLANNING DEPARTMENT FOR LANDSCAPE INSPECTION. NOTE: LANDSCAPE INSTALLATION MUST COMPLY WITH APPROVED LANDSCAPE PLANS AND PRIOR FINAL ACCEPTANCE BY THE CITY OF GELINA AND/OR OBTAINING A CERTIFICATE OF OCCUPANCY.
28. FINAL INSPECTION AND APPROVAL OF SCREENING WALLS, IRRIGATION AND LANDSCAPE IS SUBJECT TO ALL PUBLIC UTILITIES, INCLUDING BUT NOT LIMITED TO: MANGROVES, VALVES, WATER METERS, CLEANOUTS AND OTHER APPURTENANCES TO BE ACCESSIBLE, ADJUSTED TO GRADE AND TO THE CITY OF GELINA HEALTH DEPARTMENT STANDARDS.
29. PRIOR TO CALLING FOR A LANDSCAPE INSPECTION, CONTRACTOR IS RESPONSIBLE FOR MARKING ALL MANGROVES, VALVES, WATER METERS, CLEANOUTS AND OTHER UTILITY APPURTENANCES WITH FLAGGING FOR FIELD VERIFICATION BY THE PUBLIC WORKS DEPARTMENT.

PLANT LIST

CODE	PLANT NAME	SIZE	QUANTITY	REMARKS
EG	BALD CYPRESS / TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN	2
LO	LIVE OAK / QUERCUS VIRGINIANA	6" CALIPER	AS SHOWN	2
CP	CHINESE PISTACHE / PISTACIA CHINENSIS	4" CALIPER	AS SHOWN	4
FB	FOREST PANSY REDWOOD / ZENIS GANDESIENS FOREST PANSY*	2" CALIPER	AS SHOWN	2
MP	MEXICAN PLUM / PRUNUS GANDESIENS	2" CALIPER	AS SHOWN	5
GH	GRAPPE MYRTLE / LAURUSPROBRIA INDICA	2" CALIPER	AS SHOWN	6
	TEXAS SAGE / LEUCOPHYLLUM FRUTESCENS	3 GALLON	AS SHOWN	6
	MEXICAN FEATHER GRASS / STIPA TENNESSENSIS	1.6 GALLON	12" O.G.	261
	LITTLE BLUESTEM GRASS / SCHIZACHYRIUM SCOPARUM	1.6 GALLON	12" O.G.	268
	COMMON BERMUDA SOLID SOD	SOLID SOD	SQUARE FEET	107
	DECOMPOSED GRANITE	4" DEPTH	SQUARE FEET	374
	BENDBOARD EDGING	4" HEIGHT	LINEAR FEET	524

*MINIMUM SPREAD, MINIMUM HEIGHT, FULL ROUGHENED HEAD & MINIMUM BRANCHING HEIGHT, NURSERY GROWN.

*MINIMUM SPREAD, MINIMUM HEIGHT, FULL ROUGHENED HEAD & MINIMUM BRANCHING HEIGHT, NURSERY GROWN.

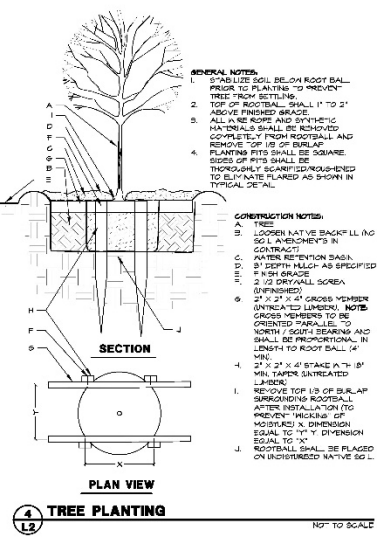
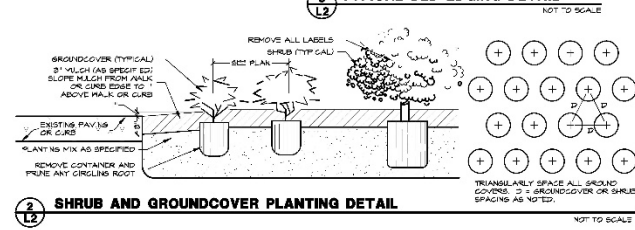
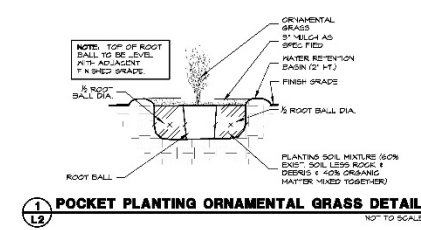
*MINIMUM SPREAD, MINIMUM HEIGHT, 2" MIN. CAL. FULL HEAD, NURSERY GROWN.

*MINIMUM SPREAD, MINIMUM HEIGHT, 2" MIN. CAL. FULL HEAD, NURSERY GROWN.

*MINIMUM SPREAD, MINIMUM HEIGHT, 2" MIN. CAL. FULL HEAD, NURSERY GROWN.

*MINIMUM SPREAD, MINIMUM HEIGHT, 2" MIN. CAL. FULL HEAD, NURSERY GROWN.

*MINIMUM SPREAD, MINIMUM HEIGHT, 2" MIN. CAL. FULL HEAD, NURSERY GROWN.



STUDIO
LANDSCAPE ARCHITECTURE

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City of Gelina
Seal of the City of Gelina, Texas
December 9, 2025

Project Name: Landscape Plan
Town/City of XXXXX, XXXX County, Texas

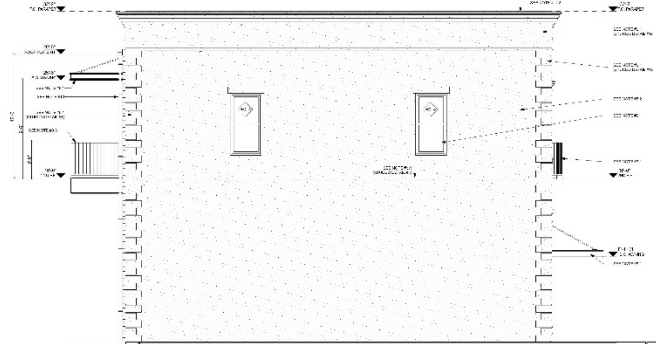
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1	ISSUE FOR PERMIT	12/09/2025	JM	JM
2	REVISION FOR CITY COMMENTS	12/09/2025	JM	JM
3	REVISION FOR CITY COMMENTS	12/09/2025	JM	JM

PROJECT: LDM001
SHEET: 2 OF 2

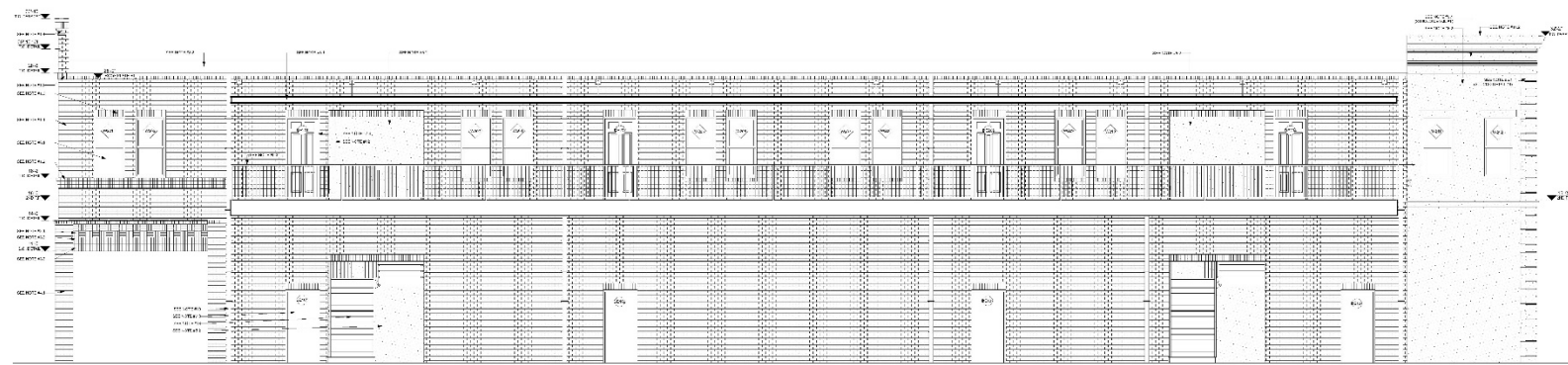
ORDINANCE NO. 2024-____

EXHIBIT "C" – ELEVATIONS PLAN

ELEVATION NOTES (cont.)	ELEVATION NOTES (cont.)	ELEVATION NOTES (cont.)
<p>3.1 BRICK RUNNING BOND</p> <ul style="list-style-type: none"> - COARSE BRICK - DETENTION PLANT - BLAND VASE, 1/2" X 1/4" X 1/4" (DP12) - TEXTURE: HET, TAC - 3/2" VANE, 1/2" X 1/4" X 1/4" (DP12) <p>3.1 BRICK ROWLOCK BOND</p> <ul style="list-style-type: none"> - COARSE BRICK - PERLA EAST GATE PLANT - BLAND VASE, 1/2" X 1/4" X 1/4" (DP12) - TEXTURE: HET, TAC - 3/2" VANE, 1/2" X 1/4" X 1/4" (DP12) <p>3.1 BRICK SOLDIER BOND</p> <ul style="list-style-type: none"> - COARSE BRICK - PERLA EAST GATE PLANT - BLAND VASE, 1/2" X 1/4" X 1/4" (DP12) - TEXTURE: HET, TAC - 3/2" VANE, 1/2" X 1/4" X 1/4" (DP12) <p>3.4 BRICK DETAIL #1</p> <ul style="list-style-type: none"> - COARSE BRICK - PERLA EAST GATE PLANT - BLAND VASE, 1/2" X 1/4" X 1/4" (DP12) - TEXTURE: HET, TAC - 3/2" VANE, 1/2" X 1/4" X 1/4" (DP12) <p>3.3 BRICK RUNNING BOND</p> <ul style="list-style-type: none"> - COARSE BRICK - DETENTION PLANT - BLAND VASE, 1/2" X 1/4" X 1/4" (DP14) - TEXTURE: HET, TAC - 3/2" VANE, 1/2" X 1/4" X 1/4" (DP14) <p>3.3 BRICK ROWLOCK BOND</p> <ul style="list-style-type: none"> - COARSE BRICK - DETENTION PLANT - BLAND VASE, 1/2" X 1/4" X 1/4" (DP14) - TEXTURE: HET, TAC - 3/2" VANE, 1/2" X 1/4" X 1/4" (DP14) <p>3.3 BRICK SOLDIER BOND</p> <ul style="list-style-type: none"> - COARSE BRICK - DETENTION PLANT - BLAND VASE, 1/2" X 1/4" X 1/4" (DP14) - TEXTURE: HET, TAC - 3/2" VANE, 1/2" X 1/4" X 1/4" (DP14) <p>3.4 BRICK DETAIL #2</p> <ul style="list-style-type: none"> - COARSE BRICK - DETENTION PLANT - BLAND VASE, 1/2" X 1/4" X 1/4" (DP14) - TEXTURE: HET, TAC - 3/2" VANE, 1/2" X 1/4" X 1/4" (DP14) <p>3.1 BRICK DETAIL #3</p> <ul style="list-style-type: none"> - COARSE BRICK - PERLA EAST GATE PLANT - BLAND VASE, 1/2" X 1/4" X 1/4" (DP12) - TEXTURE: HET, TAC - 3/2" VANE, 1/2" X 1/4" X 1/4" (DP12) 	<p>3.2 BRICK ROWLOCK BOND</p> <ul style="list-style-type: none"> - COARSE BRICK - PERLA EAST GATE PLANT - BLAND VASE, 1/2" X 1/4" X 1/4" (DP14) - TEXTURE: HET, TAC - 3/2" VANE, 1/2" X 1/4" X 1/4" (DP14) <p>3.3 BRICK SOLDIER BOND</p> <ul style="list-style-type: none"> - COARSE BRICK - PERLA EAST GATE PLANT - BLAND VASE, 1/2" X 1/4" X 1/4" (DP14) - TEXTURE: HET, TAC - 3/2" VANE, 1/2" X 1/4" X 1/4" (DP14) <p>4.1 BRICK RUNNING BOND</p> <ul style="list-style-type: none"> - COARSE BRICK - DETENTION PLANT - BLAND VASE, 1/2" X 1/4" X 1/4" (DP14) - TEXTURE: HET, TAC - 3/2" VANE, 1/2" X 1/4" X 1/4" (DP14) <p>5.1 STUCCO (cont.)</p> <ul style="list-style-type: none"> - BRICK - COMMERCIAL GYPSUM PLASTER (DP1) - COLOR: 100% WHITE - TEXTURE: TD <p>5.2 STUCCO (cont.)</p> <ul style="list-style-type: none"> - BRICK - COMMERCIAL GYPSUM PLASTER (DP1) - COLOR: 100% WHITE - TEXTURE: TD <p>5.3 STUCCO (cont.)</p> <ul style="list-style-type: none"> - BRICK - COMMERCIAL GYPSUM PLASTER (DP1) - COLOR: 100% WHITE - TEXTURE: TD <p>5.4 STUCCO (cont.)</p> <ul style="list-style-type: none"> - BRICK - COMMERCIAL GYPSUM PLASTER (DP1) - COLOR: 100% WHITE - TEXTURE: TD <p>6.1 RESIDENTIAL WINDOW</p> <ul style="list-style-type: none"> - BRICK - PERLA EAST GATE PLANT - BLAND VASE, 1/2" X 1/4" X 1/4" (DP14) - TEXTURE: HET, TAC - 3/2" VANE, 1/2" X 1/4" X 1/4" (DP14) <p>7.1 RESIDENTIAL WINDOW</p> <ul style="list-style-type: none"> - BRICK - PERLA EAST GATE PLANT - BLAND VASE, 1/2" X 1/4" X 1/4" (DP14) - TEXTURE: HET, TAC - 3/2" VANE, 1/2" X 1/4" X 1/4" (DP14) <p>7.2 STOREFRONT WINDOW</p> <ul style="list-style-type: none"> - BRICK - PERLA EAST GATE PLANT - BLAND VASE, 1/2" X 1/4" X 1/4" (DP14) - TEXTURE: HET, TAC - 3/2" VANE, 1/2" X 1/4" X 1/4" (DP14) 	<p>7.3 SERVICE DOOR</p> <ul style="list-style-type: none"> - COARSE BRICK TO BE PAINTED - PERLA EAST GATE PLANT - BLAND VASE, 1/2" X 1/4" X 1/4" (DP14) - TEXTURE: HET, TAC - 3/2" VANE, 1/2" X 1/4" X 1/4" (DP14) <p>7.4 RESIDENTIAL DOOR</p> <ul style="list-style-type: none"> - COARSE BRICK - PERLA EAST GATE PLANT - BLAND VASE, 1/2" X 1/4" X 1/4" (DP14) - TEXTURE: HET, TAC - 3/2" VANE, 1/2" X 1/4" X 1/4" (DP14) <p>7.5 FOLDING DOOR</p> <ul style="list-style-type: none"> - COARSE BRICK - PERLA EAST GATE PLANT - BLAND VASE, 1/2" X 1/4" X 1/4" (DP14) - TEXTURE: HET, TAC - 3/2" VANE, 1/2" X 1/4" X 1/4" (DP14) <p>A.1 FLAT IRONING & TENSION ROOF</p> <ul style="list-style-type: none"> - COARSE BRICK - PERLA EAST GATE PLANT - BLAND VASE, 1/2" X 1/4" X 1/4" (DP14) - TEXTURE: HET, TAC - 3/2" VANE, 1/2" X 1/4" X 1/4" (DP14) <p>B.1 MAIN ROOF</p> <ul style="list-style-type: none"> - COARSE BRICK - PERLA EAST GATE PLANT - BLAND VASE, 1/2" X 1/4" X 1/4" (DP14) - TEXTURE: HET, TAC - 3/2" VANE, 1/2" X 1/4" X 1/4" (DP14) <p>9.1 WOODGILT IRON FAUX BALCONY</p> <ul style="list-style-type: none"> - BRICK - COMMERCIAL GYPSUM PLASTER (DP1) - COLOR: BLACK - TEXTURE: TD <p>9.2 WOODGILT IRON FAUX BALCONY</p> <ul style="list-style-type: none"> - BRICK - COMMERCIAL GYPSUM PLASTER (DP1) - COLOR: BLACK - TEXTURE: TD <p>9.3 2" X 4" WOODGILT IRON RAILING</p> <ul style="list-style-type: none"> - BRICK - COMMERCIAL GYPSUM PLASTER (DP1) - COLOR: BLACK - TEXTURE: TD <p>10. GUTTERS & DOWNSPOUTS</p> <ul style="list-style-type: none"> - BRICK - PERLA EAST GATE PLANT - BLAND VASE, 1/2" X 1/4" X 1/4" (DP14) - TEXTURE: HET, TAC - 3/2" VANE, 1/2" X 1/4" X 1/4" (DP14) <p>11.1 METAL WALL CAPPING</p> <ul style="list-style-type: none"> - BRICK - PERLA EAST GATE PLANT - BLAND VASE, 1/2" X 1/4" X 1/4" (DP14) - TEXTURE: HET, TAC - 3/2" VANE, 1/2" X 1/4" X 1/4" (DP14) <p>11.2 METAL WALL CAPPING</p> <ul style="list-style-type: none"> - BRICK - PERLA EAST GATE PLANT - BLAND VASE, 1/2" X 1/4" X 1/4" (DP14) - TEXTURE: HET, TAC - 3/2" VANE, 1/2" X 1/4" X 1/4" (DP14) <p>11.3 METAL RAILING TO ROOF</p> <ul style="list-style-type: none"> - BRICK - PERLA EAST GATE PLANT - BLAND VASE, 1/2" X 1/4" X 1/4" (DP14) - TEXTURE: HET, TAC - 3/2" VANE, 1/2" X 1/4" X 1/4" (DP14) <p>12. STEEL STAIRCASE WITH CONCRETE STEPS</p> <ul style="list-style-type: none"> - BRICK - PERLA EAST GATE PLANT - BLAND VASE, 1/2" X 1/4" X 1/4" (DP14) - TEXTURE: HET, TAC - 3/2" VANE, 1/2" X 1/4" X 1/4" (DP14) <p>NOTES:</p> <ul style="list-style-type: none"> - ALL OTHER MATERIALS TO BE VERIFIED WITH OWNER.



