



**Planning and Zoning Commission
Regular Meeting
212 Main Street
City of Lake Dallas, Texas 75065
Thursday, December 19, 2024, at 6:00 p.m.
Agenda**

1. Call to Order and Determination of Quorum

2. Pledges of Allegiance

3. Citizen Agenda & Public Comment

An opportunity for citizens to address the Planning & Zoning Commission on matters which are not scheduled for consideration by the Planning & Zoning Commission. Speakers will be limited to five (5) minutes each. The Texas Open Meeting Act prohibits deliberation by the Planning & Zoning Commission of any subject which is not on the posted agenda, therefore the Planning & Zoning Commission will not be able to discuss or take any action on items brought up during the citizen presentations that are not on the agenda.

4. Conduct a public hearing and provide recommendation for a Planned Development with a base zoning of R-1-6000 Single Family Dwelling District applicable to the development and use of approximately 0.986 acres of land being part of the Gotcher Addition, Abstract No. 043A, City of Lake Dallas, Denton County, Texas; located on Lot 7R Block 1. The property is generally located at 206 Gotcher Ave Lake Dallas, TX 75065. The property is currently zoned as a Planned Development with R-1-600 Single Family Dwelling District as the base.

5. Announcements and requests for future agenda items.

6. Adjourn.

I certify that the above notice of this meeting was posted on the bulletin board at City Hall of the City of Lake Dallas, Texas on or before December 16, 2024, at 5:00 p.m.

Codi Delcambre

Codi Delcambre, City Secretary

If you plan to attend this public meeting and you have a disability that requires special arrangements at this meeting, please contact City Secretary's Office at (940) 497-2226 ext. 102 or fax (940) 497-4485 at least two (2) working days prior to the meeting so that appropriate arrangements can be made.



**P&Z COMMISSION
AGENDA MEMO**

Prepared By: Randi Rivera, AICP, City Planning Consultant

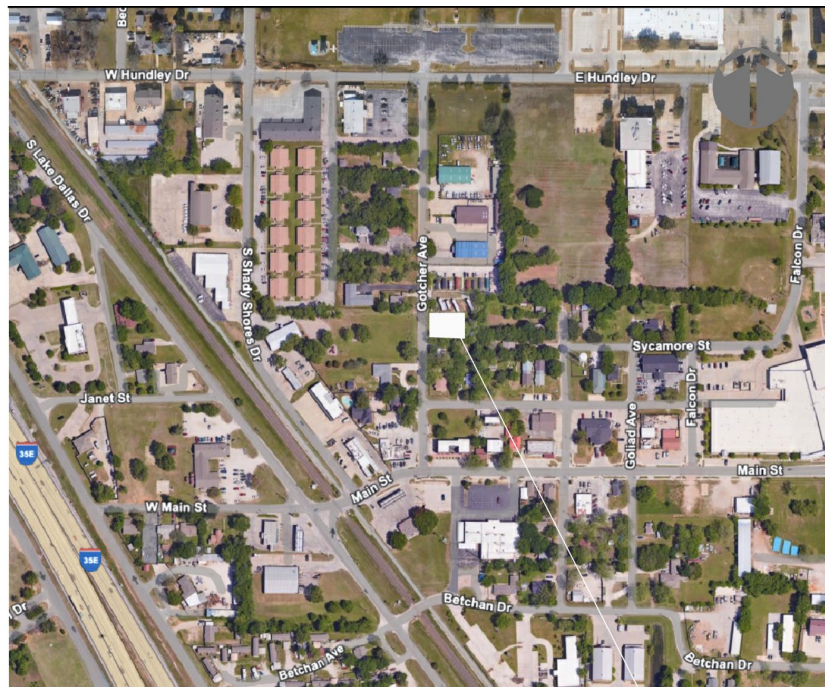
December 19, 2024

Conduct a public hearing and provide recommendation for a Planned Development with a base zoning of R-1-6000 Single Family Dwelling District applicable to the development and use of approximately 0.986 acres of land being part of the Gotcher Addition, Abstract No. 043A, City of Lake Dallas, Denton County, Texas; located on Lot 7R Block 1. The property is generally located at 206 Gotcher Ave Lake Dallas, TX 75065. The property is currently zoned as a Planned Development with R-1-600 Single Family Dwelling District as the base.

This item is a continuation from the Planning and Zoning Commission Meeting held November 21, 2024.

DESCRIPTION:

Planning and Zoning Commission shall consider the request to amend the Lake Dallas Tiny Home Planned Development, Ordinance No. 2017-14, that has a base zoning of R-1-6000 Single Family Dwelling District including a use for Single Family Dwelling District for Miniature, Transportable Housing (Tiny House Park). The purpose of the amendment request is to add “Community Center” and associated improvements subject to specific standards.



PROJECT LOCATION

BACKGROUND:

The property at 206 Gotcher Road has been developed as Lake Dallas Tiny Home Park since 2018. There are 13 tiny home sites, associated parking, outdoor amenities and a washateria. There is an existing farmhouse located on the same property as the Tiny Home Park that serves as an amenity for the residents and is currently 1,200 square feet in size.

PURPOSE:

The request is to renovate the existing farmhouse for offices, workout areas, recreation space, and areas for meetings and adding 640 square feet on the rear of the structure with a covered porch that is 253 square feet. The renovation would allow for two offices, one gym, one community room with kitchen and bathroom, and two gathering areas. The site around the farmhouse would also be improved to extend the existing 4' concrete sidewalk along Gotcher from the tiny home area to the front of the farmhouse. Additionally, parking will be provided as a crushed granite parking area, which is allowed in the existing Planned Development Ordinance 2017-14, with five parking spaces.

Following the Planning and Zoning Commission hearing on November 21, 2024, additional requirements were added to the development standards based on the discussion during that meeting.

In order to accommodate this request, the existing ordinance needs to be amended to include the following:

1. Community Center Use Definition: A permanent, freestanding structure shall be permitted on the Property at the location marked "House" on the southwest corner of Development Plan and shall be used as a private community/amenity center, clubhouse, business center, administrative business office, meeting room, and/or recreation center (the "Community Center").
2. Provide standards specific to the Community Center Use:
 - a. Be owned and operated by management or ownership of the Tiny Home Park
 - b. The Community Center community center shall not be rented, leased, or available for use by the general public. Only (i) residents of the Property, (ii) owners of the property, or (iii) lessors, guests, agents, and licensees of the owner of the Property shall be permitted to use the Community Center.
 - c. Shall be limited to a capacity of thirty five (35) occupants at any single time.
 - d. Use of the Community Center shall only take place between the hours of 6:00 a.m. and 10:00 p.m. This requirement shall not apply to residents of the Tiny House Park.
 - e. The Community Center shall not be used for any (i) residential or (ii) retail purpose. Sale or consumption of sold goods shall not be permitted at the Community Center.
3. Provide standards for the parking area:

- a. To provide a minimum of 6 parking spaces with 5 spaces in the designated parking area and 1 space within the tiny home Park area.
 - b. To allow for angled parking
 - c. To modify minimum dimensions of parking spaces to be 9’x18’.
 - d. To require driveway apron to be concrete apron as well as ADA spaces.
 - e. To allow to minimum width of 14’ for drive aisle
 - f. To allow for driveway spacing to be less than 20’ from existing driveway at the adjacent property to the south.
4. Additional Development Plans showing proposed Community Center and Associated Improvements

REQUESTED MODIFICATIONS :

The following table compares the current requirement per the City’s Code with the requested standard to outline the modifications for this proposed Planned Development amendment.

| Requirement | PD Standard |
|--|---|
| <p><u>Parking Space Dimensions</u> Section 122-761(b): The parking area provided for each car space shall be a minimum of nine feet wide and 20 feet deep plus the maneuvering space necessary to utilize each space.</p> | <p>Parking spaces shall a minimum width of nine (9) feet and minimum depth of eighteen (18) feet.</p> |
| <p><u>Parking Driveway Width</u> Section 122-761(e): Entrances to and exits from parking areas from a street shall have a maximum width of 35 feet.</p> | <p>Driveway shall have a minimum width of fifteen (15) feet.</p> |
| <p><u>Driveway Spacing</u> Section 2.05(E)3: Minimum driveway spacing along Local roadway is 20’ for residential driveways.</p> | <p>The location of the entrance driveway may be less than twenty (20) feet from a neighboring driveway.</p> |

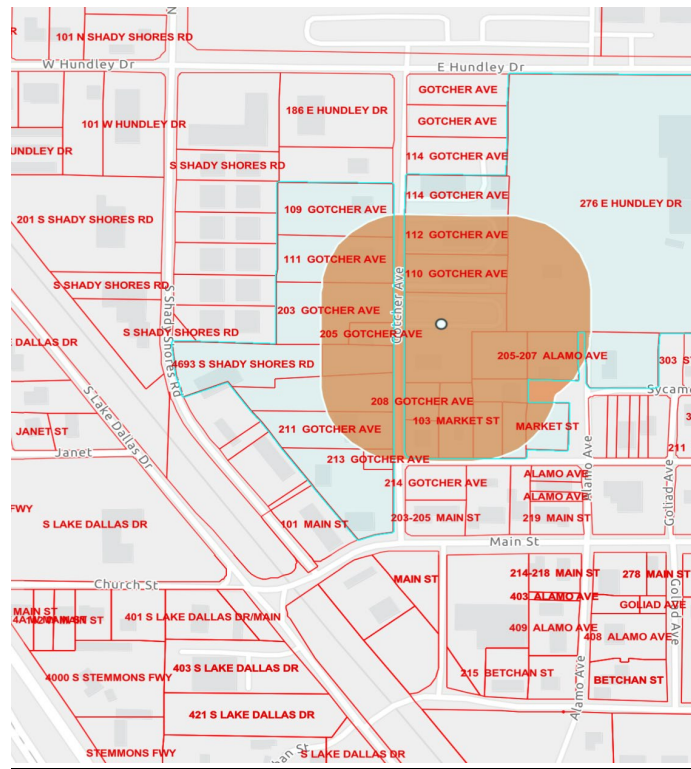
ADJACENT ZONING AND LAND USE:

| DIRECTION | ZONING | EXISTING USE |
|--------------------------------|------------------------|----------------------------------|
| <i>Subject Property</i> | <i>R-1-6000</i> | <i>Tiny Home Park</i> |
| <i>North</i> | C-1 | <i>Commercial Offices</i> |
| <i>South</i> | C-1/DT | <i>Single Family Residence</i> |
| <i>West</i> | R-1-6000 | <i>Residences/Community Park</i> |
| <i>East</i> | R-1-6000 & C-1/DT | <i>Residences</i> |

FEEDBACK:

Correspondence:

The City Code requires notification of the property owners within 200 feet of the subject property. For this application, 25 Property Owner Notifications were mailed at least 11 days prior to the public hearing. The following map shows properties within 200' of the subject site.



