



**City of Lake Dallas
Joint Work Session
City Council
and
Planning and Zoning Commission
Regular Meeting
Conducted by Video Conference
Thursday, August 20, 2020 at 7:00 p.m.
Agenda**

Pursuant to Governor Greg Abbott's temporary suspension of various provisions of the Texas Open Meetings Act, and in an effort to protect the health and safety of the public, members of the public this meeting is being conducted by video conference. Members of the public who desire to only listen to proceedings of the meeting may dial the following toll-free number and, when prompted, enter the following Meeting ID #, beginning at 6:40 p.m. to join the meeting. Any person wishing to view the video conference may go to the Internet link shown below and enter the password shown.

Toll Free Number: 877 853 5257

Meeting ID#: 893 9864 9008

Video Conference:<https://us02web.zoom.us/j/89398649008?pwd=ZThFYWVhbjQ3c0Vjd3BnNWNqZDVzdz09>

Password: 824721

Any person wishing to provide comments during Item 4 – Citizen Agenda & Public Comment, or on any matter to be considered on this agenda, should email such comments to the City Secretary at cdelembre@lakedallas.com by 3:00 p.m. on Thursday, August 20, 2020.

- 1. Call to Order and Determination of Quorum**
- 2. Pledges of Allegiance**
- 3. Approval of Minutes for the Meeting of June 18, 2020**
- 4. Citizen Agenda & Public Comment**

An opportunity for citizens to address the Planning & Zoning Commission on matters which are not scheduled for consideration by the Planning & Zoning Commission. To address the Planning & Zoning Commission, please send your comments to the City Secretary before 3:00 p.m. on the date of this meeting. Comments sent by e-mail will be read aloud so that they are included in the recorded record of the meeting. In keeping with the Council's procedures for limiting speaking time to five (5) minutes per speaker,

any written comments provided for this item should be kept short enough so that they can be read aloud in five (5) minutes or less.

The Texas Open Meeting Act prohibits deliberation by the Planning & Zoning Commission of any subject which is not on the posted agenda, therefore the Planning & Zoning Commission will not be able to discuss or take any action on items brought up during the citizen presentations that are not on the agenda.

5. **Consider and make a recommendation on a Preliminary Plat for Falcon Place, a residential subdivision on approximately 14.828 acres of land being legally described as Lots 1 & 2, Block A, Martin-Kennedy Addition, City of Lake Dallas, Denton County, Texas.**
6. **Consider and make a recommendation on a Final Plat for Falcon Place, a residential subdivision on approximately 14.828 acres of land being legally described as Lots 1 & 2, Block A, Martin-Kennedy Addition, City of Lake Dallas, Denton County, Texas.**
7. **Review and Discuss the addition of Use Charts to the City of Lake Dallas Code of Ordinances.**
8. **Adjournment of Joint Work Session**

I certify that the above notice of this meeting was posted on the bulletin board at City Hall of the City of Lake Dallas, Texas on or before August 17, 2020 at 4:30 p.m.



Codi Delcambre, City Secretary

If you plan to attend this public meeting telephonically and you have a disability that requires special arrangements at this meeting, please contact City Secretary's Office at (940) 497-2226 ext. 102 or fax (940) 497-4485 at least two (2) working days prior to the meeting so that appropriate arrangements can be made.

**State of Texas
County of Denton
City of Lake Dallas**

**Minutes: Joint training and Work Session City Council and Planning and Zoning
Commission Regular Meeting for June 18, 2020**

The Lake Dallas City Council met in a Special called Work session meeting and the Planning and Zoning Commission met in a regular called meeting on June 18, 2020 via video conference with notice of the meeting given as required by Title 5, Chapter 551.041 of the Texas Government Code. Mayor Barnhart call the meeting to order at 7:09 p.m.