2 WEST ELEVATION



1 SOUTH ELEVATION

LAKE DALLAS MIXED-USE

312 MAIN STREET, LAKE DALLAS, TEXAS 75065

PERCK ARCHITECTS

ARCHITECTS

REVISIONS

NO.	DESCRIPTION	DATE

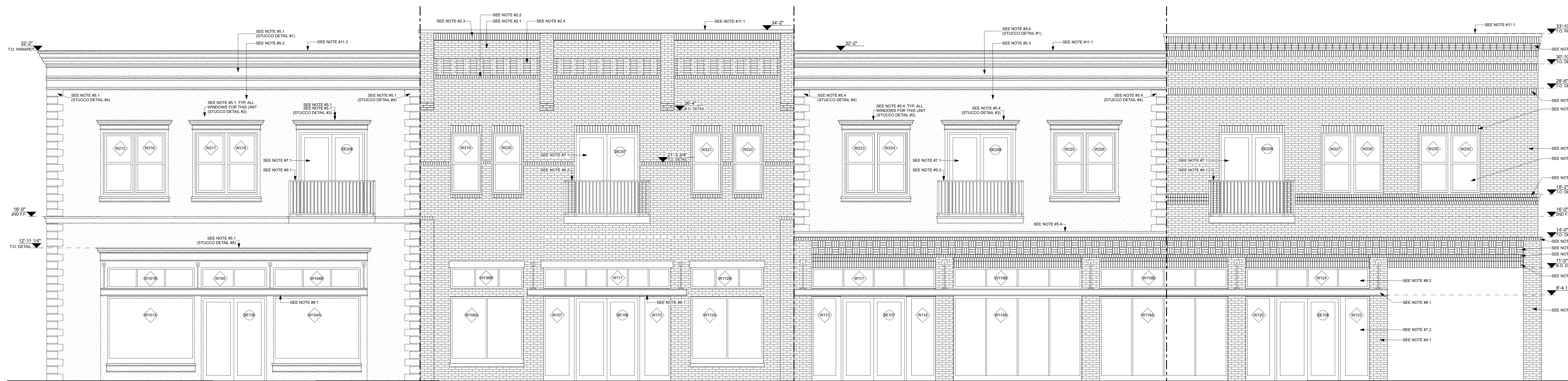
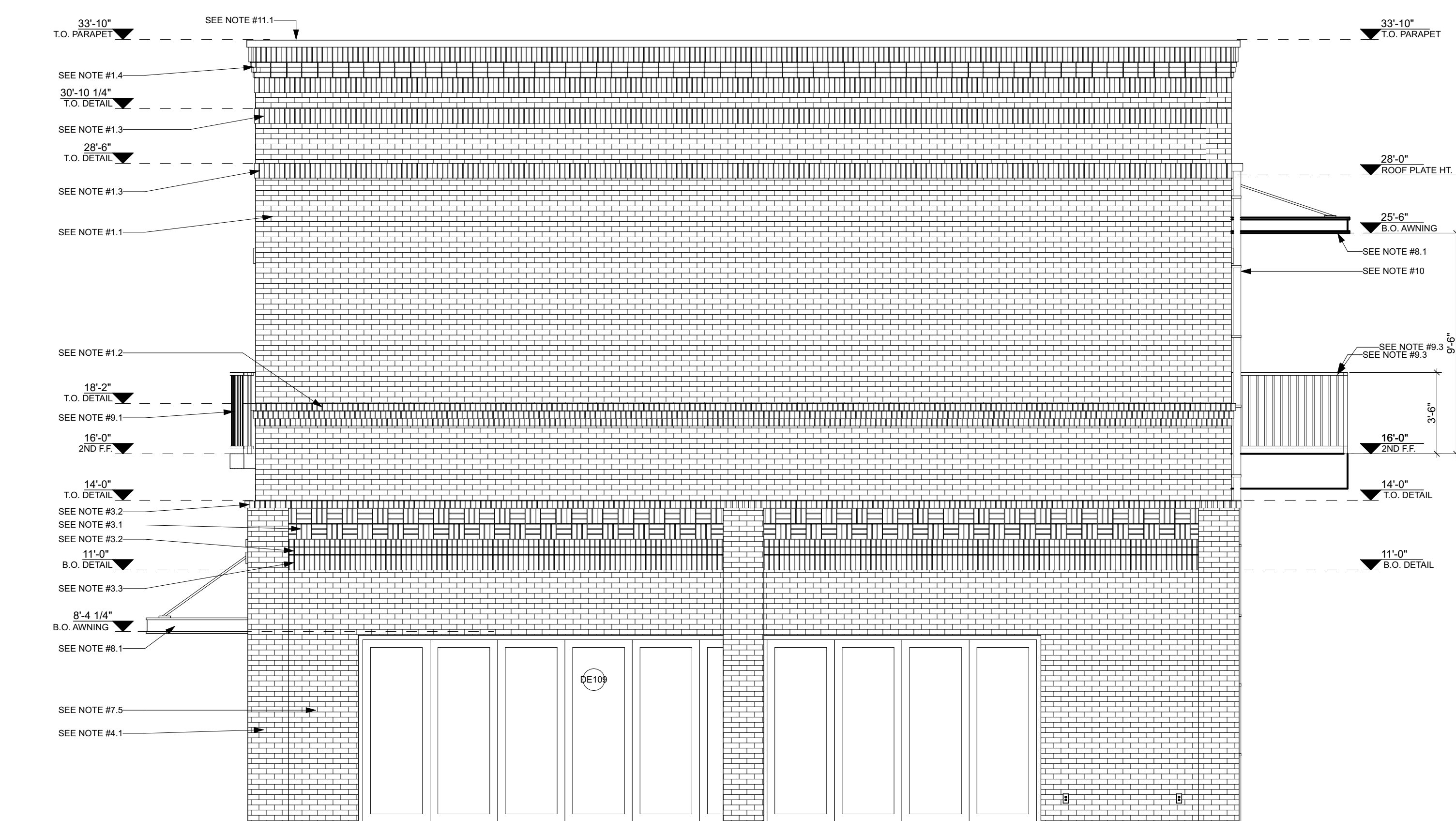
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Date: 08/20/24

Rev: 02 - 7/8/24

Project Number: A-202

ELEVATION NOTES:	ELEVATION NOTES (cont.):	ELEVATION NOTES (cont.):
<p>1.1. BRICK RUNNING BOND</p> <ul style="list-style-type: none"> - ACME BRICK - DENTON PLANT - BLAND NAME: QUORUM - DTP136 - TEXTURE: HERITAGE - SIZE NAME: MODULAR SIZE <p>1.2. BRICK ROWLOCK BOND</p> <ul style="list-style-type: none"> - ACME BRICK - PERLA EAST GATE PLANT - BLAND NAME: QUORUM - DTP136 - TEXTURE: HERITAGE - SIZE NAME: MODULAR <p>1.3. BRICK SOLDIER BOND</p> <ul style="list-style-type: none"> - ACME BRICK - PERLA EAST GATE PLANT - BLAND NAME: QUORUM - DTP136 - TEXTURE: HERITAGE - SIZE NAME: MODULAR <p>1.4. BRICK DETAIL #1</p> <ul style="list-style-type: none"> - ACME BRICK - PERLA EAST GATE PLANT - BLAND NAME: QUORUM - DTP136 - TEXTURE: HERITAGE - SIZE NAME: MODULAR <p>2.1. BRICK RUNNING BOND</p> <ul style="list-style-type: none"> - COLUMBUS BRICK - COLUMBUS BRICK PLANT - BLAND NAME: BURLINGTON - CBP140 - TEXTURE: HERITAGE - SIZE NAME: MODULAR SIZE <p>2.2. BRICK ROWLOCK BOND</p> <ul style="list-style-type: none"> - COLUMBUS BRICK - COLUMBUS BRICK PLANT - BLAND NAME: BURLINGTON - CBP140 - TEXTURE: HERITAGE - SIZE NAME: MODULAR SIZE <p>2.3. BRICK SOLDIER BOND</p> <ul style="list-style-type: none"> - COLUMBUS BRICK - COLUMBUS BRICK PLANT - BLAND NAME: BURLINGTON - CBP140 - TEXTURE: HERITAGE - SIZE NAME: MODULAR SIZE <p>2.4. BRICK DETAIL #2</p> <ul style="list-style-type: none"> - COLUMBUS BRICK - COLUMBUS BRICK PLANT - BLAND NAME: BURLINGTON - CBP140 - TEXTURE: HERITAGE - SIZE NAME: MODULAR SIZE <p>3.1. BRICK DETAIL #3</p> <ul style="list-style-type: none"> - ACME BRICK - PERLA EAST GATE PLANT - BLAND NAME: GLACIER WHITE - PEP050 - TEXTURE: VELOUR - SIZE NAME: MODULAR 	<p>3.2. BRICK ROWLOCK BOND</p> <ul style="list-style-type: none"> - ACME BRICK - PERLA EAST GATE PLANT - BLAND NAME: GLACIER WHITE - PEP050 - TEXTURE: VELOUR - SIZE NAME: MODULAR <p>3.3. BRICK SOLDIER BOND</p> <ul style="list-style-type: none"> - ACME BRICK - PERLA EAST GATE PLANT - BLAND NAME: GLACIER WHITE - PEP050 - TEXTURE: VELOUR - SIZE NAME: MODULAR <p>4.1. BRICK RUNNING BOND</p> <ul style="list-style-type: none"> - ACME BRICK - ELGIN PLANT - BLAND NAME: ESPRESSO - ELP600 - TEXTURE: VELOUR - SIZE NAME: MODULAR <p>5.1. STUCCO (contrast color)</p> <ul style="list-style-type: none"> - DRYVIT - COMMERCIAL CEMENT PLASTER (CCP) 3 - COLOR: 101 SUPER WHITE - TEXTURE: TBD <p>5.2. STUCCO (field color)</p> <ul style="list-style-type: none"> - DRYVIT - COMMERCIAL CEMENT PLASTER (CCP) 3 - COLOR: 602 DAWN GRAY - TEXTURE: TBD <p>5.3. STUCCO (field color)</p> <ul style="list-style-type: none"> - DRYVIT - COMMERCIAL CEMENT PLASTER (CCP) 3 - COLOR: 527 BRUSHED GRAY - TEXTURE: TBD <p>5.4. STUCCO (contrast color)</p> <ul style="list-style-type: none"> - DRYVIT - COMMERCIAL CEMENT PLASTER (CCP) 3 - COLOR: 527 BRUSHED GRAY - TEXTURE: TBD <p>6.1. RESIDENTIAL WINDOW</p> <ul style="list-style-type: none"> - MANUF: ANDERSEN - 100 SERIES, FIBREX® COMPOSITE MATERIAL - FIXED, CASEMENT & SINGLE HUNG - EXTERIOR FINISH: BLACK - GLASS: CLEAR <p>6.2. STOREFRONT WINDOW</p> <ul style="list-style-type: none"> - THERMAL BRAKE ALUMINUM - COLOR: BLACK ANODIZED/ CLEAR GLASS <p>7.1. RESIDENTIAL HINGED PATIO DOOR</p> <ul style="list-style-type: none"> - MANUF: ANDERSEN - A-SERIES, WOOD PROTECTED BY FIBERGLASS - EXTERIOR FINISH: BLACK - GLASS: CLEAR <p>7.2. STOREFRONT DOOR W/ SIDELIGHTS</p> <ul style="list-style-type: none"> - THERMAL BRAKE ALUMINUM - COLOR: BLACK ANODIZED/ CLEAR GLASS 	<p>7.3. SERVICE DOOR</p> <ul style="list-style-type: none"> - DOOR & FRAME TO BE PAINTED - PAINT: SHERWIN WILLIAMS - COLOR: TO MATCH BRICK <p>7.4. RESIDENTIAL DOOR</p> <ul style="list-style-type: none"> - THERMA TRU - FIBER CLASIC - COLOR: TBD <p>7.5. FOLDING DOOR</p> <ul style="list-style-type: none"> - MANUF: ANDERSEN - COLOR: BLACK <p>8.1. FLAT AWNING & TENSION RODS</p> <ul style="list-style-type: none"> - COLOR: BLACK <p>8.2. MAIN ROOF</p> <ul style="list-style-type: none"> - EPDM ROOFING SYSTEM <p>9.1. WROUGHT IRON FAUX BALCONY</p> <ul style="list-style-type: none"> - TYPE 1 - COLOR: BLACK <p>9.2. WROUGHT IRON FAUX BALCONY</p> <ul style="list-style-type: none"> - TYPE 2 - COLOR: BLACK <p>9.3. 3'-6" WROUGHT IRON RAILING</p> <ul style="list-style-type: none"> - COLOR: BLACK <p>10. GUTTERS & DOWNSPOUTS</p> <ul style="list-style-type: none"> - BOX-STYLE GALVALUME GUTTERS W/ GALVALUME DOWNSPOUTS - COLOR: BLACK <p>11.1. METAL WALL COPING</p> <ul style="list-style-type: none"> - GAF - COLOR: TBD <p>11.2. METAL WALL COPING</p> <ul style="list-style-type: none"> - GAF - COLOR: TBD <p>12. METAL LADDER TO ROOF</p> <ul style="list-style-type: none"> - COLOR: BLACK <p>13. STEEL STAIRCASE WITH CONCRETE STEPS</p> <ul style="list-style-type: none"> - COLOR: BLACK <p>NOTES:</p> <ul style="list-style-type: none"> - ALL EXTERIOR MATERIALS TO BE VERIFIED WITH OWNER.



THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF WILLIAM PECK & ASSOCIATES. ON THIS PLOT DATE AND IS NOT TO BE USED BY AUTHORITIES HAVING JURISDICTION FOR THE PURPOSE OF ISSUING CONSTRUCTION PERMITS

These plans are intended to provide the basic construction information necessary to substantially complete this structure. These construction documents must be verified and approved by the local authority having jurisdiction. The Designer shall be responsible for obtaining all necessary permits. It is the responsibility of the Designer to verify all construction requirements, including but not limited to, zoning, fire, and building codes. The Designer shall be responsible for obtaining all necessary permits. It is the responsibility of the Designer to verify all construction requirements, including but not limited to, zoning, fire, and building codes. The Designer shall be responsible for obtaining all necessary permits. It is the responsibility of the Designer to verify all construction requirements, including but not limited to, zoning, fire, and building codes.

NOTE: All Federal, State, and Local codes, ordinances, and regulations shall prevail over any conflicting provisions in these documents. The Designer shall be responsible for obtaining all necessary permits. It is the responsibility of the Designer to verify all construction requirements, including but not limited to, zoning, fire, and building codes.