RECOMMENDED MOTIONS:

Following the public hearing, the City P&Z Commission can:

RECOMMEND TO APPROVE/DENY the rezoning of the Planned Development.

OR

RECOMMEND TO APPROVE/DENY the Planned Development with conditions. *(This motion would require a list of conditions to revise or add to the Planned Development.)*

ATTACHMENTS:

Draft Ordinance

Community Center Plan

PROJECT INFORMATION

PROPOSED USE: PROPERTY MANAGEMENT OFFICE & MEETING SPACE

OCCUPANCY TYPE: A - ASSEMBLY

SQUARE FOOTAGE: EXISTING: 1,200 SF
ADDITION: 640 SF
1,820 SF

EXISTING PORCH: 93 SF
NEW PORCH: 253 SF

OCCUPANT LOAD: SEE LIFE SAFETY PLAN; **54 OCCUPANTS**

NUMBER OF EXITS REQ'D: 2 EXIT
PROVIDED EXITS: 3 EXIT
REQ'D EXIT WIDTH: 0.2" X 49 OCCUPANTS = 9.8" REQ'D Δ
32" PROVIDED

ALLOWED COMMON PATH OF TRAVEL: 75' (NON-SPRINKLERED)

ACTUAL COMMON PATH OF TRAVEL: 50'-0"

MIXED OCCUPANCY: NO

REQUIRED FIRE SEPARATION: NO

CONSTRUCTION TYPE: V-B, NON-SPRINKLERED

SPECIAL INSPECTION SCHEDULE

SPECIAL INSPECTION AS UTILIZED IN CHAPTER 17 OF THE IBC IS A CONSTRUCTION QUALITY CONTROL MEASURE, WHICH DETERMINES THAT CERTAIN CRITICAL STRUCTURAL, FIRE, AND LIFE SAFETY DESIGN FEATURES ARE PROPERLY INCORPORATED IN THE BUILDING OR STRUCTURE AND VERIFIES THAT MATERIAL AND WORKMANSHIP COMPLY WITH THE APPROVED CONSTRUCTION DOCUMENTS. THIS IS ACHIEVED THROUGH INSPECTIONS BY PERSONS QUALIFIED AND SKILLED IN THE TYPE OF WORK TO BE INSPECTED. THE BUILDING OWNER IS RESPONSIBLE FOR HIRING SPECIAL INSPECTORS. THE FOLLOWING TYPES OF WORK LISTED BELOW ARE PART OF THE PROJECT SCOPE & WILL REQUIRE SPECIAL INSPECTORS:

| | | |
|-------------------------------------|--|---|
| <input checked="" type="checkbox"/> | CONCRETE | STRUCTURAL MASONRY |
| <input type="checkbox"/> | HIGH-STRENGTH BOLTS INSTALLED IN CONCRETE | REINFORCED GYPSUM CONCRETE |
| <input type="checkbox"/> | REINFORCING STEEL AND/OR PRESTRESSING TENDONS | INSULATING CONCRETE FILL |
| <input type="checkbox"/> | WELDING | SHOTCRETE |
| <input type="checkbox"/> | SPRAY-APPLIED FIREPROOFING | SMOKE CONTROL SYSTEM |
| <input type="checkbox"/> | EXCAVATION & FILLING | FIRE-STOPPING |
| <input checked="" type="checkbox"/> | PILINGS, DRILLED PEIRS, CAISSONS, FOOTINGS AND OTHER FOUNDATIONS | <input checked="" type="checkbox"/> ENERGY CODE |
| <input type="checkbox"/> | TRADITIONAL STUCCO CLADDING | |

REFERENCE STRUCTURAL DRAWINGS FOR SPECIAL INSPECTION REQUIREMENTS. GENERAL CONTRACTOR IS RESPONSIBLE FOR SCHEDULING & COORDINATING THE PERFORMANCE OF INSPECTIONS AND TESTING IN ACCORDANCE WITH THE SPECIFICATIONS, BUILDING CODE & THE SPECIAL INSPECTIONS SCHEDULE.

GENERAL NOTES

- ALL CONTRACTORS SHALL VISIT THE SITE AND BECOME COMPLETELY FAMILIAR WITH CONDITIONS AFFECTING THE WORK. NO CONTRACTUAL ADJUSTMENT SHALL BE MADE DUE TO CONTRACTORS' LACK OF FULL KNOWLEDGE OF SITE CONDITIONS.
- ALL WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL CODES AND ORDINANCES, INCLUDING ADA/TAS, AND SHALL BE DONE TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THE RESPECTIVE TRADES.
- THE CONTRACTOR SHALL RECOGNIZE THAT THE OWNER AND ARCHITECT SHALL HAVE THE RIGHT OF APPROVAL OF ALL MATERIALS AND EQUIPMENT. ANY WORK, MATERIALS, OR EQUIPMENT DISAPPROVED FOR GOOD CAUSE BY THE ARCHITECT AND/OR OWNER SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE IN A TIMELY MANNER.
- ANY SUBSTITUTIONS FOR SPECIFIED ITEMS MUST BE APPROVED BY OWNER AND ARCHITECT PRIOR TO BID. CONTRACTOR IS REQUIRED TO SUBMIT DOCUMENTATION IN SUPPORT OF CLAIM THAT A PROPOSED ITEM IS EQUAL TO ONE SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR, OR SUB CONTRACTORS, TO ORDER SPECIFIED MATERIALS IN A TIMELY FASHION MAY RESULT IN TEMPORARY MATERIALS BEING INSTALLED AT CONTRACTOR'S EXPENSE.
- PRIOR TO EACH REQUEST FOR PAYMENT, THE CONTRACTOR SHALL SUPPLY RELEASE OF LIENS FROM EACH AND EVERY SUBCONTRACTOR AND SUPPLIER OF MATERIAL AND EQUIPMENT USED AND INSTALLED ON THE PROJECT, AS WELL AS A RELEASE OF LIEN FOR HIS OWN WORK ON THE PROJECT.
- CONTRACTOR SHALL DESIGNATE, WITH APPROVAL OF OWNER (OFFICE MANAGER OF FACILITY), LOCATION OF ANY SHED, DUMPSTER, STAFFING AND/OR WORK AREA. CONTRACTOR SHALL TAKE ALL REASONABLE AND POSSIBLE CARE TO ENSURE THAT AREAS ON THE SITE OUTSIDE SUCH DESIGNATED AREAS REMAIN UNDISTURBED AND ACCESSIBLE. ON-SITE PARKING FOR STATE EMPLOYEES SHALL BE USED FOR STAGING WITH THE CONSENT OF THE OWNER OR OFFICE MANAGER OF THE FACILITY.
- CONTRACTOR SHALL MAINTAIN THE SITE HOUSEKEEPING CLEAN. DEBRIS AND EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE ON A DAILY BASIS.
- CONTRACTOR SHALL TURN OVER WORK TO OWNER IN IMMACULATE CONDITION. CLEANING INCLUDES REMOVAL OF ADHESIVE RESIDUE, SMUDGES, MARKS, FINGERPRINTS, DIRT, PAINT SPOTS, DUST, LINT, RUST, DISCOLORATION OF ANY OTHER FOREIGN MATTER.
- DRAWINGS AND SPECIFICATIONS: A. CONTRACTOR IS RESPONSIBLE FOR THOROUGHLY REVIEWING DRAWINGS & SPECIFICATIONS AND FOR CONTACTING ARCHITECT IN ORDER TO CLARIFY ANY DISCREPANCIES FOUND THEREIN. B. TERMS SUCH AS "AS SHOWN", "AS INDICATED", OR "AS NOTED" MEAN THERE ARE ADDITIONAL REQUIREMENTS GIVEN ELSEWHERE IN THE CONTRACT DOCUMENTS. C. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, SERVICES, AND MECHANICAL/ELECTRICAL SYSTEMS. CONTACT ARCHITECT PRIOR TO BID DATE IF THERE IS ANY CONFLICT BETWEEN THESE DRAWINGS AND ACTUAL SITE CONDITIONS.
- CONTRACTOR SHALL PROTECT ALL WORK AS REQUIRED TO AVOID DAMAGE, MARRING OR STAINING BY INSTALLERS OF SUBSEQUENT WORK IN SAME AREA. ANY SUCH DAMAGED MATERIALS MUST BE REPLACED OR REFINISHED AT CONTRACTOR'S EXPENSE WITHIN A REASONABLE TIME PERIOD ACCEPTABLE TO OWNER.
- IF DISCREPANCIES ARE FOUND WITHIN THESE DRAWINGS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY. IN ABSENCE OF DIRECTION FROM THE ARCHITECT, THE CONTRACTOR SHALL ASSUME THE "BEST QUALITY AND HIGHEST COST" REGARDING DISCREPANCIES THAT OCCUR BETWEEN THE SPECIFICATIONS AND THE DRAWINGS.
- ALL WORK SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (A.D.A.) AND THE TEXAS ACCESSIBILITY STANDARDS (T.A.S.) CONTRACTOR SHALL HAVE A COPY OF THE T.A.S. GUIDELINES ON FILE AT PROJECT OFFICE.