1. Roll Call: City Council

Michael Barnhart
Megan Ray
Cheryl McClain
Charlie Price
Andi Nolan

Mayor
Council Member Place 1
Council Member Place 3
Council Member Place 4
Council Member Place 5

Absent: Brian Bailey. Council Member Place 2

Roll Call: Planning and Zoning Commission

Ben Gilbert
Melody Parlett
Jayme Potter

Chairperson, Member Place 1
Member Place 2
Member Place 5

Absent: Lester Rayburn, Member Place 3

Staff Present: John Cabrales, City Manager, Codi Delcambre, City Secretary, Angie Manglaris, Director of Development Services, Dave Gattis, Planning Consultant, and Glenda Cowling, Permit Technician

2. Pledge of Allegiance

Chairperson Ben Gilbert led the pledges.

3. Approval of minutes for the Meeting of May 21, 2020

Motion: to approve the minutes of the Meeting of May 21, 2020 was made by Member Parlett and seconded by Chairperson Ben Gilbert.

Ayes: Chairperson Ben Gilbert, Member Melody Parlett and Member Jayme Potter

Nays:

Motion Passed 3-0

4. Citizen Agenda & Public Comment

An opportunity for citizens to address the Planning and Zoning Commission on matters which are not scheduled for consideration by the Planning and Zoning Commission. In order to address the Planning and Zoning Commission, please complete a Public Meeting Appearance Card and present it to the Permit Tech prior to the start of the meeting. The Texas Open Meeting Act prohibits deliberation by the Planning and Zoning Commission of any subject which is not on the posted agenda, therefore the Planning and Zoning Commission will not be able to discuss or take any action on items brought up during the citizen presentations. Citizen presentation will be limited to five (5) minutes per person.

No public input was received.

5. Training on Zoning, Planned Developments and Special Use Permits.

Mr. Dave Gattis, Planning Consultant, provided the Commission with training, covering various areas of planning, zoning and land use regulations.

Mr. Gattis gave an overview of the role of zoning in municipalities. Mr. Gattis covered the following topics related to zoning:

1. Zoning is intended to protect the health, safety and morals of municipalities.
2. Zoning may be used to preserve historical, cultural and architectural areas in municipalities.
3. Zoning applications do not have a timeframe for approval, unlike other development applications.
4. There are various factors to consider in zoning cases including: current use of the property, proposed use of the property, zoning of adjacent properties, and the proposed uses in the Future Land Use Plan.

At 8:10 p.m., the Planning and Zoning Commission experienced technical difficulties and a quorum was no longer present. The Planning and Zoning Commission portion of the Joint Training and Workshop adjourned at this time.

6. Adjournment: 8:10 pm.

Passed and approved on the 20th day of August 2020

Ben Gilbert, Chairperson

Glenda Cowling, Permit Tech



**P&Z COMMISSION
AGENDA MEMO**

Prepared By: Angie Manglaris, Director of Development Services

August 20, 2020

Consider and make a recommendation on a Preliminary Plat for Falcon Place, a residential subdivision on approximately 14.828 acres of land being legally described as Lots 1 & 2, Block A, Martin-Kennedy Addition, City of Lake Dallas, Denton County, Texas.

DESCRIPTION:

Consider and make a recommendation on a Preliminary Plat for Falcon Place, a residential subdivision on approximately 14.828 acres of land being legally described as Lots 1 & 2, Block A, Martin-Kennedy Addition, City of Lake Dallas, Denton County, Texas.

EXISTING CONDITION OF PROPERTY:

The property was recently rezoned to Planned Development District for Residential Uses. The southeast portion of the property is currently developed with a single-family residence. The remainder of the property consists of open pasture with supporting agricultural structures. There are mature trees throughout the site and a detention pond.