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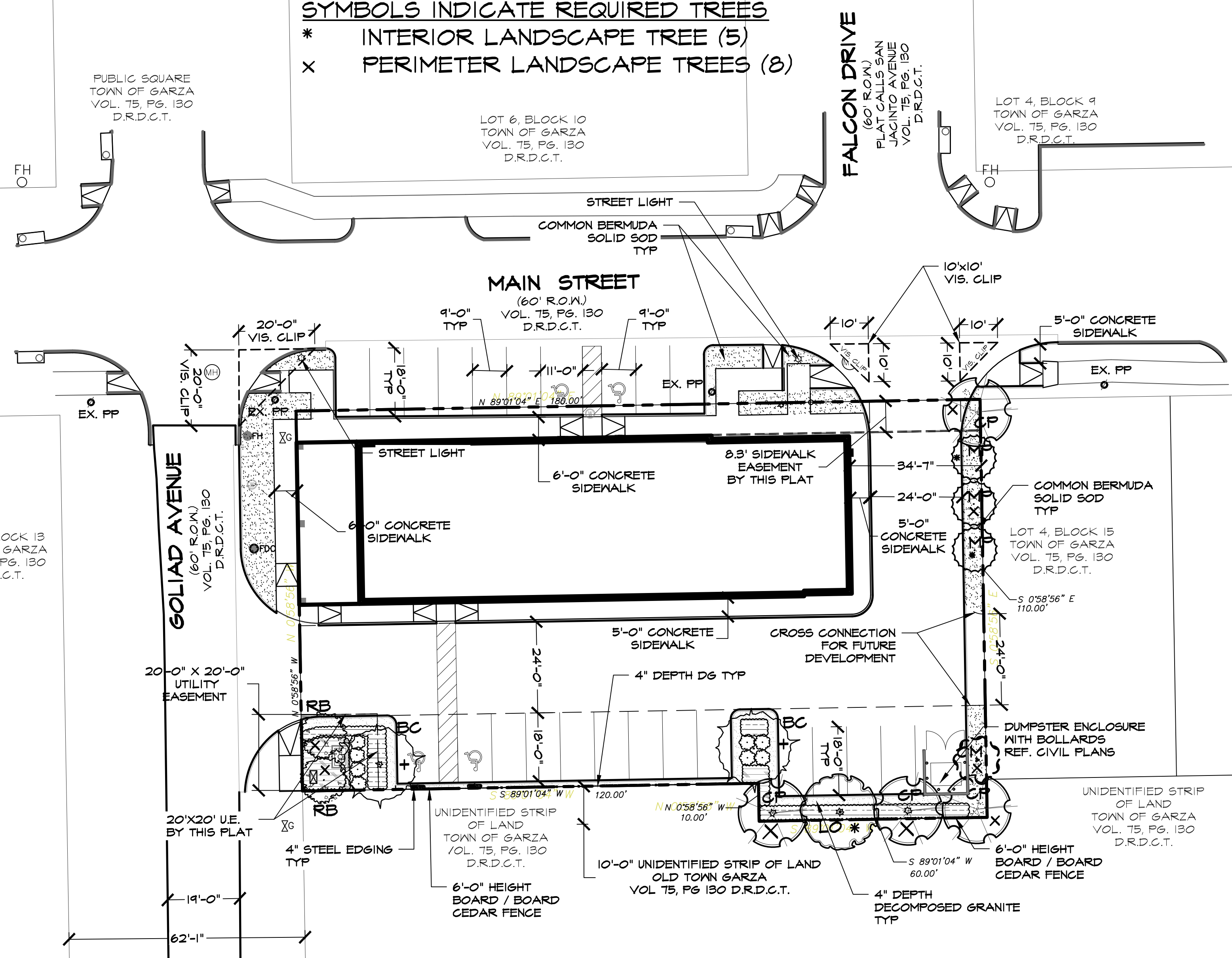
LAKE DALLAS MIXED-USE
 312 MAIN STREET, LAKE DALLAS, TEXAS 75065
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REVISIONS
 ISSUE DATE:
 2024-03-27 FOR REVIEW
 Scale: REF. PLAN
 Drawn: MW
 Job: 22-178-001
 Sheet Number: A-201

Plotted by: Station10 Plot Date: 2/5/2025 3:13 PM

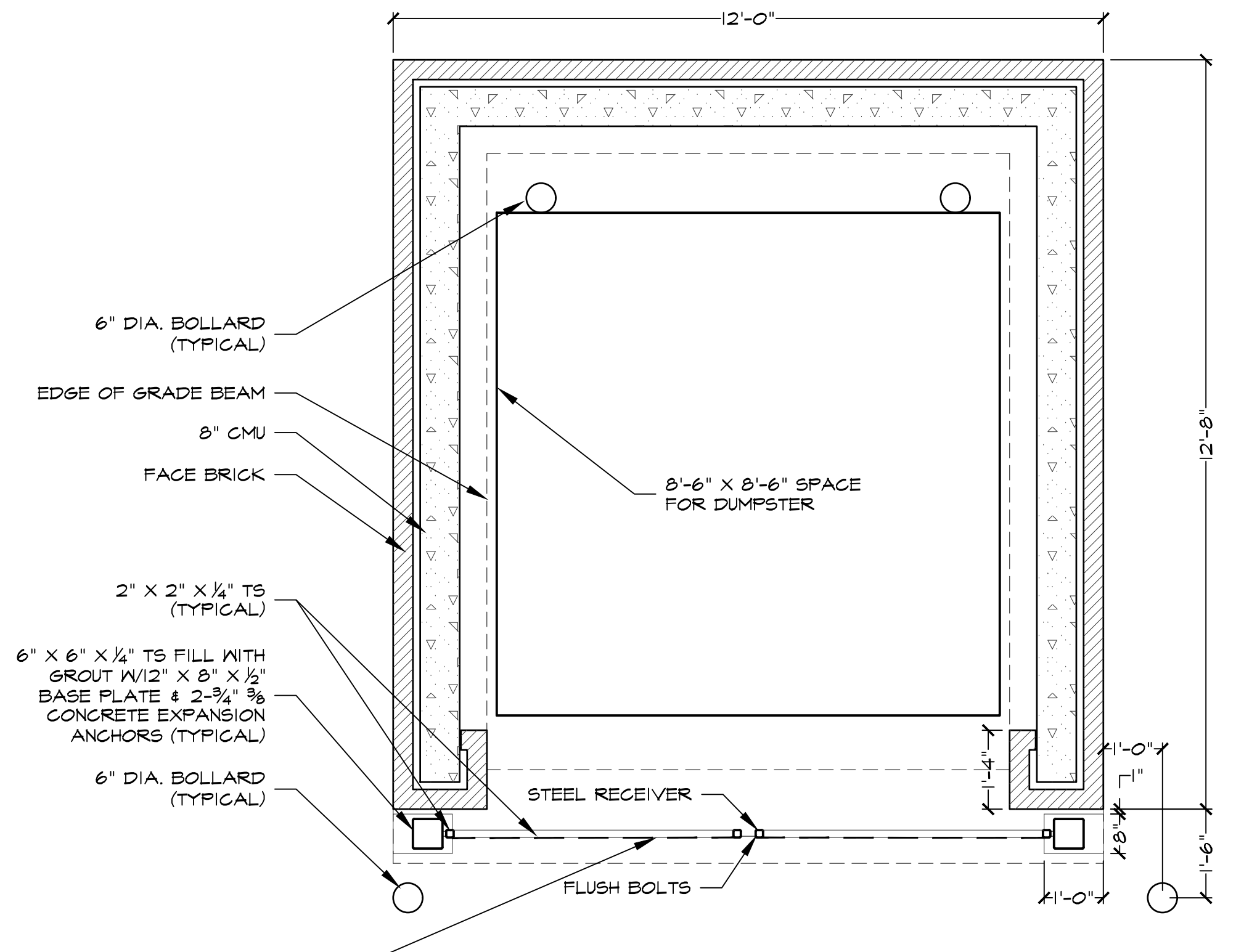
Drawing: W:\Shared\Projects\LDM001 - Lake Dallas Mixed Use\DWG\LDM001.dwg Saved By: Station10 Save Time: 1/22/2025 11:37 AM

SYMBOLS INDICATE REQUIRED TREES
* INTERIOR LANDSCAPE TREE (5)
X PERIMETER LANDSCAPE TREES (8)



LANDSCAPE LEGEND

- BC BALD CYPRESS / TAXODIUM DISTICHUM (3" CALIPER)
- CP CHINESE PISTACHE / PISTACIA CHINENSIS (3" CALIPER)
- LO LIVE OAK / QUERCUS VIRGINIANA (3" CALIPER)
- RB RED BUD / CERCIS CANADENSIS (2" CALIPER - 6' MIN HEIGHT)
- MP MEXICAN PLUM / PRUNUS MEXICANA (2" CALIPER - 6' MIN HEIGHT)
- CM CRAPE MYRTLE / LAGERSTROEMIA INDICA (2" CALIPER - 6' MIN HEIGHT)
- TEXAS SAGE / LEUCOPHYLLUM FRUTESCENS (3 GALLON)
- LITTLE BLUESTEM GRASS / SCHIZACHYRIUM SCOPARIUM (1 GALLON, PLANTS SPACED 24" O.C.)
- MEXICAN FEATHER GRASS / STIPA TENNUSSIMA (1 GALLON, PLANTS SPACED 12" O.C.)
- COMMON BERMUDA SOD (MINIMUM 100% COVERAGE)
- DECOMPOSED GRANITE (DG) (MINIMUM 100% COVERAGE @ 4" DEPTH)



DUMPSTER ENCLOSURE PLAN

SCALE: 1/2" = 1'-0"

- CODE OF ORDINANCES
Chapter 122 - ZONING
ARTICLE XXII. - SCREENING AND LANDSCAPING
DIVISION 1. GENERALLY

DIVISION 1. GENERALLY
Sec. 122-1228. Minimum requirements for off-street parking and vehicular use areas.

Parking lots, vehicular use areas and parked vehicles are to be effectively screened from the public view and adjacent property. Both the interior and perimeter of such areas shall be landscaped in accordance to the following criteria. Areas used for parking or vehicular storage that are under, on or within buildings are exempt from this section.

- (1) Interior landscaping. A minimum of ten percent of the gross parking areas shall be devoted to living landscaping which includes grass, ground cover, plants, shrubs and trees. Gross parking area is to be measured from the edge of the parking and/or driveway paving and sidewalks. The following additional criteria shall apply to the interior of parking lots:
 - a. Interior landscape areas shall be protected from vehicular encroachment of overhang through appropriate wheel stop or curbs.
 - b. There shall be a minimum of one tree planted for each 400 square feet or fraction thereof of required interior landscape area.
 - c. Interior areas of parking lots shall contain planting islands located so as to best relieve the expanse of paving. Planter islands must be located no further apart than every 12 parking spaces

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and at the terminus of all rows of parking. Such islands shall contain at least one tree. The remainder shall be landscaped with shrubs, lawn, ground cover and other appropriate material not to exceed three feet in height. Interior planter islands shall have a minimum size of ten by 20 feet.

- (2) Perimeter landscaping. All parking lots and vehicular use areas shall be screened from all abutting properties and/or public rights-of-way with a wall, fence, hedge, berm or other durable landscape barrier. Any living barrier shall be established in a planting strip with a minimum width of two feet. Plants and materials used in living barriers shall be at least 30 inches high at the time of planting and shall be of a type and species that will attain a minimum height of three feet one year after planting. Any landscape barrier not containing live plants or trees shall be a minimum of three feet high at time of installation. Perimeter landscaping shall be designed to screen off-street parking lots and other vehicular use areas from public rights-of-way and adjacent properties.

- a. Whenever an off-street parking or vehicular use area abuts a public right-of-way, a perimeter landscape area at least 15 feet in depth shall be maintained between the abutting right-of-way and the off-street parking or vehicular use area. An appropriate landscape screen or barrier shall be installed in this area, and the remaining area shall be landscaped with at least grass or other ground cover. Necessary access ways from the public right-of-way shall be permitted through all such landscaping. The maximum width for access ways shall be 50 feet for nonresidential two-way movements, 30 feet for residential two-way movements, 20 feet for nonresidential one-way movements, and 15 feet for residential one-way movements.
- b. Whenever an off-street parking or vehicular use area abuts an adjacent property line, a perimeter landscape area at least ten feet in width shall be maintained between the edge of the parking area and the adjacent property line. Landscaping shall be designed to visually screen the parking area. Whenever such property is zoned or used for residential purposes, the landscape buffer shall include a wall, hedge or berm not greater than eight feet in height nor less than three feet in height.
- c. Perimeter landscape areas shall contain at least one tree for each 50 lineal feet or fraction thereof of perimeter area.

(Ordinance 06-09, § 2, 3-23-06)

Sec. 122-1229. Landscaping requirements for nonvehicular open space.

In addition to the landscaping of off-street parking and vehicular use areas, all remaining open spaces on any developed lot or parcel shall conform to the following minimum requirements:

- (1) Grass, ground cover, shrubs and other landscape materials shall be used to cover all open ground within 20 feet of any building or paving or other use such as storage.
- (2) All structures shall be treated with landscaping so as to enhance the appearance of the structure and to screen any detractive or unsightly appearance.
- (3) Landscaping shall be provided on each developed lot in accordance with the following standards:
 - a. In all residential zoning districts, a minimum of 15 percent of the landscaping shall be located in the required front yard.
 - b. In all nonresidential zoning districts, a minimum of 15 percent of the total site area shall be devoted to feature landscaping, with not less than 50 percent of the landscaping being located in the required front yard.

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- (4) Trees shall be planted in non-vehicular open space to meet the following requirements. Existing trees that are preserved on a developed site may be credited to the following requirements:

Percentage of Site in Nonvehicular Open Space	Tree Ratio Per Open Space
Less than 30	1 tree/2,500 sq. ft.
30-49	1 tree/3,000 sq. ft.
50 or over	1 tree/4,000 sq. ft.

Lake Dallas, Texas, Code of Ordinances (Supp. No. 7) Created: 2024-10-22 16:16:32 [EST] Page 1 of 7

LANDSCAPE REQUIREMENTS

- (1) INTERIOR LANDSCAPING
 - a. REQUIRED MINIMUM 10% OF THE GROSS PARKING DEVOTED TO LIVING LANDSCAPE. * GROSS PARKING AREA = 8,285 SF x 10% = 828.5 SF REQUIRED PROVIDED INTERIOR LANDSCAPE AREA PROVIDED 1,428 SF (17.2%)
 - b. REQUIRED MINIMUM 1 TREE PLANTED FOR EACH 400 SF OF REG. INTERIOR LANDSCAPE AREA * REG. LANDSCAPE AREA = 825.5 SF / 400 = 2.06 (3 TREES) PROVIDED 3 TREES PER INTERIOR TREE PLANTING REQUIREMENT
 - c. REQUIRED 1 TREE AT THE TERMINUS OF ALL ROWS OF PARKING PROVIDED 1 TREES AT THE TERMINUS OF EACH PARKING ROW

- (2) PERIMETER LANDSCAPING
 - a. REQUIRED WHERE AN OFF-STREET OR VEHICULAR USE ABUTS A PUBLIC ROW, A PERIMETER LANDSCAPE AREA AT LEAST 15' DEPTH SHALL BE MAINTAINED BETWEEN THE ABUTTING ROW AND VEHICULAR USE AREA OR OFF-STREET PARKING. PROVIDED PROVIDED A 15' AREA BETWEEN GOLIAD AVE. ROW AND PARKING SPACES ADJACENT / SIDING GOLIAD AVE. ROW **NOTE** NO PERIMETER REQUIRED FOR PARKING ALONG MAIN STREET
 - b. REQUIRED WHERE A OFF-STREET PARKING OR VEHICULAR USE AREA ABUTS AN ADJACENT PROPERTY LINE A PERIMETER LANDSCAPE AREA AT LEAST 10' WIDE SHALL BE MAINTAINED. PROVIDED 10' WIDE PERIMETER LANDSCAPE BUFFER NOT REQUIRED PER APPROVED PLANNED DEVELOPMENT ORDINANCE.
 - c. REQUIRED PERIMETER LANDSCAPE AREA SHALL CONTAIN AT LEAST 1 TREE FOR EACH 50 LINEAL FEET OR FRACTION THEREOF PERIMETER LANDSCAPE AREA **NORTH PROPERTY LINE = 180 LF 180 / 50 = 4 (4 TREES) NOTE-PERIMETER BUFFER ON NORTH PROPERTY LINE NOT REQUIRED **SOUTH PROPERTY LINE = 180LF 180 / 50 = 3.6 (4 TREES) **WEST PROPERTY LINE = 100 LF 100 / 50 = 2 (1 TREES) (AT 50%) NOTE-ONLY 50% OF WEST PROPERTY LINE REQUIRES PERIMETER BUFFER **EAST PROPERTY LINE = 120LF 120 / 50 = 2.4 (3 TREES) TOTAL TREES REQUIRED = 8 PROVIDED PERIMETER LANDSCAPE AREA SHALL CONTAIN AT LEAST 1 TREE FOR EACH 50 LINEAL FEET OR FRACTION THEREOF PERIMETER LANDSCAPE AREA **NORTH PROPERTY LINE = 180 LF 180 / 50 = 4 (4 TREES) **SOUTH PROPERTY LINE = 180LF 180 / 50 = 4 (4 TREES) **WEST PROPERTY LINE = 100 LF 100 / 50 = 2 (1 TREES) **EAST PROPERTY LINE = 120LF 120 / 50 = 3 (3 TREES) TOTAL TREES PROVIDED = 8

DIVISION 2. - SCREENING

- REQUIRED SEC. 122-1182. - LOCATION OF REQUIRED SCREENING. (A) WHERE THE SIDE, REAR OR SERVICE SIDE OF A MULTIFAMILY, OR NONRESIDENTIAL USE IS ADJACENT TO A SINGLE-FAMILY, TWO-FAMILY RESIDENTIAL DISTRICT, SCREENING NOT LESS THAN SIX FEET IN HEIGHT SHALL BE ERECTED SEPARATING THE USE FROM THE ADJACENT RESIDENTIAL DISTRICT; SUCH SCREENING SHALL BE IN ACCORDANCE WITH SCREENING ALTERNATE A OR E, GIVEN IN SECTION 122-1183. NO SCREENING IS REQUIRED ADJACENT TO A STREET. (B) SCREENING ALTERNATE E. SCREENING ALTERNATE E CONSISTS OF A SOLID WOOD BOARD ON BOARD FENCE TO A MINIMUM HEIGHT OF SIX FEET, MEASURED FROM THE AVERAGE GRADE OF THE NEAREST PROPERTY LINE OF THE PROPERTY ADJACENT TO THAT ON WHICH THE SCREENING IS REQUIRED. THE WOOD FENCE MUST MEET THE FOLLOWING REQUIREMENTS OR THEIR EQUIVALENT: PICKETS TO BE #1 FULL CUT GRADE CEDAR 2" x 4" RAILS; AND STEEL POSTS OF .045 GAUGE AND OF 2 1/4" DIAMETER.