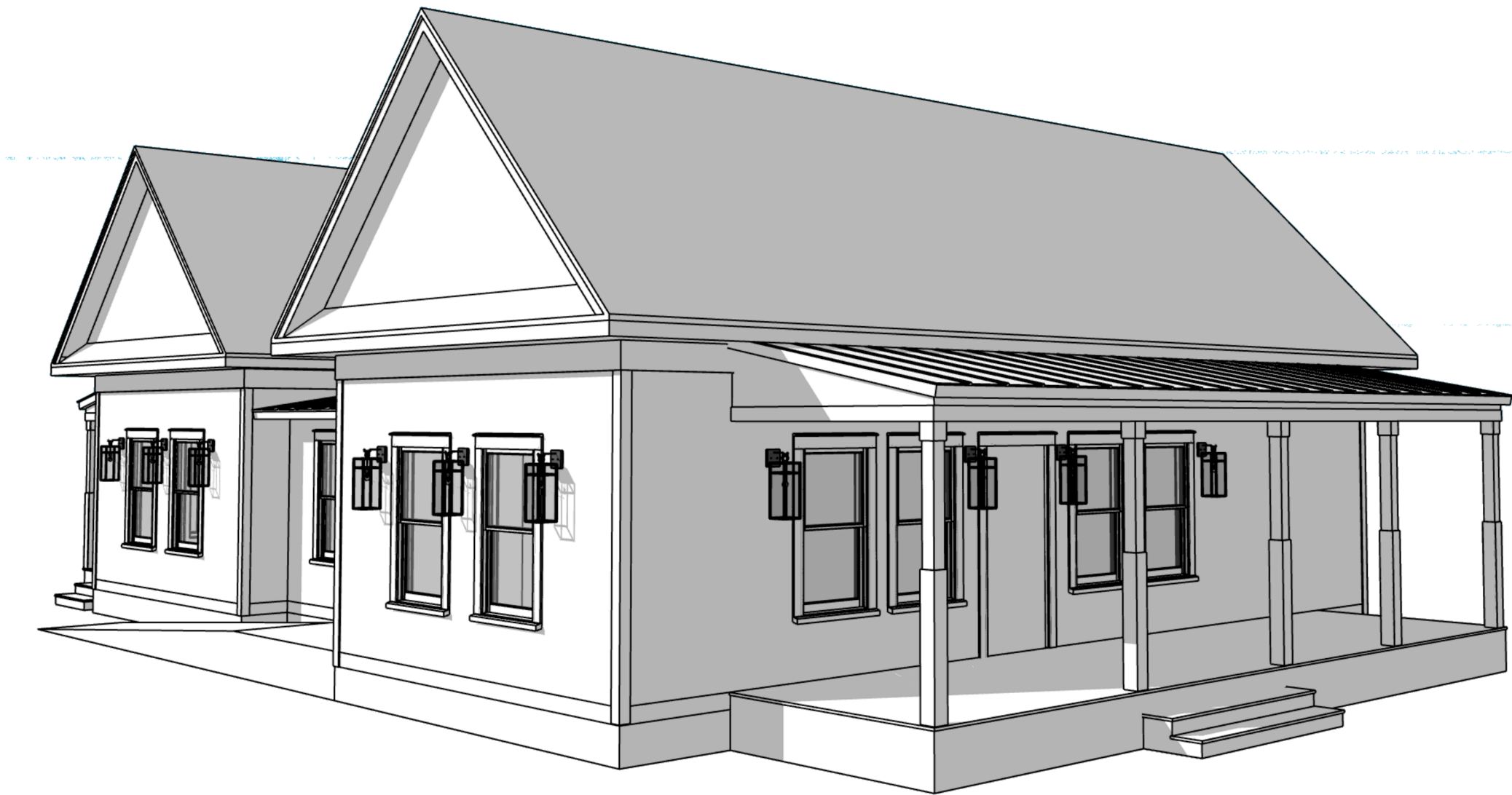
GRAPHIC SYMBOLS LEGEND

| | |
|--|-------------------|
| | ELEVATION TAG |
| | DETAIL CALLOUT |
| | COLUMN CENTERLINE |
| | SPOT ELEVATION |
| | ACCESSORY TAG |
| | WALL TYPE TAG |
| | WINDOW TAG |
| | DOOR NUMBER |

LAKE DALLAS TINY HOME VILLAGE

Community Center Addition

206 Gotcher Avenue
Lake Dallas, Texas 75065



REVISION #6
OCTOBER 11, 2024

GENERAL INFORMATION

PROJECT ADDRESS: 206 GOTCHER AVENUE
LAKE DALLAS, TX 75065

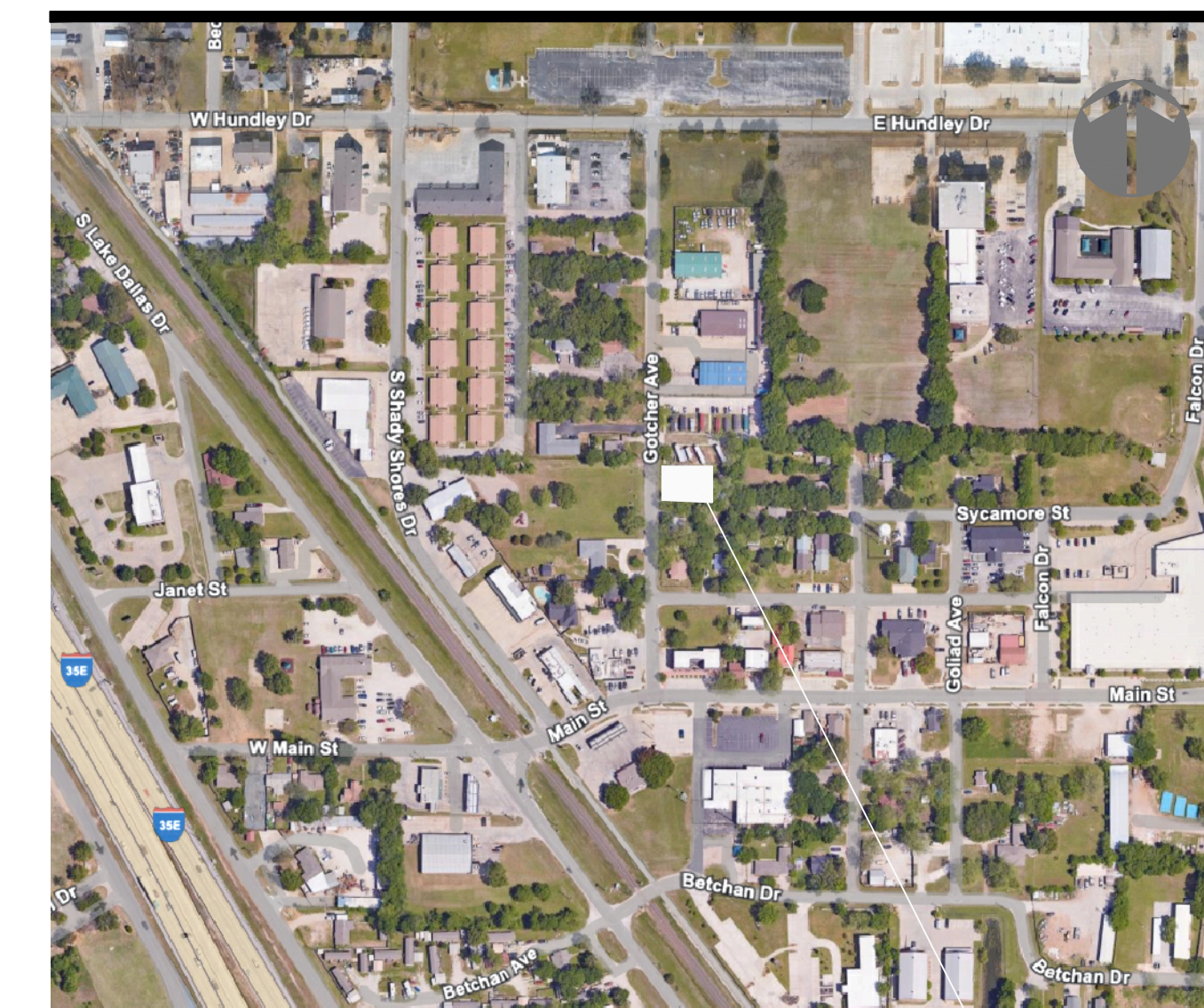
ADOPTED BUILDING CODES: 2018 INTERNATIONAL BUILDING CODE w/ (AMENDMENTS)
2018 INTERNATIONAL MECHANICAL CODE w/ (AMENDMENTS)
2018 INTERNATIONAL PLUMBING CODE w/ (AMENDMENTS)
2018 INTERNATIONAL FUEL & GAS CODE w/ (AMENDMENTS)
2017 NATIONAL ELECTRICAL CODE w/ (AMENDMENTS)
2018 INTERNATIONAL ENERGY CONSERVATION CODE w/ (AMENDMENTS)
2021 INTERNATIONAL FIRE CODE w/ (AMENDMENTS)