ADJACENT ZONING AND LAND USES:

North: Single- family residences—Zoned R-1-7200
South: Thousand Oaks Subdivision—Zoned R-1-7200
East: Shady Shores Road Right of Way
West: Thousand Oaks Subdivision—Zoned R-1-7200

BACKGROUND INFORMATION:

In February of 2020, The City of Lake Dallas Planning and Zoning Commission considered a Zoning Change Request from R-1-7000 to R-PD Residential Planned Development District. The Commission voted to recommend approval of the Zoning Change Request with the following conditions:

- Maximum building height allowed reduced from 40 feet to 35 feet.
- Rear setback be adjusted to 15 feet.
- Five-foot sidewalks be constructed throughout the development within a 2-year time frame from when the first house is completed.
- An eight-foot (8') wooden privacy fence be constructed between the project and the Thousand Oak subdivision.

On May 28, 2020, the City Council of the City of Lake Dallas considered and approved an Ordinance approving a Planned Development for Falcon Place. The approved Ordinance took the recommendations of the Planning and Zoning Commission into account.

The Applicant, the Skorburg Company, has submitted Preliminary and Final Plats to be reviewed by the Planning and Zoning Commission and the City Council as part of the next steps in the development cycle. The Applicant is running the Preliminary and Final Plat Applications concurrently. The Final Plat is a separate item for consideration on this meeting's Agenda.

CONFORMANCE WITH COMPREHENSIVE PLAN

The recently-adopted Lake Dallas Vision 2030 Comprehensive Plan shows the property as "Single Family Residential." The Planned Development conforms to the Comprehensive Plan.

PLANNING ANALYSIS

Conformance with adopted Ordinance

Per the approved Planned Development Regulations (Ordinance No. 2020-09), the proposed Preliminary Plat consists of forty-nine (49) 50' lots and twenty-four (24) 60' lots on 10.86 acres of land. The development has three (3) common area lots to be owned and maintained by the Homeowner's Association (HOA) on .741 Acres of land and there is 3.227 acres of land dedicated to right-of-way. The development sits on a total of 14.828 acres of land.

The Applicant is responsible for the installation of five-foot (5') sidewalks adjacent to Shady Shores Road and Common Area A2. The remainder of the sidewalks are to be installed by each homebuilder at the time of new home construction.

Per the approved Planned Development, at least one (1) subdivision entry sign shall be designed and constructed as generally shown on the Landscape Plan submitted and approved with the Zoning Application. The final location of any entry feature shall be reviewed and approved by the Director of Development Services at the time of Preliminary Plat Application. The Applicant has satisfied this requirement and has designated two areas for monument entryway features: one monument sign is to be placed at the southwest corner of Luna Lane and Shady Shores Road and the other is to be situated at the southwest corner of Briarwood Lane and Shady Shores Road.

The Applicant has provided ten-foot (10') wide common area lots for landscaping with five-foot (5') wide wall maintenance easements along Shady Shores Road as required by the approved Planned Development and Site Plan. A screening wall not less than six-feet (6') in height shall be situated within the wall maintenance easement. All turf, trees, and features situated within the common lot areas and wall maintenance easements shall be owned and maintained by the HOA.

Tree Preservation:

The Applicant has submitted a detailed tree survey as part of their application. The tree survey indicates there are 262 trees on site. Of these trees, 90 are being removed and are not required to be mitigated based on Chapter 122, Article XXII. Screening, Landscaping and Tree Preservation of the Lake Dallas Code of Ordinances.

There are 25 trees to be removed in which mitigation is required. The total amount of caliper inches required to be mitigated is 377. The applicant will be planting trees onsite to achieve mitigation compliance. As part of the approved Planned Development Regulations, no fewer than one (1) tree not

less than tree (3) caliper inches in diameter at the time of planting shall be planted in the front yard of each residential lot. The full tree preservation and landscaping plans are attached to this report.

Drainage

As part of the development process, the Applicant will be situating the detention pond at the northeast portion of the property, adjacent to Shady Shores Road. The Applicant has submitted a downstream assessment detailing the proposed drainage of the property and the plans for the detention pond. HALFF and Associates, City Engineer, has been working with the Applicant in review of these plans. Construction on the site shall not move forward until the civil plans have been approved and signed off on by the City Engineer.