PROVIDED SCREENING ALTERNATE E. SCREENING ALTERNATE E CONSISTS OF A SOLID WOOD BOARD ON BOARD FENCE TO A MINIMUM HEIGHT OF SIX FEET, MEASURED FROM THE AVERAGE GRADE OF THE NEAREST PROPERTY LINE OF THE PROPERTY ADJACENT TO THAT ON WHICH THE SCREENING IS REQUIRED. THE WOOD FENCE MUST MEET THE FOLLOWING REQUIREMENTS OR THEIR EQUIVALENT: PICKETS TO BE #1 FULL CUT GRADE CEDAR 2" x 4" RAILS; AND STEEL POSTS OF .045 GAUGE AND OF 2 1/4" DIAMETER.

STUDIO DESIGN GROUP
Studio 13 Design Group, PLLC.
386 W. Main Street
Lewisville, Texas 75057
469-635-1900
TBAE Firm #BR643
Professional Seal: December 3, 2025

North arrow pointing up.
Graphic scale: 1" = 20' - 0"
Text: Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

LANDSCAPE AND SCREENING
Lake Dallas Mixed - Use
Lake Dallas, Dallas County, Texas

#	PLAN REVIEW REVISIONS	BY	DATE
1	Revised Per City Comments - December 2, 2024	LWR	1-3-2025
2	Revised Per City Comments - January 21, 2025	LWR	1-21-2025
3	Revised Per City Comments - February 5, 2025	LWR	2-5-2025

PROJECT: LDM001
PLATE: 1 SHEET: LS1

LANDSCAPE NOTES:

- A TREE PERMIT IS REQUIRED FOR ALL REMOVAL OF ALL TREES, PROTECTED AND UNPROTECTED.
- PLANT MATERIAL SHALL BE MEASURED AND SIZED ACCORDING TO THE LATEST EDITION OF THE TEXAS NURSERY & LANDSCAPE ASSOCIATION (TNLA) SPECIFICATIONS, GRADES AND STANDARDS.
- ALL PLANT SUBSTITUTIONS ARE SUBJECT TO CITY OF CELINA APPROVAL AND MUST BE SPECIFIED ON THE APPROVED LANDSCAPE PLAN.
- GROUND COVERS USED IN LIEU OF TURF GRASS MUST PROVIDE COMPLETE COVERAGE WITHIN ONE (1) YEAR OF PLANTING AND MAINTAIN ADEQUATE COVERAGE AS APPROVED BY THE CITY OF CELINA.
- TREES MUST BE PLANTED FOUR FEET (4') OR GREATER FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND/OR OTHER STRUCTURES. THE CITY OF CELINA HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- TREE PITS SHALL HAVE ROUGHENED SIDES AND BE TWO TO THREE TIMES WIDER THAN THE ROOT BALL OF THE TREE IN ORDER TO FACILITATE HEALTHY ROOT GROWTH.
- TREES SHALL NOT BE PLANTED DEEPER THAN THE BASE OF THE "TRUNK FLARE".
- THE TREE PIT SHALL BE BACKFILLED WITH NATIVE TOPSOIL FREE OF ROCK AND OTHER DEBRIS.
- BURLAP, TWINE AND WIRE BASKETS SHALL BE LOOSENEED AND PULLED BACK FROM THE TRUNK OF TREE AS MUCH AS POSSIBLE.
- TREES SHALL NOT BE WATERED TO EXCESS THAT RESULTS IN SOIL SATURATION. IF SOIL BECOMES SATURATED, THE WATERING SCHEDULE SHALL BE ADJUSTED TO ALLOW FOR DRAINAGE AND ABSORPTION OF THE EXCESS WATER.
- A 3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- NO PERSON(S) OR ENTITY MAY USE IMPROPER OR MALICIOUS MAINTENANCE OR PRUNING TECHNIQUES WHICH WOULD LIKELY LEAD TO THE DEATH OF THE TREE. IMPROPER OR MALICIOUS TECHNIQUES INCLUDE, BUT ARE NOT LIMITED TO, TOPPING OR OTHER UNSYMMETRICAL TRIMMING OF TREES, TRIMMING TREES WITH A BACKHOE, OR USE OF FIRE OR POISON TO CAUSE THE DEATH OF A TREE.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD OR OTHER MULCH.
- TREES OVERHANGING WALKS AND PARKING SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 7 FEET. TREES OVERHANGING PUBLIC STREET PAVEMENT DRIVE AISLES AND FIRE LANES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 14 FEET.
- A VISIBILITY TRIANGLE MUST BE PROVIDED AT ALL INTERSECTIONS. SHRUBS ARE NOT TO EXCEED 30 INCHES IN HEIGHT. TREES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 7 FEET AT TIME OF PLANTING.
- TREES PLANTED ON A SLOPE SHALL HAVE THE SOIL STAIN AT THE AVERAGE GRADE OF SLOPE.
- NO SHRUBS SHALL BE PERMITTED WITHIN AREAS LESS THAN 3 FEET IN WIDTH. ALL BEDS LESS THAN 3 FEET IN WIDTH SHALL BE GRASS, GROUNDCOVER OR SOME TYPE OF FIXED PAVING.
- THE OWNER, TENANT, AND/OR THEIR AGENTS, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE, ESTABLISHMENT, AND PERMANENCE OF PLANT MATERIAL. ALL LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE, BUT NOT LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, AND OTHER ACTIVITIES NECESSARY FOR THE MAINTENANCE OF LANDSCAPED AREAS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT IS DAMAGED, DESTROYED, OR REMOVED SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE AND VARIETY WITHIN 30 DAYS UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY OF CELINA.
- LANDSCAPE AND OPEN AREAS SHALL BE KEPT FREE OFF TRASH, LITTER AND WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO IRRIGATE ALL LANDSCAPE AREAS. OVERSPRAY ON STREETS AND WALKS IS PROHIBITED. A PERMIT FROM THE BUILDING INSPECTION DEPARTMENT IS REQUIRED FOR EACH IRRIGATION SYSTEM.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCR OACH ON RIGHT-OF-WAY, SIDEWALKS OR EASEMENTS TO THE EXTENT THAT THE VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- NO PLANTING AREAS SHALL EXCEED 3:1 SLOPE. 3' HORIZONTAL TO 1' VERTICAL.
- EARTHEN BERMS SHALL NOT INCLUDE CONSTRUCTION DEBRIS. CONTRACTOR MUST CORRECT SLIPPAGE OR DAMAGE TO THE SMOOTH FINISH GRADE OF THE BERM PRIOR TO ACCEPTANCE.
- ALL WALKWAYS SHALL MEET A.D.A. AND T.A.S. REQUIREMENTS.
- CONTACT CITY OF CELINA'S PLANNING DEPARTMENT AT FOR LANDSCAPE INSPECTION. NOTE LANDSCAPE INSTALLATION MUST COMPLY WITH APPROVED LANDSCAPE PLANS PRIOR FINAL ACCEPTANCE BY THE CITY OF CELINA AND/OR OBTAINING A CERTIFICATE OF OCCUPANCY.
- FINAL INSPECTION AND APPROVAL OF SCREENING WALLS, IRRIGATION AND LANDSCAPE IS SUBJECT TO ALL PUBLIC UTILITIES, INCLUDING BUT NOT LIMITED TO MANHOLES, VALVES, WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, TO BE ACCESSIBLE, ADJUSTED TO GRADE AND TO THE CITY OF CELINA'S PUBLIC WORKS DEPARTMENT STANDARDS.
- PRIOR TO CALLING FOR A LANDSCAPE INSPECTION, CONTRACTOR IS RESPONSIBLE FOR MARKING ALL MANHOLES, VALVES, WATER METERS, CLEANOUTS AND OTHER UTILITY APPURTENANCES WITH FLAGGING FOR FIELD VERIFICATION BY THE PUBLIC WORKS DEPARTMENT.

PLANT LIST

Code	Plant Name	Quantity	Size	Notes
BC	BALD CYPRESS / TAXODIUM DISTICHUM	2	4" CALIPER	AS SHOWN
LO	LIVE OAK / QUERCUS VIRGINIANA	1	8" CALIPER	AS SHOWN
CP	CHINESE PISTACHE / PISTACIA CHINENSIS	4	4" CALIPER	AS SHOWN
RB	FOREST PANSY REDBUD / CERCIS CANADENSIS 'FOREST PANSY'	2	2" CALIPER	AS SHOWN
MP	MEXICAN PLUM / PRUNUS CANADENSIS	3	2" CALIPER	AS SHOWN
CM	GRAPE MYRTLE / LAGERSTROEMIA INDICA	1	2" CALIPER	AS SHOWN
	TEXAS SAGE / LEUCOPHYLLUM FRUTESCENS	8	3 GALLON	AS SHOWN
	MEXICAN FEATHER GRASS / STIPA TENNUSSIMA	257	1 GALLON	12" O.C.
	LITTLE BLUESTEM GRASS / SCHIZACHYTRIUM SCOPARIUM	355	1 GALLON	12" O.C.
	COMMON BERMUDA SOLID SOD	707	SOLID SOD	SQUARE FEET
	DECOMPOSED GRANITE	374	4" DEPTH	SQUARE FEET
	BENDABOARD EDGING	324	4" HEIGHT	LINEAR FEET

6' MINIMUM SPREAD; MINIMUM 12' HEIGHT; FULL ROUNDED HEAD 6' MINIMUM BRANCHING HEIGHT; NURSERY GROWN

6' MINIMUM SPREAD; MINIMUM 12' HEIGHT; FULL ROUNDED HEAD 6' MINIMUM BRANCHING HEIGHT; NURSERY GROWN

6' MINIMUM SPREAD; MINIMUM 12' HEIGHT; FULL ROUNDED HEAD 6' MINIMUM BRANCHING HEIGHT; NURSERY GROWN

5' MINIMUM SPREAD; MINIMUM 8' HEIGHT; 2" MIN. CAL.; FULL HEAD NURSERY GROWN

5' MINIMUM SPREAD; MINIMUM 8' HEIGHT; 2" MIN. CAL.; FULL HEAD NURSERY GROWN

5' MINIMUM SPREAD; MINIMUM 8' HEIGHT; 2" MIN. CAL.; FULL HEAD NURSERY GROWN

FULL PLANTS

FULL PLANTS

MINIMUM 100% COVERAGE

MINIMUM 100% COVERAGE

REFER TO DETAIL 3/L2

STUDIO DESIGN GROUP

Studio 13 Design Group, PLLC.
386 W. Main Street
Lewisville, Texas 75057
469-635-1900