PROJECT TAS (TDLR) NUMBER: TABS2024024124

PROJECT TEAM

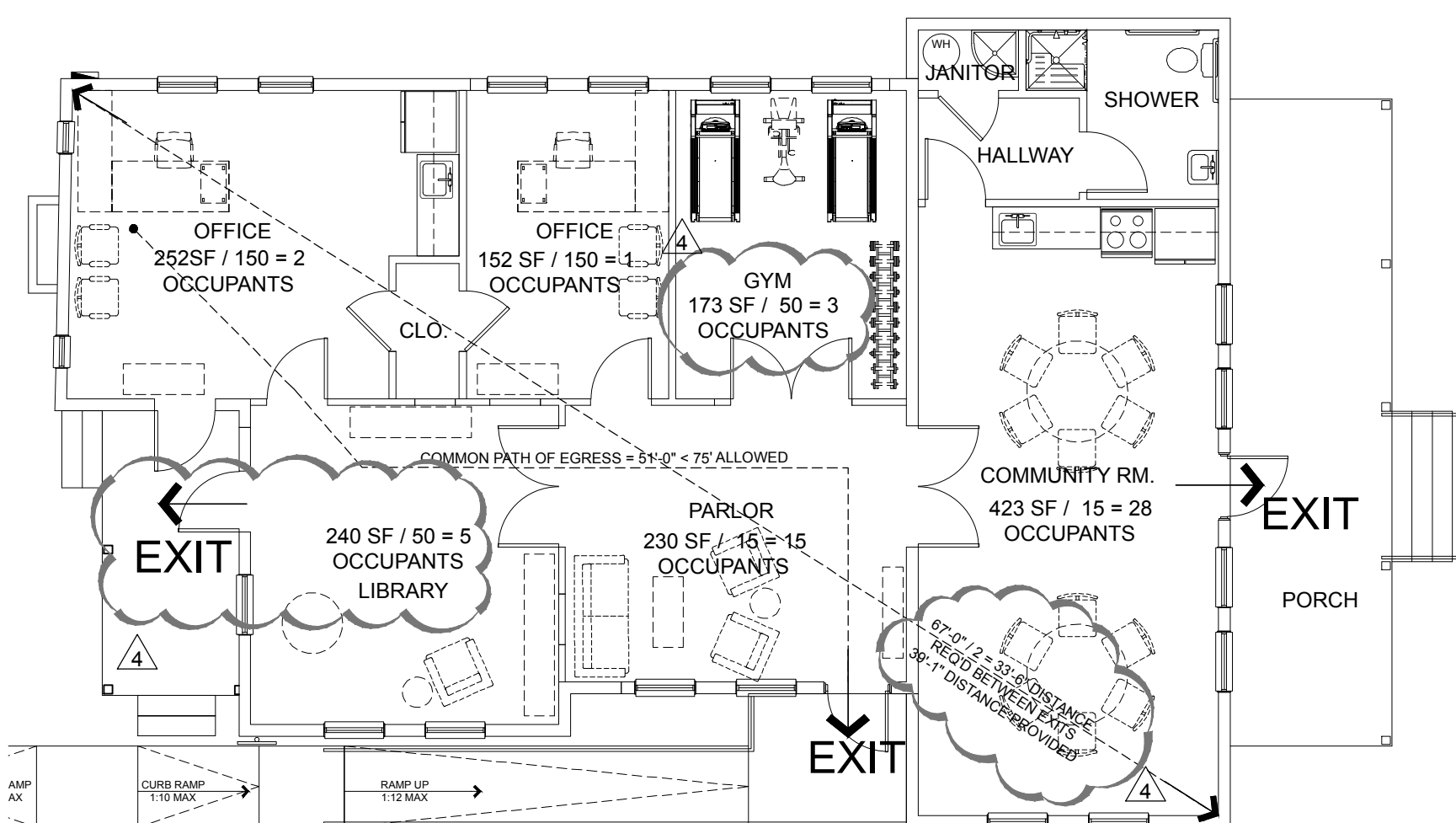
| | |
|--------------|--|
| OWNER | URBAN-RETRO PO BOX 751 LAKE DALLAS, TX 75065 (972)593-9940 TERRY LANTRIP |
| | THRASHER WORKS, LLC 351 W JEFFERSON BLVD. SUITE 601 DALLAS, TEXAS 75208 (214) 293-3498 KAREN THRASHER, AIA |

VICINITY MAP



INDEX OF DRAWINGS

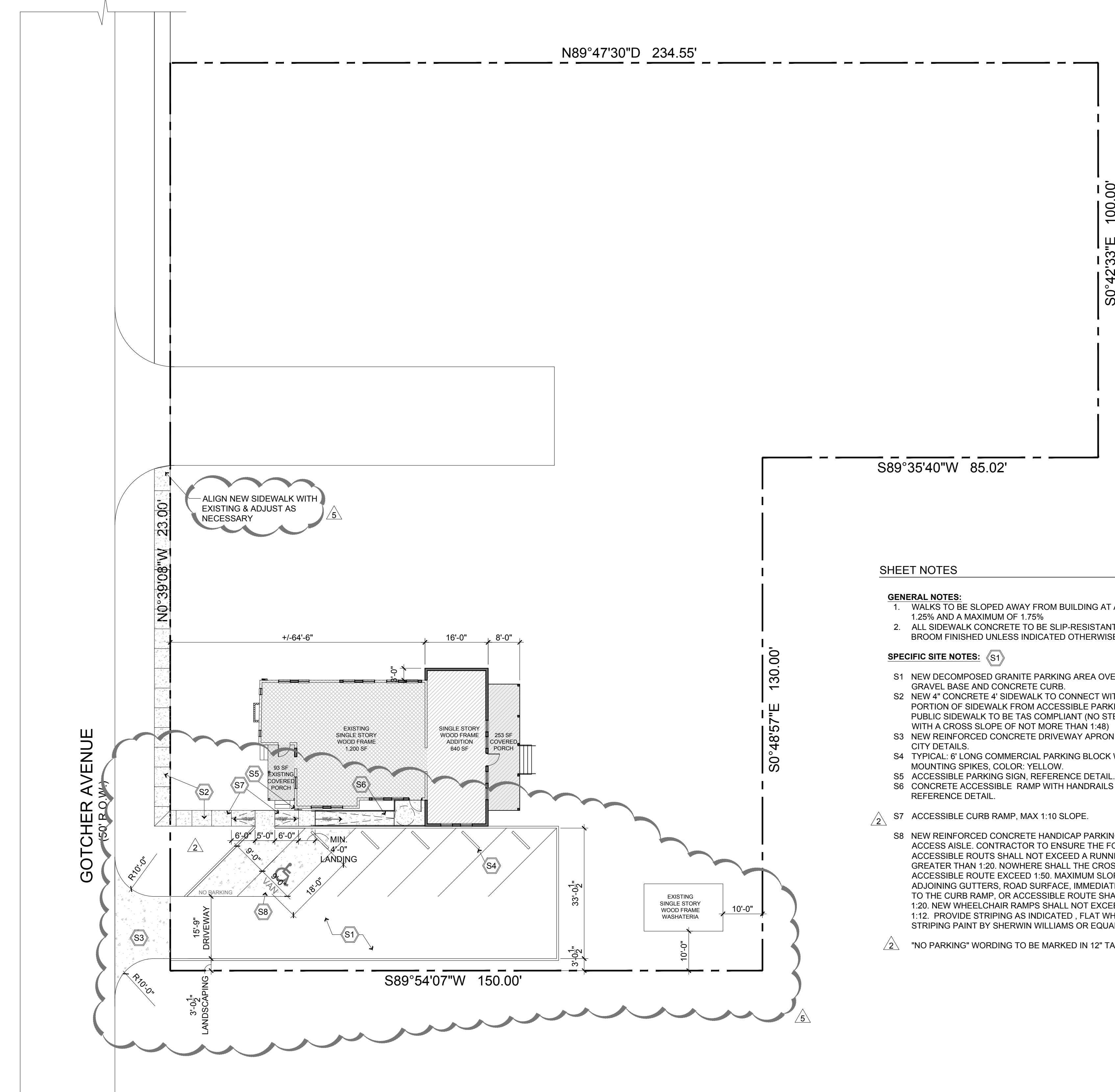
| NUMBER | SHEET NAME | 7.29.2024 | 7.31.2024 | 8.7.2024 | 8.14.2024 | 8.22.2024 | 9.24.2024 | 10.11.24 |
|---------------|--------------------------------------|-----------|-----------|----------|-----------|-----------|-----------|----------|
| ARCHITECTURAL | | | | | | | | |
| A0.0 | COVER SHEET | X | X | X | X | X | X | X |
| A0.5 | ACCESSIBILITY STANDARDS & PARTITIONS | X | | | | | | |
| A1.0 | SITE PLAN & DETAILS | X | X | | | | X | |
| A2.0 | FLOOR PLANS & SCHEDULES | X | X | X | | X | | |
| A3.0 | LIGHTING, POWER & ROOF PLANS | X | X | X | | X | | |
| A3.5 | FOUNDATION PLAN | | | | X | | | |
| A4.0 | EXTERIOR ELEVATIONS & SECTION | X | X | | X | | | |
| A5.0 | INTERIOR DETAILS & ELEVATIONS | X | X | X | | | | |