TBAE Firm #BR643

December 3, 2025

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

LANDSCAPE AND SCREENING

Landscape Plan

Project Name

Town/City of XXXXX, XXXX County, Texas

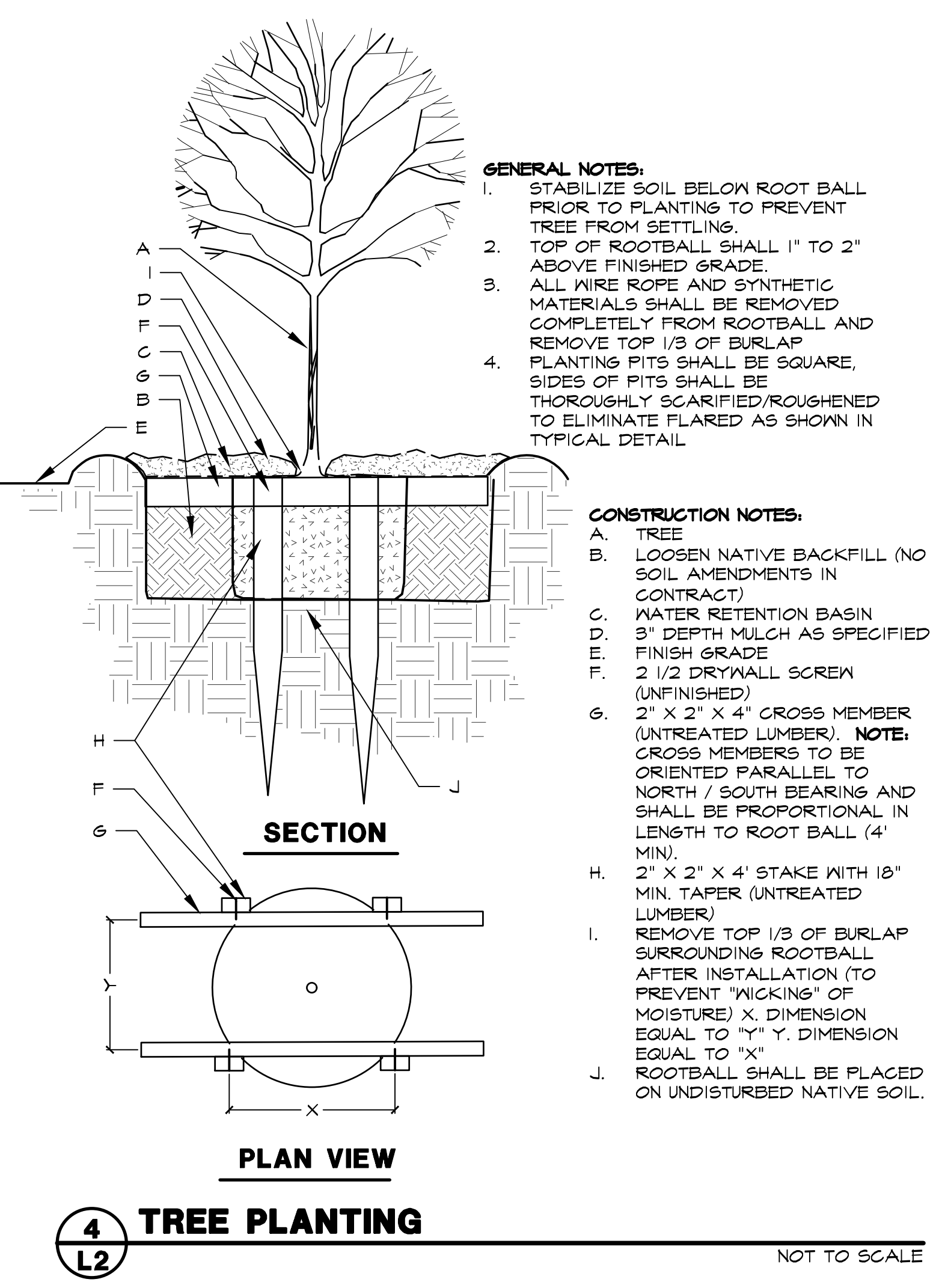
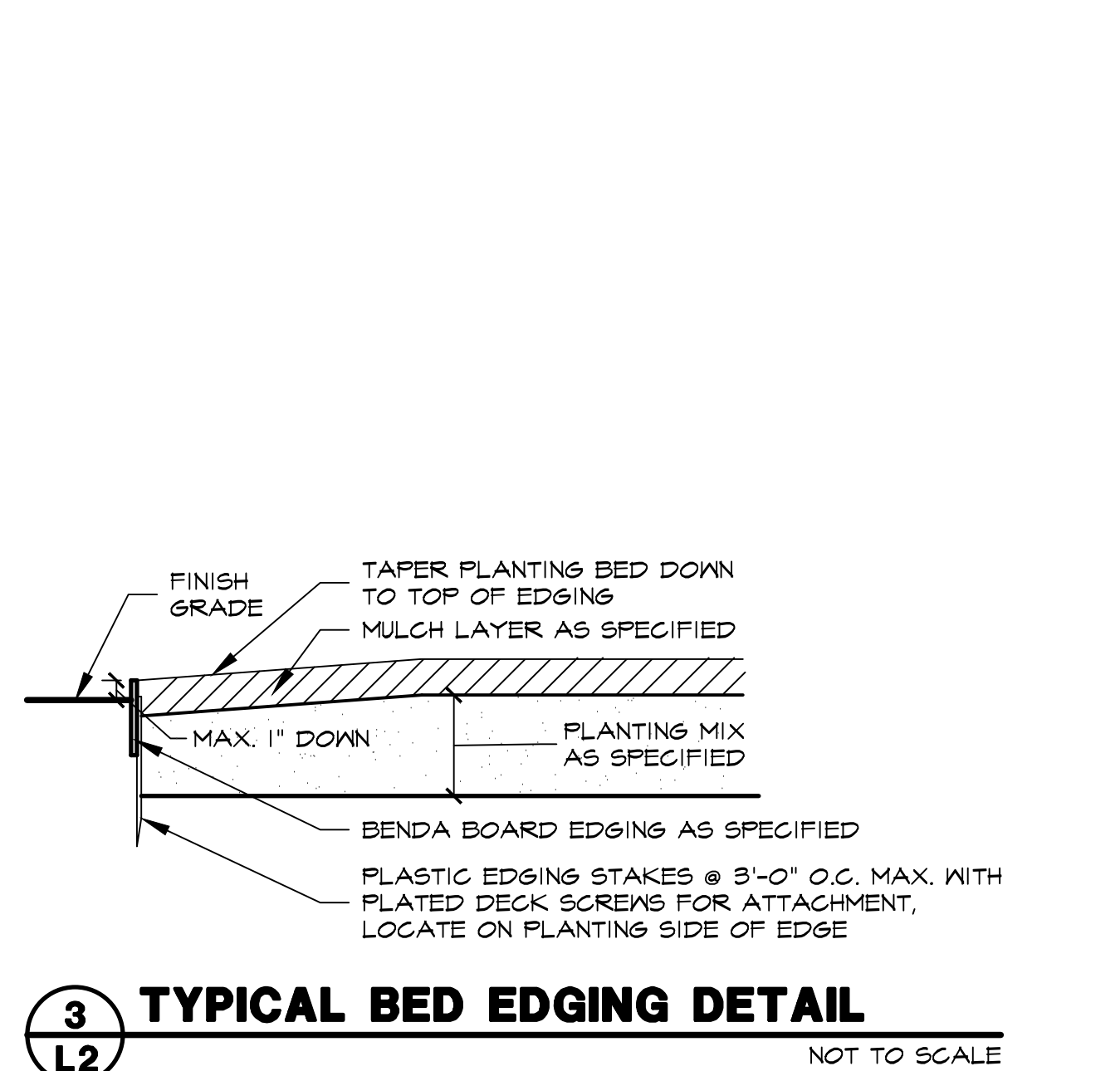
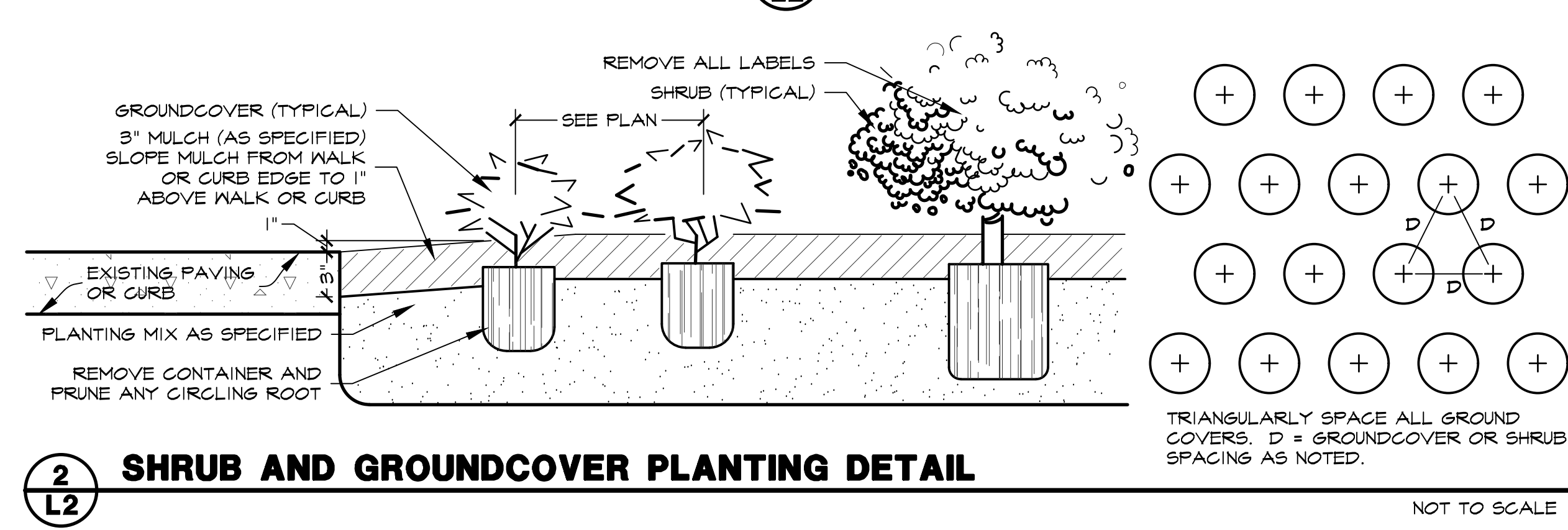
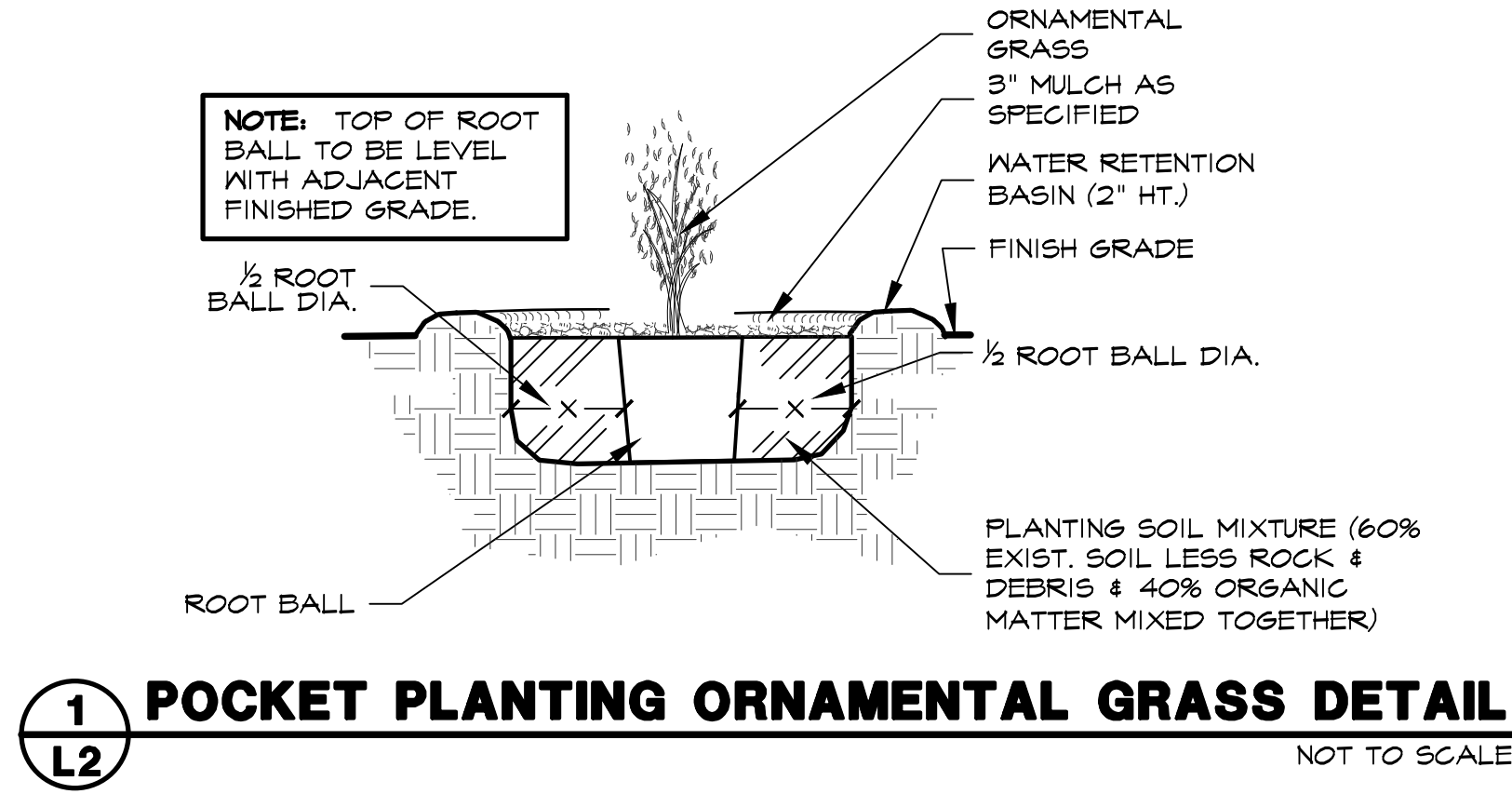
PLAN REVIEW REVISIONS	BY	DATE
1	LWR	1-3-2025
2	LWR	1-21-2025
3	LWR	2-5-2025

PROJECT: LDM001

PLATE: 2 SHEET: LS2

Plotted by: Station10 Plot Date: 2/5/2025 3:13 PM

Drawing: W:\Shared\Projects\LDM001 - Lake Dallas Mixed Use\DWG\LDM001.LS2.dwg Saved By: Station10 Save Time: 1/22/2025 11:37 AM



0.52 ACRE BLOCK
CITY LAKE DALLAS
OLD TOWN OF GARZA
VOL 75, PG 130
D.R.D.C.T.

LOTS 1-6, BLOCK 10
301 MAIN STREET LAKE DALLAS LLC
OLD TOWN OF GARZA
VOL 75, PG 130
D.R.D.C.T.

LOTS 4-6, BLOCK 9
LAKE DALLAS ISD
OLD TOWN OF GARZA
VOL 75, PG 130
D.R.D.C.T.

WARNING TO CONTRACTOR
UNDERGROUND UTILITIES IN THE AREA OF CONSTRUCTION.
THE CONTRACTOR SHALL CALL TEXAS811 AT (811) AND DIG-TESS AT (800.395.0440) AND/OR OTHER UTILITY LOCATING SERVICES AT LEAST 48-HOURS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY.

ATTENTION
1. PROVIDE ALL NECESSARY PVC PIPE SLEEVES FOR ALL IRRIGATION LINES TO INCLUDE WIRING TO CONTROL BOX IN THE BLDG ELECTRIC ROOM.
2. PROVIDE ALL NECESSARY PVC PIPE SLEEVES FOR ALL PARKING LOT LIGHT POLES TO HARD WIRE TO THE BUILDING ELECTRIC ROOM

NOTE
PUBLIC RIGHT-OF-WAY, EASEMENTS, AND COMMON AREAS MUST BE STABILIZED WITH PERENNIAL VEGETATION COVER, FULLY ESTABLISHED WITH 100% COVERAGE, OR OTHER APPROVED STABILIZATION METHOD

BUILDING SETBACK LINES
FRONT SETBACK LINE ALONG MAIN STREET: 8.0'
SIDE SETBACK LINES: 0.0'
REAR SETBACK LINE: 0.0'

NOTE
ADJUST ALL TOP OF MANHOLE COVERS, VALVE COVERS, AND METER CAN COVERS AS REQUIRED FOR NEW PAVEMENT

NOTE
2% MAXIMUM CROSS SLOPE ALONG ALL WALKWAYS

NOTE
SEE SHEET C104 FOR SITE TRIANGLE AT EACH DRIVEWAY INTERSECTING GOLIAD AVE & MAIN STREET

GENERAL PLAN LEGEND

DESCRIPTION	EXISTING	NEW (by this project)
STORM WATER DRAINAGE FLOW		
GRADING CONTOUR		
PAVING CONTOUR		
SPOT ELEVATION	620.0 +	PV 620.0 •
STORM WATER DRAINAGE DIVIDE		
WATER MAIN	EX. 8" WTR	NEW 8" WTR
FIRE HYDRANT		
FIRE DEPARTMENT CONNECTION (FDC)	EX. 4" FDC	NEW 4" FDC
WASTEWATER MAIN	EX. 8" WW	NEW 8" WW
WASTEWATER MANHOLE		
STORM WATER SEWER PIPE	EX. 20" RCP	NEW 20" RCP
STORM WATER MANHOLE		
STORM WATER CURB INLET		
TREE		
POWER POLE WITH OVERHEAD ELEC LINE (OHE)	PP OHE	PP OHE

CM = CONTROL MONUMENT TGR = TOP OF GRATE (ELEV) B/B = BACK TO BACK (CURB) PP = POWER POLE
 CP = CONTROL POINT GT = TOP GUTTER (ELEV) CSP = CORRUGATED STL PIPE FH = FIRE HYDRANT
 IRF = IRON ROD FOUND PV = TOP OF CONC PVMT (EL) RCP = REINF. CONC PIPE WV = WATER VALVE
 TBM = TEMP. BENCHMARK EA = EDGE OF ASPHALT (ELEV) HP = HIGH POINT MH = MANHOLE
 NG = NATURAL GRADE TC = TOP OF CURB (ELEV) LP = LOW POINT WW = WASTEWATER
 ME = MATCH EXISTING (ELEV) TW = TOP OF WALL (ELEV) FF = FINISH FLOOR FL = FLOWLINE

BENCHMARKS

MARK	DESCRIPTION	ELEV.	NORTHING-Y	EASTING-X
TBM1	CHISELED SQUARE IN CORNER OF STORMWATER SEWER CURB INLET AT THE NORTH SIDE OF MAIN STREET, WEST OF FALCON DRIVE	578.74		
CM1	1/2" CAPPED IRON ROD FOUND AT NORTHWEST PROP CORNER			

GENERAL PLAN NOTES - C101

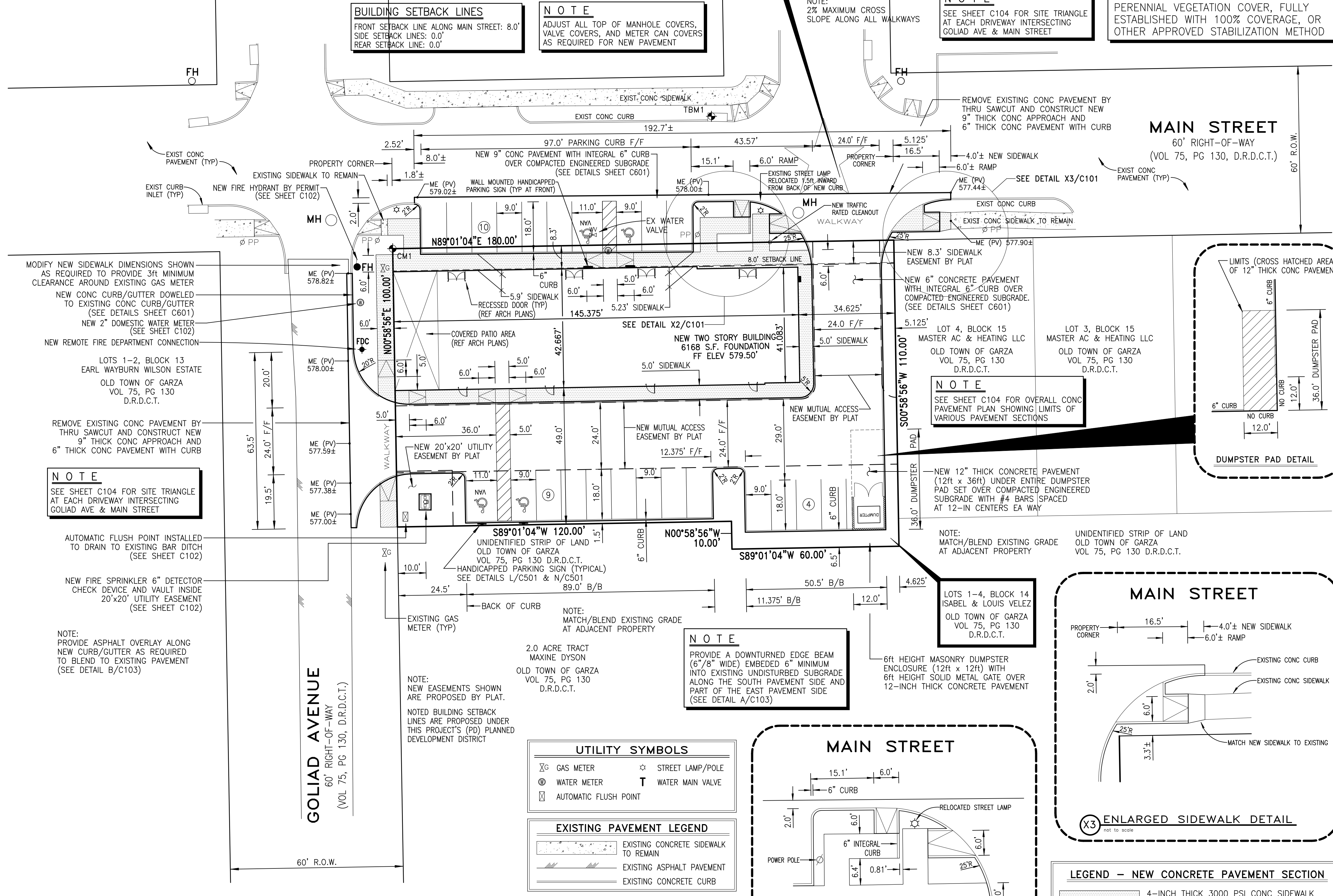
- SEE SHEET C600 FOR GENERAL CIVIL ENGINEERING NOTES, AND SHEET C601 FOR SITING & PAVING DETAILS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY AND MARK THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY.
- ALL WORK SHALL BE DONE TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THESE DRAWINGS. BASIC HORIZONTAL AND VERTICAL CONTROL POINTS, ESTABLISHED BY THE ENGINEER ARE SHOWN ON THESE PLANS. THESE POINTS SHALL BE USED AS DATUM FOR WORK UNDER THIS PROJECT. ALL ADDITIONAL SURVEY, LAYOUT, OR MEASUREMENT WORK SHALL BE PERFORMED BY THE CONTRACTOR AS A PART OF THE WORK UNDER THIS CONTRACT.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITY LINES, PAVING, DRIVEWAYS, CURBS, WALKS, STEPS, RETAINING WALLS, FENCES, IRRIGATION SYSTEMS, AND OTHER SURFACE AND SUBSURFACE STRUCTURES, TOGETHER WITH ALL SOIL AND SHRUBS AFFECTED BY HIS CONSTRUCTION OPERATIONS. RESTORATION OF ALL DAMAGED PROPERTY TO ITS ORIGINAL CONDITION SHALL BE PERFORMED BY AND AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE JOB SITE AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY OMISSIONS, DISCREPANCIES, OR DIMENSIONAL ERRORS PRIOR TO BEGINNING OR FABRICATING ANY WORK, OTHERWISE THE CORRECTIONS (AND ASSOCIATED COSTS) WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL DEMOLITION AND EXCAVATED MATERIALS SHALL BE LEGALLY DISPOSED OF THE SITE BY THE GENERAL CONTRACTOR.
- IN THE EVENT THAT UNCHARTED UTILITIES OR OTHER UNFORSEEN FIELD CONDITIONS REQUIRE MODIFICATIONS TO THE DRAWINGS, THE CONTRACTOR SHALL OBTAIN THE APPROVAL OF THE OWNER'S REP BEFORE PROCEEDING WITH THE WORK.
- CONSTRUCTION ACTIVITY SHALL CONFORM TO ALL CITY OF LAKE DALLAS AND LOCAL REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL APPLICABLE PERMITS FOR THIS PROJECT (INCLUDING R.O.W.).
- ROUGH GRADING SHALL BE PERFORMED PRIOR TO CONSTRUCTION OF UTILITIES.

ACCESSIBILITY STANDARDS

- CONCRETE RAMPS, PARKING SIGNAGE, & RAMP HANDRAILS SHALL CONFORM WITH TEXAS ACCESSIBILITY STANDARDS ADOPTED BY THE TEXAS DEPARTMENT OF LICENSING AND REGULATION IN COMPLIANCE WITH THE TEXAS ARCHITECTURAL BARRIERS ACT, ARTICLE 9102, TEXAS CIVIL STATUTES.
- ALL ACCESSIBILITY ROUTES FOR THIS PROJECT SHALL HAVE A SLOPE NOT GREATER THAN 1:20 (5%). ACCESSIBILITY ROUTES HAVING A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP AND SHALL CONFORM WITH THE TEXAS ACCESSIBILITY STANDARDS.
- SIDEWALK CROSS SLOPE AND PATHWAY ACROSS A DRIVEWAY APPROACH SHALL NOT EXCEED 2.0% AT TIME OF ACCEPTANCE.

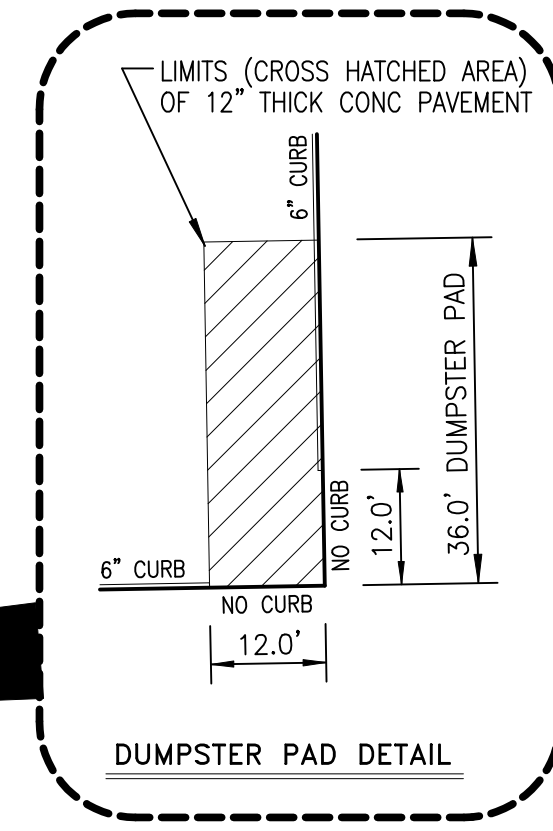
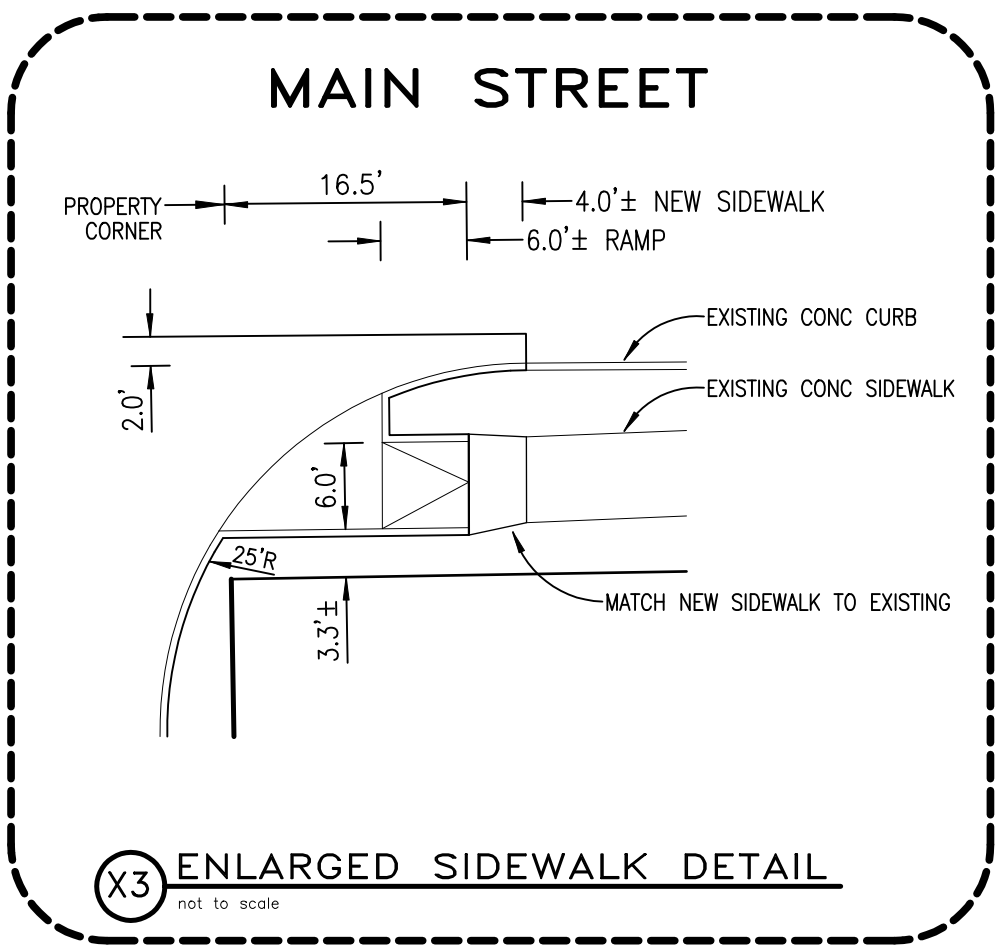
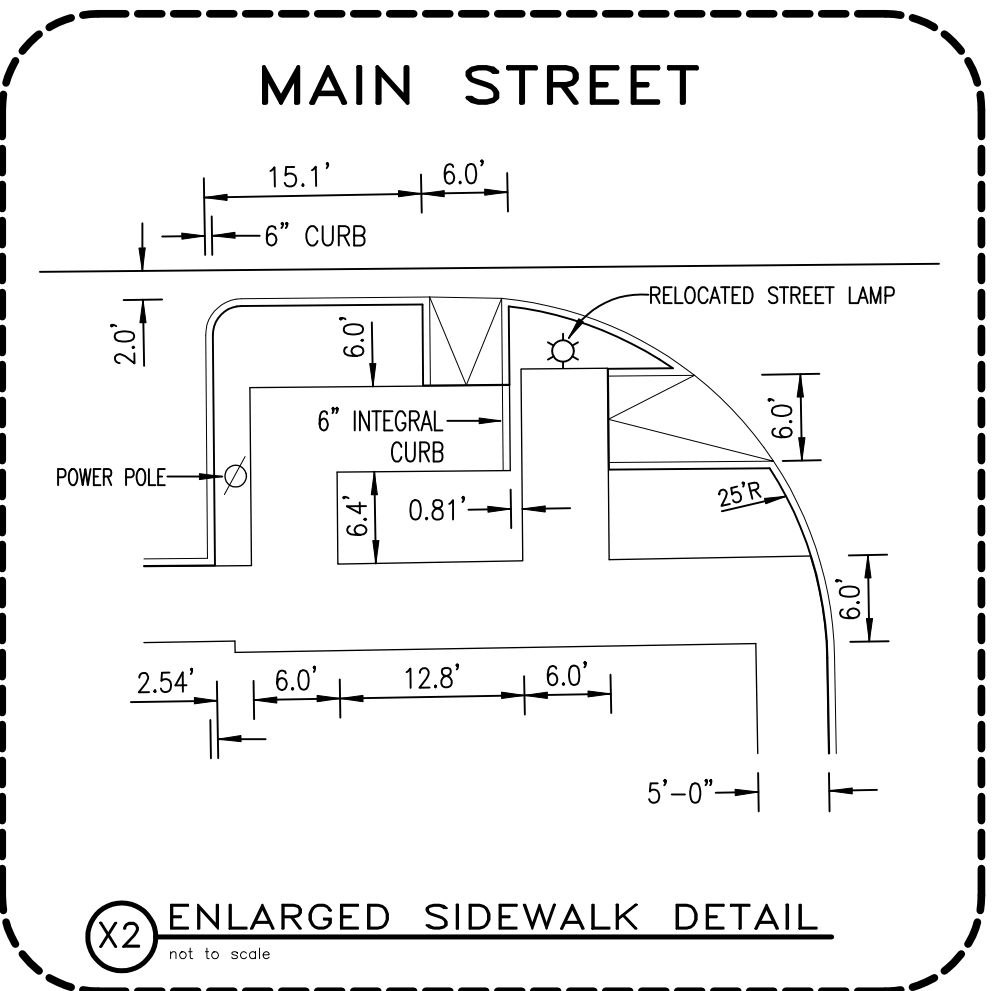
SITE DATA SUMMARY CHART

GENERAL	PRE-DEV	POST-DEV
TOTAL SITE GROSS AREA (LOT 1A, BLOCK 14)		18,600 S.F. (0.427 ACRES)
CURRENT ZONING		C-3 COMMERCIAL
ALL DEVELOPMENT SHALL COMPLY WITH THE CITY OF LAKE DALLAS DEVELOPMENT CODE.		
** REPLANT TO BE SUBMITTED CREATING A NEW SINGLE LOT 1A, BLOCK 14.		
** PLANNED DEVELOPMENT (PD) APPLICATION TO BE SUBMITTED CREATING ZONING GUIDELINES SPECIFIC TO THIS PROJECT.		
PARKING ANALYSIS (NEW OFFICE/RETAIL/RESIDENTIAL BUILDING)		
GROSS FLOOR AREA (MULTI-USE)		6168 S.F.
RETAIL/PERSONAL SERVICES (6168sf AREA) - VEHICLE PARKING SPACES REQUIRED: (1/200)		
MULTI-FAMILY (4-UNITS PER LEVEL) - VEHICLE PARKING SPACES REQUIRED: (2.5/UNIT)		
RETAIL: TOTAL OFF-STREET VEHICLE PARKING SPACES REQUIRED: 6168/200 = 31 SPACES		
MULTI-FAMILY: TOTAL OFF-STREET VEHICLE PARKING SPACES REQD: (4) UNITS x 2.5 = 10 SPACES		
TOTAL OFF-STREET VEHICLE PARKING SPACES REQUIRED (20% REDUCTION): 31+10 (0.8) = 33 SPACES		
TOTAL OFF-STREET REGULAR PARKING SPACES PROVIDED:		11 SPACES
TOTAL OFF-STREET ACCESSIBLE VEHICLE PARKING SPACES PROVIDED:		2 SPACES
TOTAL "STREET" REGULAR PARKING SPACES PROVIDED (ALONG MAIN STREET):		8 SPACES
TOTAL "STREET" ACCESSIBLE VEHICLE PARKING SPACES PROVIDED:		2 SPACES
TOTAL OFF-STREET & "STREET" PARKING SPACES PROVIDED:		23 SPACES
LOT IMPERVIOUS COVERAGE SUMMARY		
LOT 1A, BLOCK 14 - IMPERVIOUS AREA (NON PENETRABLE) (BUILDINGS, CONCRETE PAVEMENTS & GRAVEL PVMT)	0 SF	18600 SF
BUILDING SUMMARY - GROSS FLOOR AREA		
LOT 1A, BLOCK 14 - MULTI-USE BUILDING (FOUNDATION AREA)	0 SF	6168 SF
BUILDING - LOT COVERAGE SUMMARY		
LOT 1A, BLOCK 14 - LOT COVERAGE	0.0%	33.2%
SITING GREEN SPACE & HARDSCAPE IMPROVEMENTS		
GREEN SPACE (PERMEABLE SURFACE) CONCRETE PAVEMENT AND SIDEWALKS & GRAVEL PVMT	18600 SF	1428 SF 17172 SF



NOTE:
THE CIVIL ENGINEERING DESIGN SHOWN HEREIN THESE PLANS FOR THIS PROJECT IS BASED ON ISSUANCE OF A CITY OF LAKE DALLAS PLANNED DEVELOPMENT (PD) APPROVING ALL CURRENT ZONING (C-3 COMMERCIAL) NON-COMPLIANT ITEMS SHOWN ON THESE PLANS.

NOTE:
APPLICABLE CONTRACTORS SHALL EACH COORDINATE WITH ELECTRIC, GAS, AND TELEPHONE UTILITY COMPANIES FOR REQUIRED SERVICE TO THE BUILDING. REFERENCE ARCHITECTURAL & MEP PLANS. COORDINATE WITH OWNER'S REP.



CARREERA consulting engineers, inc.
Structural, Civil, & Construction Engineering
Texas Board of Professional Engineers Firm Registration No. F-8354
3920 Merit Avenue Dallas, Texas 75211 o (214) 330-4771 f (214) 330-2167

PRELIMINARY
NOT FOR CONSTRUCTION
BIDDING OR PERMIT PURPOSES

CIVIL ENGINEERING CONSTRUCTION PLANS
LAKE DALLAS MIXED-USE
LOT 1R, BLOCK 14
312 Main Street
Lake Dallas, Texas 75065

SITE PLAN

DATE: mar 2024
PROJECT No: C-3034
DRAWN BY: CCEI
CHECKED BY: CCEI

SHEET No.
C101



**P&Z COMMISSION
AGENDA MEMO**

Prepared By: Randi Rivera, AICP, City Planning Consultant

February 20th, 2025

Conduct a public hearing and provide recommendation for a proposed text amendment to zoning regulations in the Lake Dallas Municipal Code, Chapter 122 "Zoning," Article XI, "M-1 Light Industrial District," Section 122-441, "Permitted Uses," amending the permitted uses allowed in the M-1 Light Industrial District.

DESCRIPTION:

Planning and Zoning Commission shall consider a proposed text amendment to the permitted uses in the M-1, Light Industrial District. The request is to add "Any use permitted in district C-3" as a permitted use in M-1. This a city-initiated text amendment to the zoning ordinance that would apply to the M-1, Light Industrial District.

FEEDBACK:

The required notification for this city-initiated zoning text amendment is publication in the official newspaper at least 15 days prior to the public hearing. Said notification was published on February 5, 2025.

RECOMMENDED MOTIONS:

Following the public hearing, the City P&Z Commission can:

RECOMMEND TO APPROVE/DENY the text amendment.

OR

RECOMMEND TO APPROVE the text amendment with modifications. (Said modifications would need to be listed in the motion.)

ATTACHMENTS:

Redline Revisions to Section 122-441. Permitted Uses.

Draft Ordinance

**CITY OF LAKE DALLAS, TEXAS
ORDINANCE NO. 2025-_____**

AN ORDINANCE OF THE CITY OF LAKE DALLAS, TEXAS, AMENDING THE LAKE DALLAS MUNICIPAL CODE BY AMENDING CHAPTER 122 “ZONING,” ARTICLE XI, “M-1 LIGHT INDUSTRIAL DISTRICT,” SECTION 122-441 “PERMITTED USES” RELATING TO THE PERMITTED USES IN M-1 LIGHT INDUSTRIAL DISTRICT; PROVIDING A CONFLICTS RESOLUTION CLAUSE, PROVIDING A SEVERABILITY CLAUSE, PROVIDING A SAVINGS CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND (\$2,000.00) DOLLARS FOR EACH OFFENSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Lake Dallas and the governing body of the City of Lake Dallas, in compliance with the laws of the State of Texas and the ordinances of the City of Lake Dallas, have given requisite notice by publication and otherwise, and after holding due public hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, and in the exercise of its legislative discretion have concluded that the Comprehensive Zoning Ordinance and Map should be amended;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAKE DALLAS, TEXAS, THAT:

SECTION 1. The Lake Dallas Municipal Code, as heretofore amended be and the same is hereby amended, by amening Chapter 122 “Zoning,” Article XI, “M-1 Light Industrial District,” Section 122-441 “Permitted Uses” in its entirety to read as follows:

“Chapter 122 – ZONING

...

ARTICLE XI. – M-1 LIGHT INDUSTRIAL DISTRICT

...

Sec. 122-441. – Permitted Uses.

In district M-1, no building, structure, land or premises shall be used, and no building or structure shall be erected, constructed, reconstructed, moved or altered except for one or more of the following uses:

- (1) Any use permitted in district C-3, as provided in this Code.
- (2) Offices including:

a. Research and Development center.

(3) Business services including:

a. Contractor's shop and storage yard.

b. Equipment and machinery sales and rental.

c. School bus storage.

d. Truck (heavy)-bus sales, rental, repair and storage.

(4) Wholesale uses including:

a. Warehousing, wholesaling and storage of any commodity except junk or salvage.

b. Office showroom.

c. Office warehouse-distribution center.

d. Warehouse, including mini-warehouse storage only if allowed by special use permit.