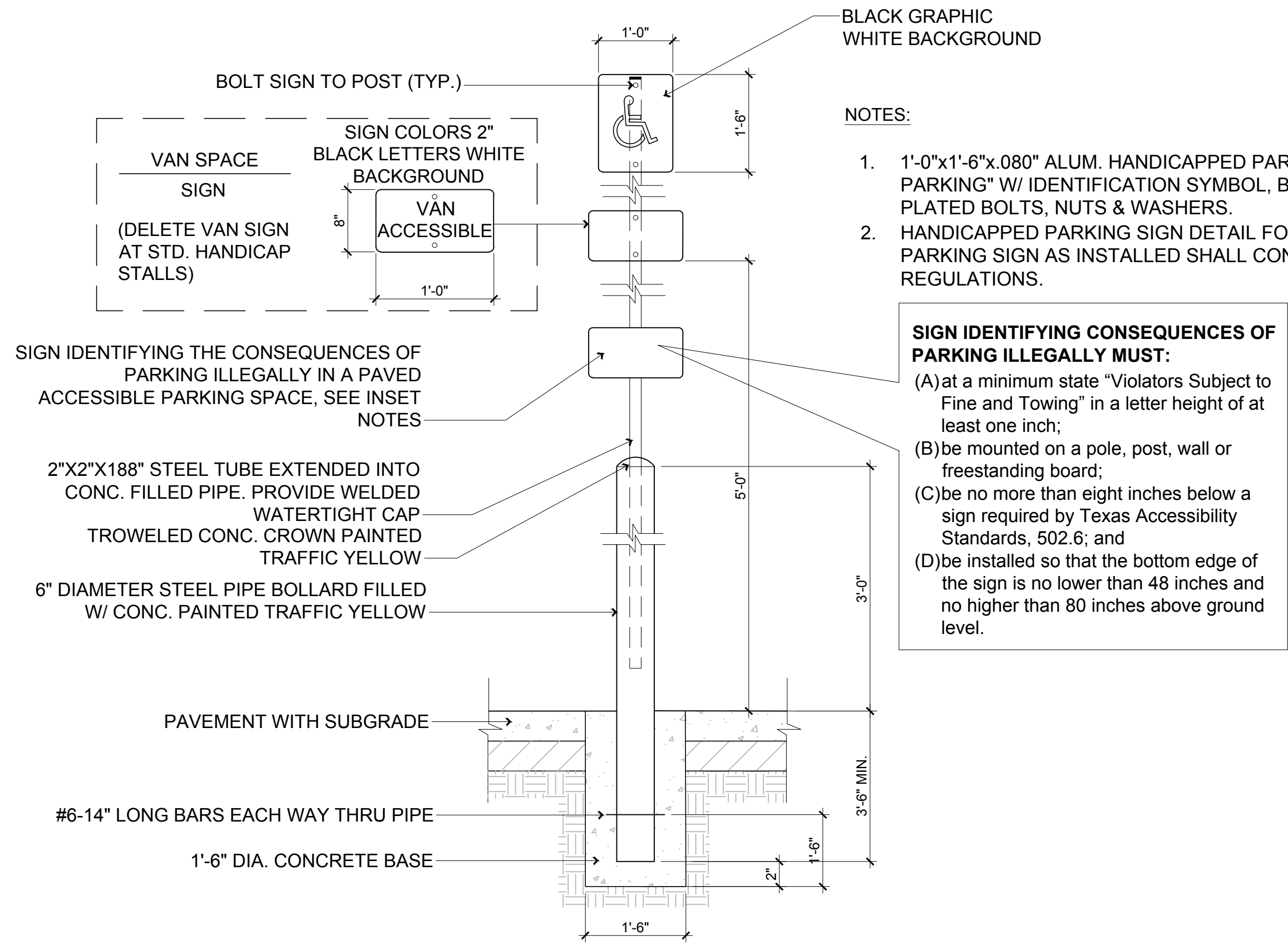
1 LIFE SAFETY PLAN

SCALE: 1/8" = 1'-0"

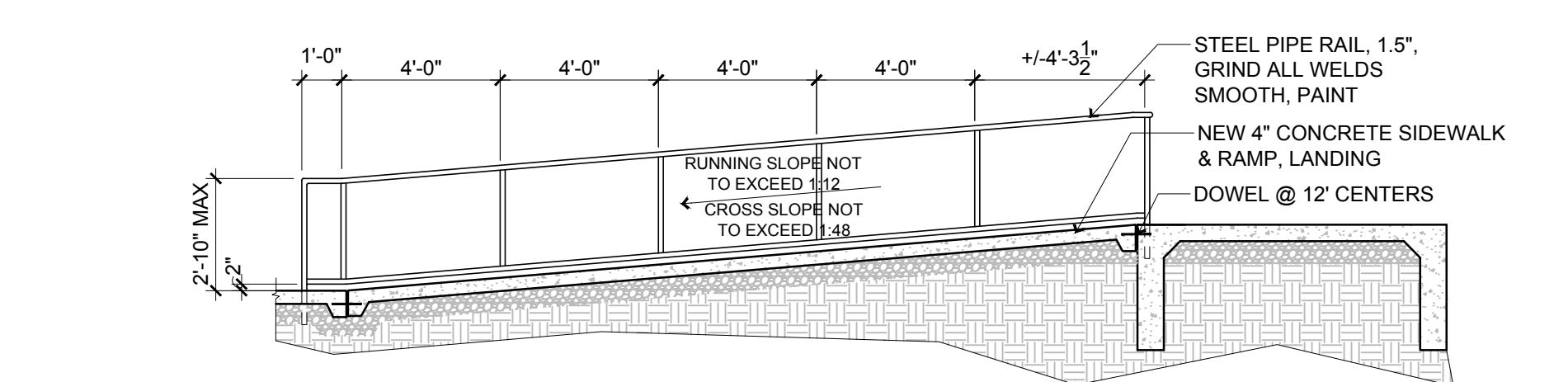
| | |
|---------|---------------------------------|
| 7/29/24 | ISSUE FOR PERMIT & CONSTRUCTION |
| 8/7/24 | REVISION #2 |
| 9/24/24 | REVISION #5 |



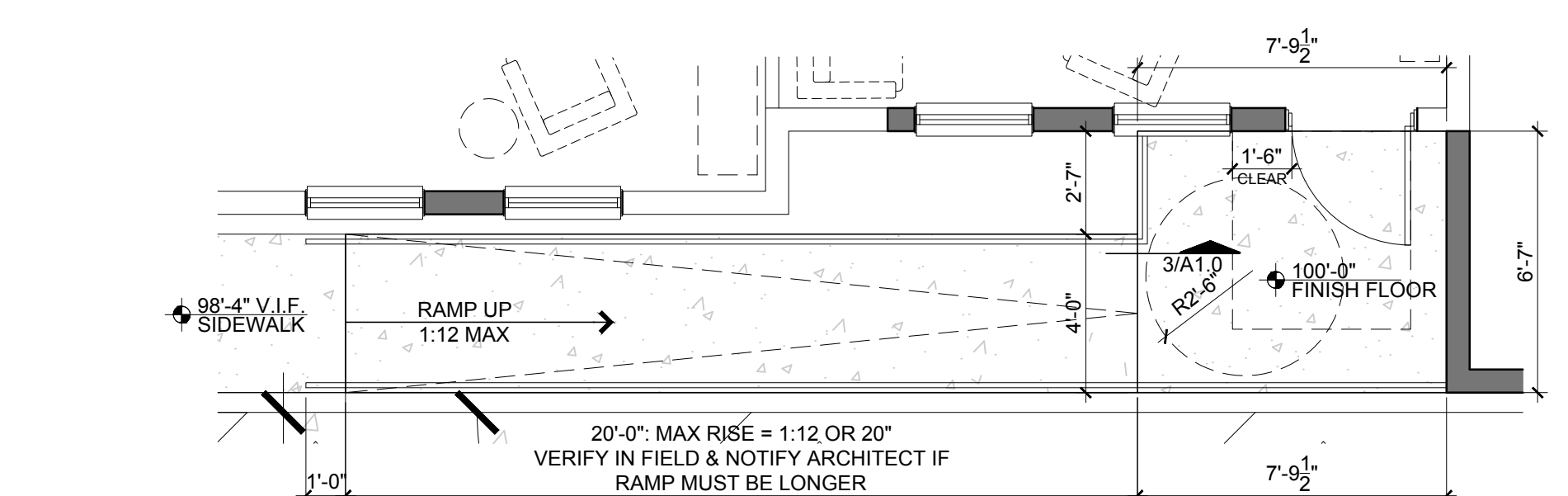
1 ARCHITECTURAL SITE PLAN
 SCALE: 1/16" = 1'-0"



4 HC SIGN DETAIL
 SCALE: 3/4" = 1'-0"



3 SECTION DETAIL
 SCALE: 1/4" = 1'-0"



2 ENLARGED PLAN DETAIL
 SCALE: 1/4" = 1'-0"

- NOTES:**
- 1'-0"x1'-6"x.080" ALUM. HANDICAPPED PARKING SIGN. SIGN TO READ "RESERVED PARKING" W/ IDENTIFICATION SYMBOL, BOLT TO STEEL TUBE W/ 3/8" CADMIUM PLATED BOLTS, NUTS & WASHERS.
 - HANDICAPPED PARKING SIGN DETAIL FOR REFERENCE ONLY. HANDICAPPED PARKING SIGN AS INSTALLED SHALL CONFORM WITH ALL LOCAL CODES AND REGULATIONS.

SIGN IDENTIFYING CONSEQUENCES OF PARKING ILLEGALLY MUST:

(A) at a minimum state "Violators Subject to Fine and Towing" in a letter height of at least one inch;

(B) be mounted on a pole, post, wall or freestanding board;

(C) be no more than eight inches below a sign required by Texas Accessibility Standards, 502.6; and

(D) be installed so that the bottom edge of the sign is no lower than 48 inches and no higher than 80 inches above ground level.

- SHEET NOTES**
- GENERAL NOTES:**
1. WALKS TO BE SLOPED AWAY FROM BUILDING AT A MINIMUM OF 1.25% AND A MAXIMUM OF 1.75%
 2. ALL SIDEWALK CONCRETE TO BE SLIP-RESISTANT MEDIUM BROOM FINISHED UNLESS INDICATED OTHERWISE.
- SPECIFIC SITE NOTES: (S1)**
- S1 NEW DECOMPOSED GRANITE PARKING AREA OVER SAND AND GRAVEL BASE AND CONCRETE CURB.
 - S2 NEW 4" CONCRETE 4' SIDEWALK TO CONNECT WITH EXISTING. PORTION OF SIDEWALK FROM ACCESSIBLE PARKING SPACE TO PUBLIC SIDEWALK TO BE TAS COMPLIANT (NO STEEPER THAN 1:20 WITH A CROSS SLOPE OF NOT MORE THAN 1:48)
 - S3 NEW REINFORCED CONCRETE DRIVEWAY APRON PER STANDARD CITY DETAILS.
 - S4 TYPICAL: 6' LONG COMMERCIAL PARKING BLOCK WITH 12" STEEL MOUNTING SPIKES, COLOR: YELLOW.
 - S5 ACCESSIBLE PARKING SIGN, REFERENCE DETAIL.
 - S6 CONCRETE ACCESSIBLE RAMP WITH HANDRAILS ON EACH SIDE, REFERENCE DETAIL.
 - S7 ACCESSIBLE CURB RAMP, MAX 1:10 SLOPE.
 - S8 NEW REINFORCED CONCRETE HANDICAP PARKING STALL & ACCESS AISLE. CONTRACTOR TO ENSURE THE FOLLOWING: ALL ACCESSIBLE ROUTES SHALL NOT EXCEED A RUNNING SLOPE GREATER THAN 1:20. NOWHERE SHALL THE CROSS SLOPE OF AN ACCESSIBLE ROUTE EXCEED 1:50. MAXIMUM SLOPES OF ADJOINING GUTTERS, ROAD SURFACE, IMMEDIATELY ADJACENT TO THE CURB RAMP, OR ACCESSIBLE ROUTE SHALL NOT EXCEED 1:20. NEW WHEELCHAIR RAMPS SHALL NOT EXCEED A SLOPE OF 1:12. PROVIDE STRIPING AS INDICATED. FLAT WHITE TRAFFIC STRIPING PAINT BY SHERWIN WILLIAMS OR EQUAL.
- △ "NO PARKING" WORDING TO BE MARKED IN 12" TALL LETTERS.