(5) Manufacturing and industry including:

a. Manufacturing, processing, fabrication or assembling of any commodity except junk, salvage, chemical laboratories or concrete and asphalt batching plants.

b. Recycling collection-drop-off (no processing).

(6) Freight terminals, moving and transfer facilities.

(7) Sewage treatment plant.

(8) Water treatment plant.

(9) Structures and uses clearly accessory and necessary to the normal operation of the permitted uses, including signs, as provided in this chapter.”

SECTION 2. In the event of an irreconcilable conflict between the provisions of another previously adopted ordinance of the City of Lake Dallas and the provisions of this ordinance as applicable to the use and development of the Property, the provisions of this Ordinance shall be controlling.

SECTION 3. Should any sentence, paragraph, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid the same shall not affect the validity of this ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 4. An offense committed before the effective date of this ordinance is governed by the prior law and the provisions of the Comprehensive Zoning Ordinance, as amended in effect when the offense was committed, and the former law is continued in effect for this purpose.

SECTION 5. Any person, firm or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Lake Dallas, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand (\$2,000.00) Dollars for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 6. This ordinance shall take effect immediately from and after its passage and the publication of the caption as the law and charter in such cases provides.

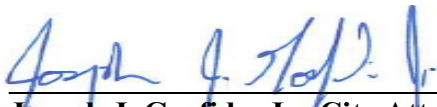
PASSED AND APPROVED this 27th day of February 2025.

Andi Nolan, Mayor

ATTEST:

Codi Delcambre, City Secretary

APPROVED AS TO FORM:



Joseph J. Gorfida, Jr., City Attorney

Sec. 122-441. Permitted uses.

In district M-1, no building, structure, land or premises shall be used, and no building or structure shall be erected, constructed, reconstructed, moved or altered except for one or more of the following uses:

(1) Any use permitted in district C-3, as provided in this Code.

(12) Offices including:

a. Research and Development center.

(23) Business services including:

a. Contractor's shop and storage yard.

b. Equipment and machinery sales and rental.

c. School bus storage.

d. Truck (heavy)-bus sales, rental, repair and storage.

(34) Wholesale uses including:

a. Warehousing, wholesaling and storage of any commodity except junk or salvage.

b. Office showroom.

c. Office warehouse-distribution center.

d. Warehouse, including mini-warehouse storage only if allowed by special use permit.

(45) Manufacturing and industry including:

a. Manufacturing, processing, fabrication or assembling of any commodity except junk, salvage, chemical laboratories or concrete and asphalt batching plants.

b. Recycling collection-drop-off (no processing).

(56) Freight terminals, moving and transfer facilities.

(67) Sewage treatment plant.

(78) Water treatment plant.

(89) Structures and uses clearly accessory and necessary to the normal operation of the permitted uses, including signs, as provided in this chapter.

(Ordinance 06-09, § 2, 3-23-06)



**P&Z COMMISSION
AGENDA MEMO**

Prepared By: Randi Rivera, AICP, City Planning Consultant

February 20, 2025

Consider and take appropriate action on a Final Plat and associated Construction Plans for Lot 1, Block A of Ace Hardware Addition, being a replat of +/- 1.506 acres in the Susan O. McCarroll Survey, Abstract No. 958, a portion of Lots 1-4, Block A and a portion of Lot 1 and all of Lots 2-4, Block B of Barmarchar Sites, of the City of Lake Dallas, Denton County, Texas.

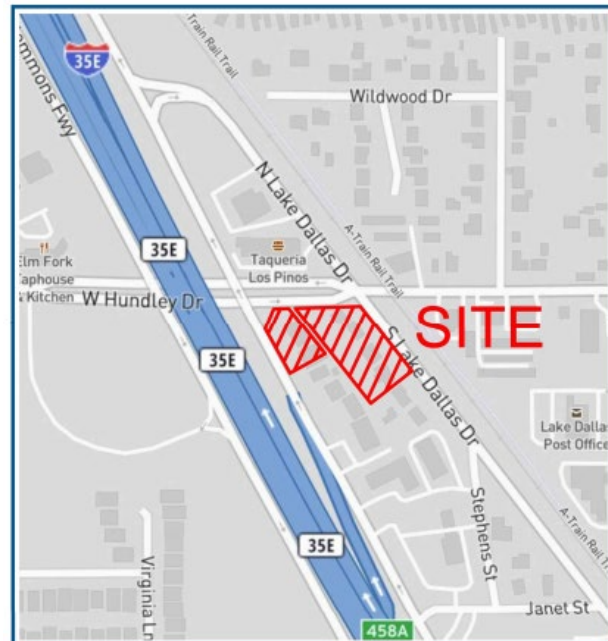
DESCRIPTION:

Planning and Zoning Commission shall consider the Final Plat and Construction Plans for Ace Hardware Addition, located at 101, 103, 105, 107, S Lake Dallas Dr and 1000, 1002, and 1004 S Stemmons Fwy Lake Dallas, TX 75065, to construct a hardware store, parking lot, and garden center and combine eight (8) existing lots into one lot, Lot 1, Block A, and dedicating necessary easements.

BACKGROUND INFORMATION:

The applicant is proposing a 14,000 SF Anchor retail (hardware) with a one-way entrance off W Hundley Drive and a two-way ingress/egress from Lake Dallas Drive. The applicant is proposing a 9,950 SF Garden Center to the west of the building along Stemmons Fwy.

On November 14, 2024, the Planned Development (PD) Zoning District was approved by the City Council for this development. The base zoning of the PD is C-3 District and the property is within the I-35E Business Corridor overlay. The proposed site plan is in conformance with the standards outlined in the approved PD, as well as other applicable City regulations.



The site currently has an existing pole sign to remain as on-site. This will be subject to approval of a sign permit.

Prior to a pre-construction meeting, a facilities maintenance agreement with LCMUA, regarding utility services, is required to be approved by LCMUA.

RECOMMENDED MOTIONS:

The City P&Z Commission can:

RECOMMEND TO APPROVE the Final Plat for Lot 1, Block A of Ace Hardware Addition and associated construction plans.

OR

RECOMMEND TO APPROVE WITH CONDITIONS the Final Plat for Lot 1, Block A of Ace Hardware Addition and associated construction plans, with the following conditions: *[insert requirements of the Code of Ordinances which must be satisfied to approve said plat]*

OR

RECOMMEND TO DISAPPROVE the Final Plat for Lot 1, Block A of Ace Hardware Addition and associated construction plans, with the following conditions: *[insert requirements of the Code of Ordinances which must be satisfied to approve said plat]*

ATTACHMENTS:

Final Plat

Site Plan

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS §
 COUNTY OF DENTON §

WHEREAS, **HARDWARE PROPERTIES, LLC**, is the owner of a 1.506 acre tract of land out of the Susan O. McCarroll Survey, Abstract No. 958, situated in the City of Lake Dallas, Denton County, Texas, being a portion of Lots 1-4, Block A and Lots 1-4, Block B of Barmarchar Sites, a subdivision of record in Volume 418, Page 126 of the Deed Records of Denton County, Texas, said lots being all of a called Tract 1 - 0.40 acre tract and all of a called Tract 2 - 1.02 acre tract of land conveyed to Hardware Properties, LLC by Special Warranty Deed with Vendor's Lien of record in Document Number 2024-51009 of the Official Records of Denton County, Texas, also being a portion of a 15 foot wide alley of record in said Barmarchar Sites, and being more particularly described by metes and bounds as follows:

BEGINNING, at a TXDOT concrete monument with brass disc found at the South end of a cutback line at the intersection of the East right-of-way line of Interstate Highway 35E (right-of-way varies) and the South right-of-way line of Hundley Road (right-of-way varies), being in the East line of a called Tract 1 - 1.128 acre tract of land conveyed to the State of Texas by deed of record in Volume 400, Page 363 of said Deed Records, also being the Southwest corner of a called Parcel 45 - 0.0952 acre tract of land conveyed to the State of Texas by deed of record in Document Number 2014-127585 of the Official Records of Denton County, Texas;

THENCE, N22°26'54"E, along the South right-of-way line of Hundley Road, being the South line of said Parcel 45, a distance of 64.11 feet to a TXDOT concrete monument with brass disc found at the North end of said cutback line;

THENCE, N88°18'36"E, continuing along the South right-of-way line of Hundley Drive, being in part, the South line of said Parcel 45, in part, the North line of said 15 foot wide alley, and in part, the South line of a called Parcel 46 - 0.2284 acre tract of land conveyed to the State of Texas by deed of record in Document Number 2014-117732 of said Official Records, a distance of 248.29 feet to a TXDOT concrete monument with brass disc found at the intersection of the South right-of-way line of said Hundley Road and the West right-of-way line of Lake Dallas Drive (60' right-of-way), being the Southeast corner of said Parcel 46, also being the common East corner of said Lots 1 and 2, Block B;

THENCE, S38°08'46"E, along the West right-of-way line of Lake Dallas Drive, being the common East lines of said Lots 2-4 of Block B, a distance of 240.00 feet to a 1/2 inch iron rod found at the Northeast corner of Lot 5 of said Block B of Barmarchar Sites, being the Southeast corner of said Lot 4 of Block B;

THENCE, S51°51'14"W, leaving the West right-of-way line of Lake Dallas Drive, in part, along the North line of said Lot 5 and the common South line of said Lot 4 and in part, over and across said 15 foot wide alley, a distance of 157.50 feet to a point at or near the center of said 15 foot wide alley;

THENCE, N38°08'46"W, along or near the center of said 15 foot wide alley, a distance of 191.52 feet to a point;

THENCE, S60°56'39"W, in part, over and across said 15 foot wide alley and in part, along the North line of said Lot 5, Block A, being the common South line of said Lot 4, Block A, a distance of 122.95 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the East right-of-way line of Interstate Highway 35E, being the East line of said 1.128 acre tract, from which a 1/2 inch iron rod found at the Southwest corner of Lot 8R of Lot 8R, Block A Barmarchar Sites, a subdivision of record in Cabinet T, Page 39 of the Plat Records of Denton County, Texas bears S29°00'12"E, a distance of 370.00 feet;

THENCE, N29°00'12"W, along the East right-of-way line of Interstate Highway 35E, being the East line of said 1.128 acre tract, a distance of 146.98 feet to the **POINT OF BEGINNING** and containing an area of 1.506 acres (65,614 square feet) of land, more or less.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, **HARDWARE PROPERTIES, LLC**, does hereby adopt this plat, designating herein described property as **ACE HARDWARE ADDITION**, an addition to the City of Lake Dallas, Denton County, Texas, and does hereby dedicate to public use forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed.e.

OWNER: **HARDWARE PROPERTIES, LLC**

BY: _____ Date _____

Name and Title

STATE OF TEXAS §
 COUNTY OF _____ §

BEFORE ME, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of _____, 20__.

Notary Public in and for the State of Texas

LAKE CITIES MUNICIPAL UTILITY AUTHORITY APPROVAL

The Lake Cities Municipal Utility Authority (LCMUA), shall have the right to, at all times and without the permission of the property owner, and/or HOA, access, patrol, inspect, operate, maintain, repair or replace all public water and sanitary sewer facilities, located within easements and/or HOA lots shown on this plat. Maintenance of said easements or HOA lots shall be the responsibility of the lot owner/HOA, and LCMUA shall not be responsible for the repair or replacement of any improvements (landscaping, irrigation, drainage facilities, signage, lighting, etc.) located within the easements or HOA lots shown on this plat.

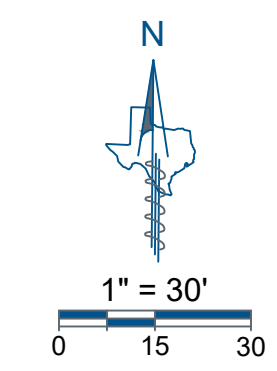
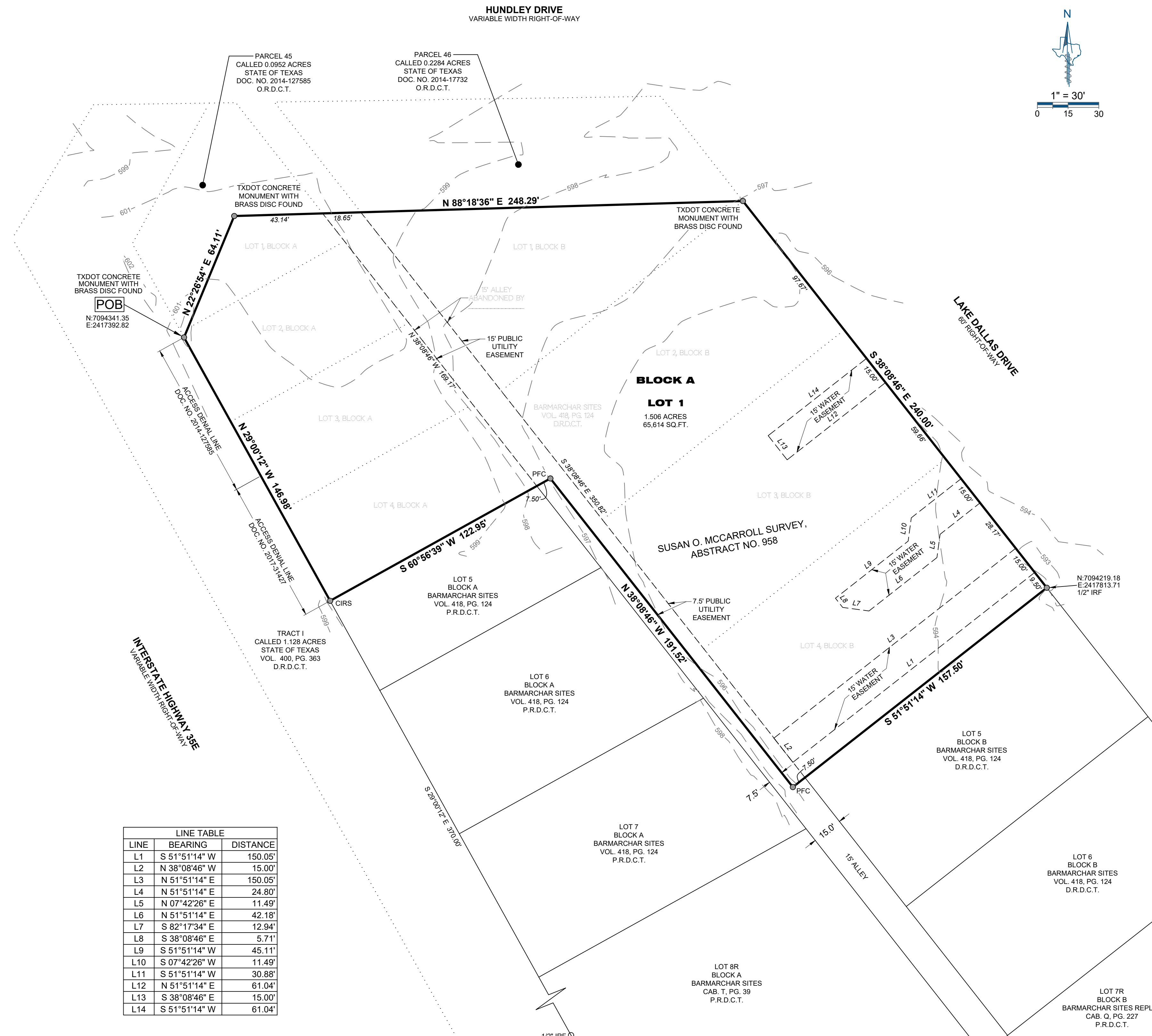
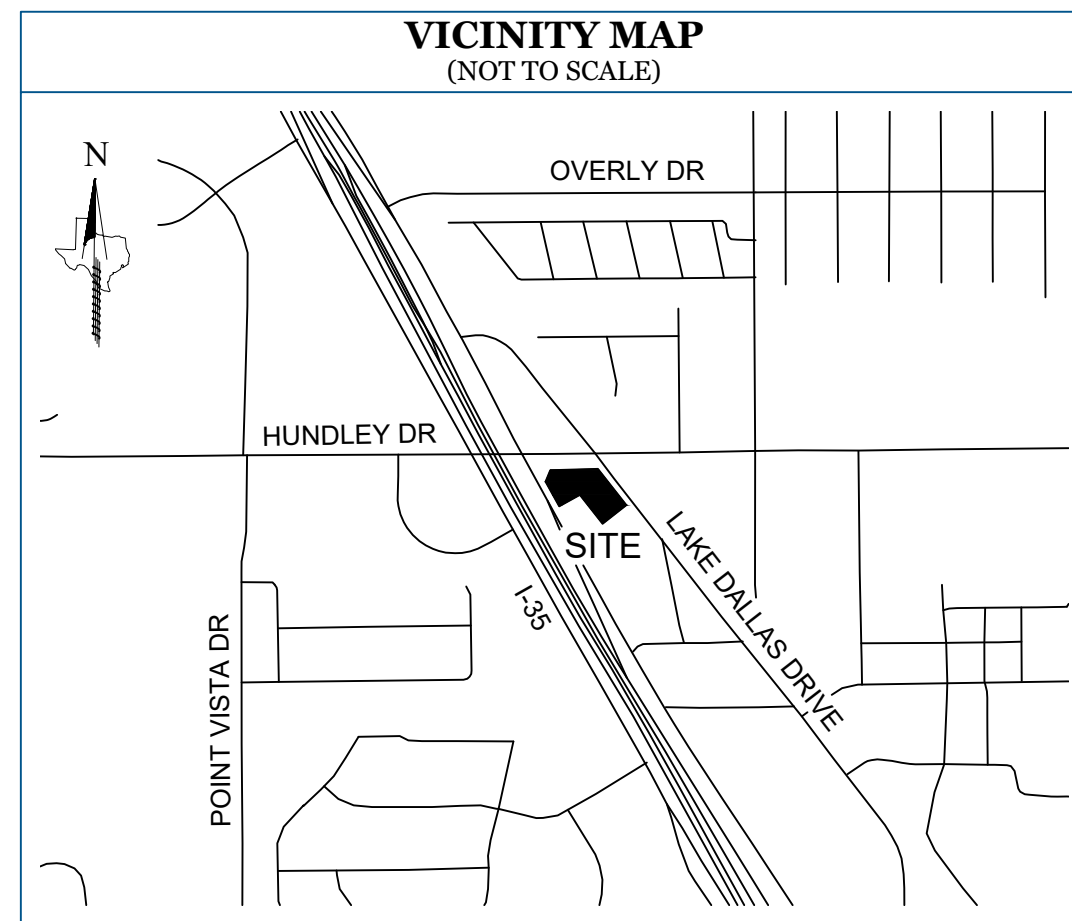
On the _____ day of _____, 20__, all permanent Lake Cities Municipal Utility Authority (LCMUA) easements dedicated per this plat were approved and accepted by

Signed: _____
 Mike Fairfield
 General Manager
 LCMUA

DRAFT

**FINAL PLAT
 LOT 1, BLOCK A
 ACE HARDWARE
 ADDITION**

BEING A REPLAT OF A PORTION OF LOTS 1-4, BLOCK A & LOT 1, BLOCK B, AND ALL OF LOTS 2-4, BLOCK B, AND A PORTION OF A 15' ALLEY OF BARMARCHAR SITES
 RECORDED IN VOL. 418, PG. 126, D.R.D.C.T.
 BEING A 1.509 ACRE TRACT OF LAND IN THE M. WRIGHT SURVEY, ABSTRACT NO. 1355,
 CITY OF LAKE DALLAS, DENTON COUNTY, TEXAS



- GENERAL NOTES**
- The purpose of this plat is to combine all and portions of existing lots and alley to create 1 lot of record. The propose land use of this property is commercial.
 - This property is located in Non-Shaded Zone X according to the F.E.M.A. Flood Insurance Rate Map dated April 18, 2011, as shown on Map Number 48121C0535G.
 - The bearings and grid coordinates shown on this plat are based on GPS observations utilizing the AllTerra RTK Network. North American Datum of 1983 (Adjustment Realization 2011)(Texas North Central Zone 4202).
 - Elevations on this plat are based on GPS observations utilizing the AllTerra RTK Network. North American Vertical Datum of 1988 (Geoid 12A).
 - Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law, and is subject to fines and/or withholding of utilities and building permits.
 - All interior property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.
 - Any franchised public utility, including the City of Lake Dallas and Lake Cities Municipal Utility Authority (LCMUA), shall have the right to move and keep moved all or part of any building, fences, trees, shrubs, other growths or improvements which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on any of the easements shown on the plat. Any franchised public utility including the City of Lake Dallas, shall have the right at all times of ingress and egress to and from and upon such easements for the purposes of constructing, reconstructing, inspection, patrol, maintaining, and adding to or removing all or part of its respective systems without the necessity at any time of procuring the permission of anyone.
 - All tree removal must abide by the tree preservation and mitigation plan on file with City of Lake Dallas Planning Department.

CERTIFICATE OF SURVEYOR

STATE OF TEXAS §
 COUNTY OF DENTON §

I, **MATTHEW RAABE**, Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an actual survey made on the ground and that the monuments shown hereon were found or placed with 1/2-inch iron rods with green plastic caps stamped "EAGLE SURVEYING" under my direction and supervision in accordance with the current provisions of the Texas Administrative Code and the Ordinances of the City of Lake Dallas, Denton County, Texas.

PRELIMINARY

this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document

Matthew Raabe, R.P.L.S. #6402 Date _____

STATE OF TEXAS §
 COUNTY OF DENTON §

BEFORE ME, the undersigned authority, on this day personally appeared **MATTHEW RAABE**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of _____, 20__.

Notary Public in and for the State of Texas

LINE	BEARING	DISTANCE
L1	S 51°51'14" W	150.05'
L2	N 38°08'46" W	15.00'
L3	N 51°51'14" E	150.05'
L4	N 51°51'14" E	24.80'
L5	N 07°42'26" E	11.49'
L6	N 51°51'14" E	42.18'
L7	S 82°17'34" E	12.94'
L8	S 38°08'46" E	5.71'
L9	S 51°51'14" W	45.11'
L10	S 07°42'26" W	11.49'
L11	S 51°51'14" W	30.88'
L12	N 51°51'14" E	61.04'
L13	S 38°08'46" E	15.00'
L14	S 51°51'14" W	61.04'

LEGEND

- POB Point of Beginning
- CIRS Capped Iron Rod Set
- CIRF Capped Iron Rod Found
- IRF Iron Rod Found
- VOL. Volume
- PG. Page
- DOC. NO. Document Number
- D.R.D.C.T. Deed Records, Denton County, Texas
- P.R.D.C.T. Plat Records, Denton County, Texas
- O.R.D.C.T. Official Records, Denton County, Texas

REVISIONS

Revision Number	Date
1	-
2	-
3	-
4	-
5	-
6	-
7	-

CERTIFICATE OF APPROVAL

CITY OF LAKE DALLAS
 Approved by City Council: _____
 Mayor _____
 Attested by City Secretary _____
 Date of Approval _____

SURVEYOR
 Eagle Surveying, LLC
 Contact: Brad Eubanks
 222 S. Elm Street, Suite: 200
 Denton, TX 76201
 (940) 222-3009

OWNER
 Hardware Properties, LLC
 912 W University Drive
 Denton, TX 76201

Eagle Surveying, LLC
 222 South Elm Street
 Suite: 200
 Denton, TX 76201
 940.222.3009
 www.eaglesurveying.com
 TX Firm # 10194177



JOB NUMBER	2306.055-06
DATE	01/16/2025
REVISION	-
DRAWN BY	TAR



Valley Quest DESIGN

LANDSCAPE ARCHITECTS
222 S. Elm St. Ste. 102
Denton, Texas 76201
ph: 214.783.1715

CONSULTANT:

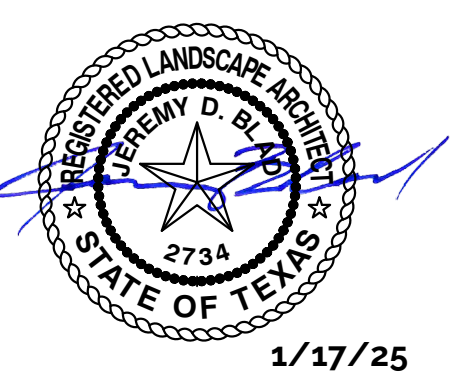
OWNER / CLIENT:

HARDWARE PROPERTIES, LLC
CONTACT: ALAN WALTER
hulencac@gmail.com
Tel: 817-680-0099

Project No:	2024-035
Drawn By:	MWB
Reviewed By:	JDB
Issue Type:	CONSTRUCTION DOC.
Issue Date:	1/17/2025

REVISIONS:

No.	Date	Description



JANUARY 6, 2025

PROJECT:
ACE HARDWARE- LAKE DALLAS

142 ACRES OF LAND OUT OF THE SUSAN O. MCCARROLL SURVEY, ABSTRACT No. 958 A PORTION OF LOTS 1-4, BLOCK A OF BARMARCHAR SITES & A PORTION OF LOT 1 AND ALL OF LOTS 2-4, BLOCK B OF BARMARCHAR SITES

THE CITY OF LAKE DALLAS, DENTON COUNTY, TEXAS

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

SP1.1

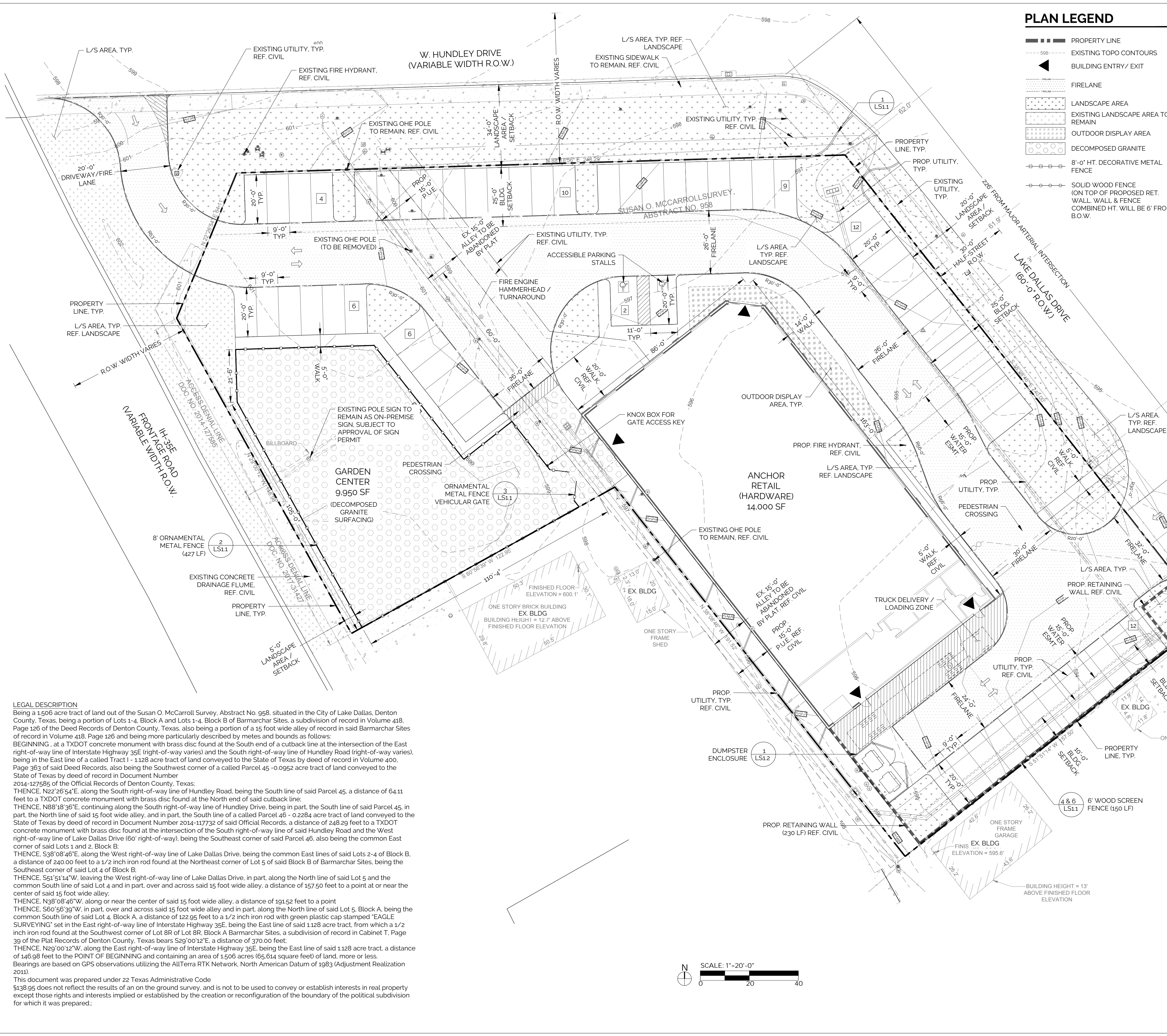
PLAN LEGEND

- PROPERTY LINE
- EXISTING TOPO CONTOURS
- BUILDING ENTRY / EXIT
- FIRELANE
- LANDSCAPE AREA
- EXISTING LANDSCAPE AREA TO REMAIN
- OUTDOOR DISPLAY AREA
- DECOMPOSED GRANITE
- 8'-0" HT. DECORATIVE METAL FENCE
- SOLID WOOD FENCE (ON TOP OF PROPOSED RET. WALL, WALL & FENCE COMBINED HT. WILL BE 6' FROM B.O.W.)

SITE DATA TABLE

LOT AREA:	1,417 ac (61,710 sf)	
TOTAL BUILDING FLOOR AREA:	14,000 sf	
TOTAL BUILDING FOOTPRINT:	14,000 sf	
OUTDOOR DISPLAY AREA (GARDEN CENTER):	9,950 sf	
TOTAL LANDSCAPE AREA:	6,397 sf	
ZONING:	PLANNED DEVELOPMENT W/ C-3 (COMMERCIAL DISTRICT) BASE ZONING AND IH-35 BUSINESS CORRIDOR OVERLAY DISTRICT	
LAND USE:	RETAIL	
SITE REQUIREMENTS		
	REQUIRED	PROVIDED
BUILDING HEIGHT:	MAX: 80 ft	MAX: 80 ft
LOT AREA:	40,000 sf	61,710 sf
LOT WIDTH:	70 ft	147 ft
LOT DEPTH:	90 ft	92 sf
MAX. LOT COVERAGE:	MAX: 50% / 30,855 sf	23% / 14,000 sf
FRONT YARD:	MIN: 25 ft	YES
REAR YARD:	MIN: 25 ft	'NO
SIDE YARD:	MIN:10 ft	YES
PARKING (HARDWARE RETAIL @1200 SF):	70 spaces	'57 spaces (2 accessible spaces)
PARKING (GARDEN CENTER @12,000 SF):	4 spaces	4 spaces
PARKING, TOTAL:	74 spaces	61 spaces

ITEMS MARKED WITH AN *ASTERISK ARE MODIFIED PER THE PROPOSED PLANNED DEVELOPMENT ORDINANCE



LEGAL DESCRIPTION
Being a 1506 acre tract of land out of the Susan O. McCarroll Survey, Abstract No. 958, situated in the City of Lake Dallas, Denton County, Texas, being a portion of Lots 1-4, Block A and Lots 1-4, Block B of Barmarchar Sites, a subdivision of record in Volume 418, Page 126 of the Deed Records of Denton County, Texas, also being a portion of a 15 foot wide alley of record in said Barmarchar Sites of record in Volume 418, Page 126 and being more particularly described by metes and bounds as follows:
BEGINNING, at a TXDOT concrete monument with brass disc found at the South end of a cutback line at the intersection of the East right-of-way line of Interstate Highway 35E (right-of-way varies) and the South right-of-way line of Hundley Road (right-of-way varies), being in the East line of a called Tract I - 1128 acre tract of land conveyed to the State of Texas by deed of record in Volume 400, Page 363 of said Deed Records, also being the Southwest corner of a called Parcel 45 - 0.0952 acre tract of land conveyed to the State of Texas by deed of record in Document Number 2014-127585 of the Official Records of Denton County, Texas;
THENCE, N22°25'54"E, along the South right-of-way line of Hundley Road, being the South line of said Parcel 45, a distance of 64.11 feet to a TXDOT concrete monument with brass disc found at the North end of said cutback line;
THENCE, N88°18'36"E, continuing along the South right-of-way line of Hundley Drive, being in part, the South line of said Parcel 45, in part, the North line of said 15 foot wide alley, and in part, the South line of a called Parcel 46 - 0.2284 acre tract of land conveyed to the State of Texas by deed of record in Document Number 2014-117732 of said Official Records, a distance of 248.29 feet to a TXDOT concrete monument with brass disc found at the intersection of the South right-of-way line of said Hundley Road and the West right-of-way line of Lake Dallas Drive (60' right-of-way), being the Southeast corner of said Parcel 46, also being the common East corner of said Lots 1 and 2, Block B;
THENCE, S38°08'46"E, along the West right-of-way line of Lake Dallas Drive, being the common East lines of said Lots 2-4 of Block B, a distance of 240.00 feet to a 1/2 inch iron rod found at the Northeast corner of Lot 5 of said Block B of Barmarchar Sites, being the Southeast corner of said Lot 4 of Block B;
THENCE, S51°51'14"W, leaving the West right-of-way line of Lake Dallas Drive, in part, along the North line of said Lot 5 and the common South line of said Lot 4, and in part, over and across said 15 foot wide alley, a distance of 157.50 feet to a point at or near the center of said 15 foot wide alley;
THENCE, N38°08'46"W, along or near the center of said 15 foot wide alley, a distance of 191.52 feet to a point;
THENCE, S60°56'39"W, in part, over and across said 15 foot wide alley and in part, along the North line of said Lot 5, Block A, being the common South line of said Lot 4, Block A, a distance of 122.95 feet to a 1/2 inch iron rod with green plastic cap stamped 'EAGLE SURVEYING' set in the East right-of-way line of Interstate Highway 35E, being the East line of said 1128 acre tract, from which a 1/2 inch iron rod found at the Southwest corner of Lot 8R of Lot 8R, Block A Barmarchar Sites, a subdivision of record in Cabinet T, Page 39 of the Plat Records of Denton County, Texas bears S29°00'12"E, a distance of 370.00 feet;
THENCE, N29°00'12"W, along the East right-of-way line of Interstate Highway 35E, being the East line of said 1128 acre tract, a distance of 146.98 feet to the POINT OF BEGINNING and containing an area of 1,506 acres (65,614 square feet) of land, more or less.
Bearings are based on GPS observations utilizing the AllTerra RTK Network, North American Datum of 1983 (Adjustment Realization 2011).
This document was prepared under 22 Texas Administrative Code §138.05 does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.