**CITY OF LAKE DALLAS, TEXAS
ORDINANCE NO. 2024-_____**

AN ORDINANCE OF THE CITY OF LAKE DALLAS, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND MAP OF THE CITY OF LAKE DALLAS, TEXAS, AS HERETOFORE AMENDED, BY AMENDING AND RESTATING THE USE AND DEVELOPMENT REGULATIONS OF THE PLANNED DEVELOPMENT ADOPTED AND SET FORTH IN ORDINANCE NO. 2017-14 RELATING TO THE DEVELOPMENT AND USE OF LOT 7R, BLOCK 1, GOTCHER ADDITION ZONED AS PLANNED DEVELOPMENT (PD) DISTRICT WITH A BASE ZONING OF R-1-6000 SINGLE FAMILY DWELLING DISTRICT WITH THE INCLUSION OF A SINGLE-FAMILY DWELLING DISTRICT FOR MINIATURE, TRANSPORTABLE HOUSING (TINY HOUSE PARK);; PROVIDING FOR A CONFLICTS RESOLUTION CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Lake Dallas and the governing body of the City of Lake Dallas, in compliance with the laws of the State of Texas and the ordinances of the City of Lake Dallas, have given requisite notice by publication and otherwise, and after holding due public hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, and in the exercise of its legislative discretion have concluded that the Comprehensive Zoning Ordinance and Map should be amended; and

WHEREAS, having received the recommendation of the Planning and Zoning Commission and the report presented by the City Administration, the City Council of the City of Lake Dallas, Texas, finds that exceptional circumstances affecting the Property exists such that establishment of a planned development district regulating the development of the Property is justified.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAKE DALLAS, TEXAS, THAT:

SECTION 1. ZONING CLASSIFICATION: The Comprehensive Zoning Ordinance and Map of the City of Lake Dallas, Texas (collectively, the Zoning Ordinance”), heretofore duly passed by the governing body of the City of Lake Dallas, as previously amended, be, and the same are hereby amended by amending and restating use and development regulations of the Planned Development adopted and set forth in Section 2 of Ordinance No. 2017-14, relating to the use and development of Lot 7R, Block 1 Gotcher Addition, an addition to the City of Lake Dallas, Denton County, Texas, according to the Minor Replat thereof recorded as Instrument No. 2018-218, Plat Records, Denton County, Texas (commonly known as 206 Gotcher), as depicted in **Exhibit “A”** attached to Ordinance No. 2017-14, being the same property depicted in **Exhibit “A,”** hereto and

incorporated herein by reference (“the Property”) zoned as Planned Development (PD) District with base zoning of R-1-6000 Single Family Dwelling District including a use for Single-Family Dwelling District for Miniature, Transportable Housing (Tiny House Park) subject to the development and use regulations set forth in Section 2 of this ordinance.

SECTION 2. LAND USE AND DEVELOPMENT STANDARDS. The Property shall be developed and used in accordance with the applicable provisions of the R-1-6000 Single Family Dwelling District as set forth in Code of Ordinances, Chapter 122, as amended, (“Zoning Regulations”), subject to the following modifications:

- A. **“Tiny House Park”:** For purposes of this Ordinance, the phrase “Tiny House Park” means a unified development located on the Property configured as a single, undivided lot but on which individual lease pads designated on the Development Plan (hereafter “Pads”), along with common areas and open spaces area established, on which Pads privately owned Tiny Houses may be placed

- B. **Development Plan:** The arrangement of Pads, Tiny Houses, and Community Center on the Property shall be substantially as shown on the Development Plan in **Exhibit “B,”** attached hereto and incorporated herein by reference (“Development Plan”). In no case shall the number of Pads located on the Property exceed thirteen (13).

- C. **“Tiny House” Defined; Size and Construction Standards:** For purposes of this Ordinance, a “Tiny House” is defined as a principal residential dwelling that has a square footage of no less than one hundred (100) square feet and no greater than four hundred (400) square feet, with said dwelling being structurally attached to a transportable chassis, with or without a permanent foundation, capable of being connected to available utilities including plumbing (water and sewer service), mechanical, natural gas, communications, and electrical systems. Tiny Houses constructed or otherwise located on the Property shall be subject to the following:
 - 1. **Minimum Unit Size:** Each Tiny House shall have a minimum gross floor area of not less than one hundred (100) square feet.

 - 2. **Minimum Sleeping Room Size:** In every Tiny House of two or more rooms, every room occupied for sleeping purposes by one occupant shall contain at least thirty-five (35) square feet of floor space.

 - 3. **Width:** Each Tiny House must measure not less than seven feet (7.0’) and not greater than eight and one-half feet (8.5’) in width.

 - 4. **Depth:** Each Tiny House must measure not less than twelve feet (12’) and not greater than forty feet (40’) in length.

 - 5. **Construction Standards:** In addition to the regulations set forth in this Ordinance, every Tiny House located on the Property, whether constructed on the Property on a permanent foundation or constructed off-site and transported to the Property,

shall, at the time of application for a building permit or, if not building permit is required, certificate of occupancy, be constructed in accordance with:

- a. all construction codes relating to residential dwelling units enacted by the City of Lake Dallas that are deemed to be applicable to the structural stability and life safety requirements for a Tiny House as determined by the Building Official or designee; and
- b. Appendix V, Tiny Houses to the International Residential Code, as approved by the International Code Council (ICC) in response to Public Comment File RB168-16, as may be amended from time to time, a copy of which is attached hereto as **Exhibit “C”** and incorporated herein by reference.

6. **Foundation Platforms:** Tiny Houses located on the Property shall be constructed with one of the following foundation platforms:

- a. Mobile, or wheeled, platforms shall be permitted in the form of a trailer vehicle that is registered with the Texas Department of Motor Vehicles (TxDMV). Such dwellings may be towed in-place by means of bumper hitch, frame-towing hitch, fifth-wheel connection, gooseneck type, or other approved towing method.
 - (i) All Tiny Houses with mobile or wheeled platforms shall be:
 - (a) tied down to the ground or pad with an auger/ground anchors when located on a Pad; and
 - (b) constructed with fire-resistant skirting, with the necessary vents, screens, and/or openings that is installed within thirty (30) days after placement of the Tiny House on the Pad.
- b. Conventional foundation platforms, such concrete slab on-grade, pier and beam, perimeter grade beam, and similar permanent foundation types shall be permitted, with such foundations being certified by a registered professional structural engineer as a condition of securing building permit approval.
- c. Recreational vehicles, manufactured homes and mobile homes, as defined in the Zoning Regulations shall be prohibited as dwelling units within the Tiny House Park.

7. **Pad Requirements:**

- a. **Area:** Each Pad shall have an area of no be less than eight hundred (800) square feet and not greater than one thousand (1,000) square feet.

- b. **Coverage:** Maximum coverage of a Tiny House located on a Pad shall not exceed forty-five percent (45%) of the Pad area. Porches and other additions to the Tiny House shall not exceed twenty percent (20%) of the Pad area.
- c. **Width:** Each Pad shall not be less than twenty feet (20') wide and not greater than thirty feet (30') wide.
- d. **Depth:** Each Pad shall be not less than thirty-seven feet (37') in depth and not greater than one hundred feet (100') in depth.

8. **Setbacks:**

- a. **Common parking areas and adjoining property lines:** When located on a Pad, a Tiny House shall be setback not less than five feet (5.0') from any common area designated and used for parking and the property line of the Property; provided, however, porches, awnings and other additions attached to the Tiny House may project a distance of not greater than an additional three feet (3.0') beyond the foregoing setback.
- b. **Common areas and adjoining Pads:** When located on a Pad, a Tiny House shall be setback not less than ten feet (10.0') from the common line between said Pad and an adjacent Pad.

D. Amenities for Tiny House Park: The Tiny House Park shall contain the following common area amenities and facilities, all of which shall be completed and made operational prior to the issuance of the initial Certificate of Occupancy (CO) for the first Tiny House to be located on the Property:

- 1. A centralized common open space area shall be provided substantially as shown on the Development Plan and shall include a public lawn, communal vegetable garden, patios, plazas, picnic areas and related furniture and equipment, and scenic viewing areas.
- 2. Common open space area shall be provided at a ratio of not less than two hundred (200) square feet of open space per each Pad developed on the Property.
- 3. All Tiny Houses shall be adjoining the perimeter boundary of the designated common open space area.
- 4. The common open space area shall not be located inside a storm water detention/retention area, wetland, stream, floodway, or required landscaped buffer area.
- 5. A self-service laundry facility (washateria) shall be provided within the Property for the exclusive use of the residents of the Tiny House Park.

6. Small storage buildings, with the maximum size of eight feet (8.0') in depth, six feet (6.0') in width (8.0' X 6.0'), and seven feet (7.0') in height, shall be permitted at the location shown in the Development Plan.
 - a. No more than one such storage building shall be permitted per dwelling.
 - b. The storage building shall be constructed of similar exterior building materials as used on the Tiny House.
 - c. A building permit shall be required for each storage building constructed.
 - d. Each individual storage building shall be painted and finished in a similar color and wall texture to collectively present a unified visual appearance.
 - e. A three foot (3.0') wide landscaped buffer shall be provided adjacent to the storage building areas at the location shown in the Development Plan. The landscape buffer shall be planted with similar shrubs and vegetation as required in Section 2.G.1. of this Ordinance.
 - f. A six foot (6.0') high wood or vinyl fence, painted and finished in a similar color and surface texture to collectively present a unified visual appearance, shall be permitted within the landscaped buffer.

E. Community Center: A permanent, freestanding structure shall be permitted on the Property at the location marked "House" on the southwest corner of Development Plan and shall be used as a private community/amenity center, clubhouse, business center, administrative business office, meeting room, and/or recreation center (the "Community Center"). The Community Center shall be developed substantially as shown on the site plan in **Exhibit "B-1,"** attached hereto and incorporated herein by reference ("Community Center Plan") and subject to the following:

1. Use of the structure depicted on the Community Center Site Plan as a Community Center shall only be permitted by the owner and operator of the property owner of the Tiny House Park.
2. The Community Center community center shall not be rented, leased, or available for use by the general public. Only (i) residents of the Property, (ii) owners of the property, or (iii) lessors, guests, agents, and licensees of the owner of the Property shall be permitted to use the Community Center.
3. Use of the Community Center shall be limited to a capacity of thirty-five (35) occupants at any single time.

4. Use of the Community Center shall only take place between the hours of 6:00 a.m. and 10:00 p.m. This section E(4) shall not apply to residents of the Tiny House Park.
5. The Community Center shall not be used for any (i) residential or (ii) retail purpose. Sale or consumption of sold goods shall not be permitted at the Community Center.

F. Access and Parking:

1. Parking spaces shall be provided at a ratio of not less than two (2) spaces for each Pad developed on the Property.
2. The Community Center shall have not less than six (6) parking spaces subject to the following:
 - a. A minimum of five (5) parking spaces shall be provided at the designated parking area for the Community Center, as shown on the Community Center Plan.
 - (i) Parking spaces may be angled 60 or 45 degrees; and
 - (ii) Parking spaces shall have a minimum width of nine (9) feet and minimum depth of eighteen (18) feet; and
 - b. A maximum of one (1) parking space shall be provided within the Tiny House Park.
3. All designated parking areas in the Tiny House Park portion of the Property, as depicted on the Development Plan, shall be paved with a decomposed gravel or course gravel surface with a minimum depth of six-inches (6") spread across a compacted and stabilized sub base as approved by the City Engineer, or designee, with such approval to be secured in writing prior to the issuance of a building permit or certificate of occupancy for the first Tiny House located on the Property.
4. All designated parking areas in the Community Center portion of the Property, as depicted on the Community Center Plan, may be paved with a decomposed gravel or course gravel surface with a minimum depth of six-inches (6") spread across a compacted and stabilized sub base as approved by the City Engineer, or designee, with such approval to be secured in writing prior to the issuance of a building permit or certificate of occupancy for the Community Center, subject to the following:
 - a. Driveway aprons shall be paved with concrete;
 - b. ADA parking spaces and ramp shall be paved with concrete,
 - c. Driveway shall have a minimum width of fifteen (15) feet,

- d. The drive aisle width shall have a minimum width of fourteen (14) feet; and
 - e. The location of the entrance driveway may be less than twenty (20) feet from a neighboring driveway.
5. All designated fire lanes shall be paved in either concrete, asphalt, or with a cellular paving grid system with a grass sod cover (grass-crete type) engineered to accommodate the weight of a 65,000-pound fire truck and associated apparatus. Said paving grid system shall be installed upon a compacted and stabilized sub base as approved by the City Engineer, or designee, with such approval to be secured in writing prior to the issuance of a building permit or certificate of occupancy for the first Tiny House located on the Property.
- G. Screening and Fencing:** Prior to issuance of the first certificate of occupancy for any building constructed on the Property (whether a Tiny House or other building), a hedgerow of evergreen shrubs, of a variety that will normally grow to a height of six feet (6.0') or greater, shall be planted along all property lines of the Property, save-and-except for driveways and access openings subject to the following:
- 1. All plants shall have a minimum height at the time of planting of one-half of the required screening height, and shall be irrigated by means of a sprinkler system, or other water system adequate to sustain the health of said evergreen shrubs as determined by the Director of Community Development or designee.
 - 2. Screening requirement. Tree protection requirements shall be enforced during the construction period in accordance with Article XXII, Division 3, of the Lake Dallas Code of Ordinances, as amended.
- H. Tree Preservation:** No building permit for any building to be constructed on the Property (or any certificate of occupancy, if no building permit is required) shall be issued until a Tree Preservation Permit is obtained by making application in accordance with the requirements established in Article XXII, Division 3, of the Lake Dallas Code of Ordinances, as amended.
- I. Property Maintenance Required.** A centralized property management entity shall be created to enforce the restrictions contained in this ordinance and to maintain required centralized common open space areas, screening walls and buffers, parking areas, sidewalks, landscaping, signage, common irrigation and other common areas within the Property.
- J. Tiny House Maintenance.** All Tiny Houses and the Pads shall be maintained in accordance with all applicable property maintenance regulations adopted by the City. Skirting, porches, awnings and other additions, when installed on a Tiny House, shall be maintained in good repair.

K. Certificate of Occupancy Required. No Tiny House constructed or placed on the Property may be occupied as a dwelling unit or for any other purpose until a certificate of occupancy has been granted by the City authorizing commencement of the Tiny House for such use. The foregoing sentence shall apply whether or not a building permit is required to be issued with respect to construction of the Tiny House.

SECTION 3. In the event of an irreconcilable conflict between the provisions of another previously adopted ordinance of the City of Lake Dallas and the provisions of this ordinance as applicable to the use and development of the Property, the provisions of this Ordinance shall be controlling.

SECTION 4. Should any sentence, paragraph, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid the same shall not affect the validity of this ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 5. An offense committed before the effective date of this ordinance is governed by the prior law and the provisions of the Comprehensive Zoning Ordinance, as amended in effect when the offense was committed, and the former law is continued in effect for this purpose.

SECTION 6. Any person, firm or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Lake Dallas, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand (\$2,000.00) Dollars for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 7. This ordinance shall take effect immediately from and after its passage and the publication of the caption as the law and charter in such cases provides.

PASSED AND APPROVED this 12th day of December 2024.

Andi Nolan, Mayor

ATTEST:

Codi Delcambre, City Secretary

APPROVED AS TO FORM:



Joseph J. Gorfida, Jr., City Attorney

EXHIBIT "B-1" DEVELOPMENT PLAN

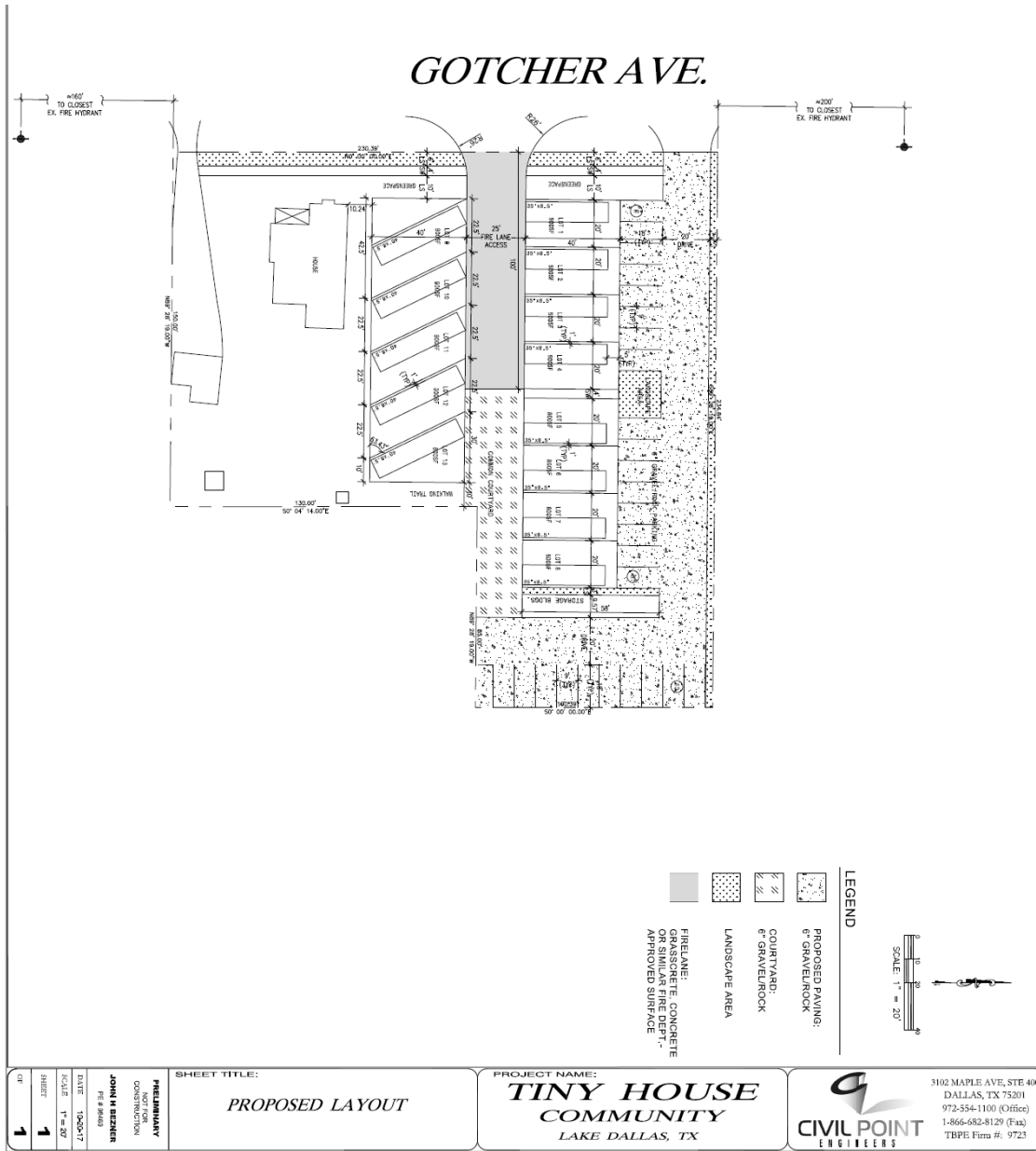
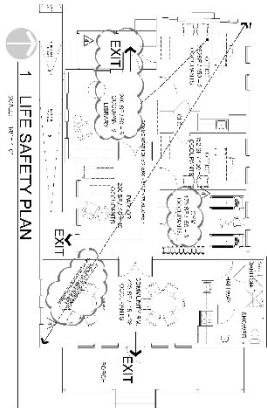


EXHIBIT "B-2" COMMUNITY CENTER PLAN



PROJECT INFORMATION

| | |
|-----------------------------------|--|
| PROJECT USE: | PROJECT MANAGEMENT OFFICE & MEETING SPACE |
| OCCUPANCY TYPE: | A-ASSEMBLY |
| SQUARE FOOTAGE: | FIRST FLOOR: 1,200 SF SECOND FLOOR: 1,200 SF TOTAL: 2,400 SF |
| OCCUPANT LOAD: | 50 OCCUPANTS |
| SECTION ELEVATION: | 2.5' x 11' |
| NUMBER OF BAYS: | 2 BAYS |
| SECTION WIDTH: | 27' PROVIDED |
| ALLOWED COMMON PARTS OF BUILDING: | 7' TYPICAL SPAN PERIOD |
| MINIMUM CLEARANCE: | 8' 0" |
| MINIMUM OCCUPANCY: | NO |
| MINIMUM HEADROOM: | NO |
| MINIMUM CLEARANCE: | NO |
| CONSTRUCTION TYPE: | VIA IBC SPRINKLERED |

SPECIAL INSPECTION SCHEDULE

| | |
|------------|---------------------|
| CONCRETE | REINFORCED CONCRETE |
| STEEL | REINFORCED CONCRETE |
| MECHANICAL | REINFORCED CONCRETE |
| ELECTRICAL | REINFORCED CONCRETE |
| PLUMBING | REINFORCED CONCRETE |
| MECHANICAL | REINFORCED CONCRETE |
| ELECTRICAL | REINFORCED CONCRETE |
| PLUMBING | REINFORCED CONCRETE |

REQUIREMENTS: GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SPECIAL INSPECTIONS ARE COMPLETED IN ACCORDANCE WITH THE SPECIAL INSPECTION SCHEDULE & THE SPECIAL INSPECTION SCHEDULE.

- ### GENERAL NOTES
- ALL CONSTRUCTION SHALL MEET THE CITY AND REQUIRE CONSTRUCTION PERMITS WITH CONDITIONS APPLYING TO THE WORK AND CONSTRUCTION PERMITS SHALL BE MADE IN ACCORDANCE WITH THE CITY OF DALLAS.
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DALLAS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DALLAS.
 - ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE ARCHITECT AND THE CITY OF DALLAS.
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LAKE DALLAS TINY HOME VILLAGE

Community Center Addition

206 Gotcher Avenue
Lake Dallas, Texas 75065

REVISION #6
OCTOBER 11, 2024

GENERAL INFORMATION

PROJECT TEAM

OWNER: URBAN RETRO
PO BOX 751
LAKE DALLAS, TX 75065
(972) 950-8940
TERRY LANTRIP
THRASHER WORKS, LLC
351 W JEFFERSON BLVD.
SUITE 601
DALLAS, TEXAS 75208
(214) 253-3488
KAREN THRASHER, AIA

VICINITY MAP

PROJECT LOCATION: 206 GOTCHER AVENUE, LAKE DALLAS, TEXAS 75065

INDEX OF DRAWINGS

| NUMBER | SHEET NAME | DATE |
|--------|---------------------------------------|------------|
| A00 | COVER SHEET | 7.28.2024 |
| A01 | ARCHITECTURAL | 7.31.2024 |
| A02 | ACCESSIBLE, TV STANDARDS & PARTITIONS | 8.1.2024 |
| A03 | SITE PLAN & DETAILS | 8.14.2024 |
| A04 | FLOOR PLANS & SCHEDULES | 8.22.2024 |
| A05 | LIGHTING SCHEDULE, ROOM PLANS | 9.24.2024 |
| A06 | FOUNDATION PLAN | 10.11.2024 |
| A07 | EXTERIOR ELEVATIONS & SECTION | |
| A08 | INTERIOR DETAILS & ELEVATIONS | |

LAKE DALLAS TINY HOME VILLAGE

Community Center Addition

206 Gotcher Avenue
Lake Dallas, Texas 75065

ARCHITECT: URBAN RETRO
PO BOX 751
LAKE DALLAS, TX 75065
(972) 950-8940
TERRY LANTRIP
THRASHER WORKS, LLC
351 W JEFFERSON BLVD.
SUITE 601
DALLAS, TEXAS 75208
(214) 253-3488
KAREN THRASHER, AIA

DATE: 10/11/2024

PROJECT: LAKE DALLAS TINY HOME VILLAGE COMMUNITY CENTER ADDITION

SCALE: AS SHOWN

COVER SHEET

A0.0

EXHIBIT “C”
APPENDIX V, TINY HOUSES, TO THE INTERNATIONAL RESIDENTIAL CODE
as approved by the International Code Council (ICC)

APPENDIX V
TINY HOUSES

SECTION AV101
GENERAL

AV101.1 Scope. This appendix shall be applicable to *tiny houses* used as single *dwelling units*. *Tiny houses* shall comply with the *International Residential Code* except as otherwise stated in this appendix.

SECTION AV102
DEFINITIONS

AV102.1 General. The following words and terms shall, for the purposes of this appendix, have the meanings shown herein. Refer to Chapter 2 of the *International Residential Code* for general definitions.

EGRESS ROOF ACCESS WINDOW. A skylight or roof window designed and installed to satisfy the *emergency escape and rescue opening* requirements in Section R310.2.

LANDING PLATFORM. A landing measuring two treads deep and two risers tall, provided as the top step of a stairway accessing a *loft*.

LOFT. Any floor level located above the main floor and open to it on at least one side, with a *ceiling height* less than 6 feet 8 inches (2032 mm), complying with the area, access, and guard requirements of Section AV104, and used as a living or sleeping space.

TINY HOUSE. A *dwelling* which is 400 or less square feet (37 m²) in floor area excluding *lofts*.

SECTION AV103
CEILING
HEIGHT

AV103.1 Minimum ceiling height. *Habitable space* and hallways in *tiny houses* shall have a *ceiling height* not less than 6 feet 8 inches (2032 mm). Bathrooms, toilet rooms, and kitchens shall have a *ceiling height* not less than 6 feet 4 inches (1930 mm). No obstructions shall extend below these minimum ceiling heights including beams, girders, ducts, lighting, or other obstructions.

Exception: *Ceiling heights* in *lofts* are permitted to be less than 6 foot 8 inches (2032

mm).

SECTION AV104 LOFTS

AV104.1 Minimum loft areas. *Lofts* used as a sleeping or living space shall meet the minimum area and dimension requirements of Sections AV104.1.1 through AV104.1.3.

AV104.1.1 Minimum area. *Lofts* shall have a floor area of not less than 35 square feet (3.25 m²)

AV104.1.2 Minimum dimensions. *Lofts* shall be not less than 5 feet (1524 mm) in any horizontal dimension.

AV104.1.3 Height effect on loft area. Portions of a *loft* with a sloping ceiling measuring less than 3 feet (914 mm) from the finished floor to the finished ceiling shall not be considered as contributing to the minimum required area for the loft.

Exception: Under gable roofs with a minimum slope of 6:12, portions of a *loft* with a sloping ceiling measuring less than 16 inches (406 mm) from the finished floor to the finished ceiling shall not be considered as contributing to the minimum required area for the loft.

AV104.2 Loft access. The access to and primary egress from *lofts* shall be of any type described in Sections AV104.2.1 through AV104.2.4

AV104.2.1 Stairways. Stairways accessing *lofts* shall comply with this code or with Sections AV104.2.1.1 through AV104.2.1.5

AV104.2.1.1 Width. Stairways accessing a *loft* shall not be less than 17 inches (432 mm) in clear width at all points at or above the permitted handrail height. The minimum width below the handrail shall not be less than 20 inches (508 mm).

AV104.2.1.2 Headroom. The headroom in stairways accessing a *loft* shall not be less than 6 feet 2 inches (1880 mm) measured vertically from the sloped line connecting the tread nosings in the middle of the tread width.

Exception: The headroom for *landing platforms* shall not be less than 4 feet 6 inches (1372 mm).

AV.104.2.1.3 Treads and Risers. Risers for stairs accessing a *loft* shall be a minimum of 7 inches (178 mm) and a maximum of 12 inches (305 mm). Tread depth and riser height shall be calculated with the following formulas:

Tread depth = 20 inches (508 mm) minus $\frac{4}{3}$ riser height
OR
Riser height = 15 inches (381 mm) minus $\frac{3}{4}$ tread depth

Exception: *Landing platforms* shall measure two treads deep and two risers tall.

AV104.2.1.4 Handrails. Handrails shall comply with Section R311.7.8.

AV104.2.1.5 Stairway guards. *Guards* at open sides of stairways shall comply with Section R312.1.

AV104.2.2 Ladders. Ladders accessing *lofts* shall comply with Sections AV104.2.2.1 and AV104.2.2.2

AV104.2.2.1 Size and capacity. Ladders accessing *lofts* shall have 12 inches (305 mm) minimum rung width and 10 inches (254 mm) to 14 inch (356 mm) spacing between rungs.

Ladders shall be capable of supporting a 200 pound (75 kg) load on any rung. Rung spacing shall be uniform within 3/8-inch (9.5 mm).

AV104.2.2.2 Incline. Ladders shall be installed at 70 to 80 degrees from horizontal.

AV104.2.3 Alternating tread devices. *Alternating tread devices* accessing *lofts* shall comply with Sections R311.7.11.1 and R311.7.11.2. The clear width at and below the handrails shall be not less than 20 inches (508 mm).

AV104.2.4 Ships ladders. *Ships ladders* accessing *lofts* shall comply with Sections R311.7.12.1 and R311.7.12.2. The clear width at and below the handrails shall be not less than 20 inches (508 mm).

AV104.3 Loft guards. Loft *guards* shall be located along the open side(s) of *lofts* located more than 30 inches (762 mm) above the main floor. Loft *guards* shall be not less than 36 inches (914 mm) in height or one-half the clear height to the ceiling, whichever is less.

SECTION AV105 EMERGENCY ESCAPE AND RESCUE OPENINGS

AV105.1 General. *Tiny houses* shall meet the requirements of Section R310 for *emergency escape and rescue openings*.

Exception: *Egress roof access windows* in *lofts* used as sleeping rooms shall

be deemed to meet the requirements of Section R310 where installed with the bottom of their opening no more than 44 inches (1118 mm) above the loft floor.