FINANCIAL CONSIDERATION:

Once Falcon Place is built out, the property will generate additional property and sales taxes for the City of Lake Dallas. The new development would also require additional costs in police, fire and other city services. The City has not made a detailed fiscal assessment of the impact of the development.

ISSUES TO RESOLVE:

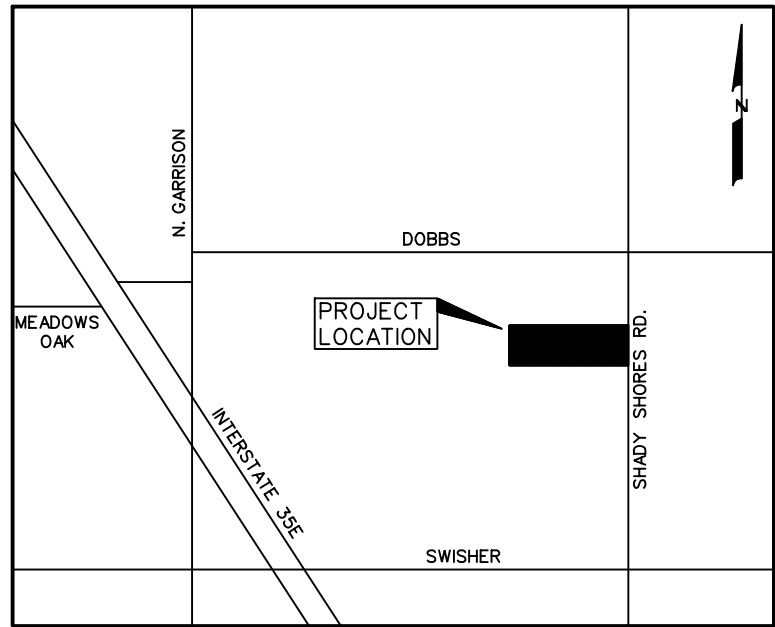
The Development Review Committee has determined the preliminary plat meets the requirements of Chapter 94 "Subdivisions" and the approved Planned Development. City Staff and the City Engineer recommend approving the Preliminary Plat as presented contingent upon approval of the Downstream Assessment.

RECOMMENDED MOTION:

I move that the Planning and Zoning Commission recommend that the City Council approve the proposed Preliminary Plat of Lots 1-37, Block A, Lots 1-36, Block B, Falcon Place contingent upon approval of the Downstream Assessment.

Attachments:

- Preliminary Plat Package
- Title Survey
- Tree Preservation Plan
- Landscape Plans
- HALFF and Associates Review Letter



- NOTES
- Bearings are referenced to Martin-Kennedy Addition, an addition to the City of Lake Dallas, as described in Doc. No. 2013-46, in the Plat Records of Denton County, Texas.
 - All lot lines are radial or perpendicular to the street unless otherwise noted by bearing.
 - 1/2" iron rods with "CORWIN ENGR. INC." caps set at all boundary corners, block corners, points of curvature, points of tangency, and angle points in public right-of-way unless otherwise noted.
 - B.L. - Building Line.
U.E. - Utility Easements.
C.M. - Controlling Monument.
W.M.E. - Wall Maintenance Easement.
 - All common area lots shall be dedicated to and maintained by the HOA.
 - Common area lots and all amenities within (turf, trees, benches) shall be dedicated to and maintained by HOA.
 - Wall maintenance easement and screening within shall be dedicated to and maintained by HOA.
 - The tree preservation plan submitted to Development Services Department. Developer and Home Building will comply with the approved tree preservation plan.
 - No flood plain exists on site.
 - Water service and sanitary sewer service to be provided by Lake Cities Municipal Utility Authority. Lake Cities Municipal Utility Authority shall have the right to operate and maintain the sanitary sewer and waterlines and appurtenances within the sanitary sewer and waterline easements located in Common Area A1, A2 & B1. Restoration of disturbed areas, repair, or replacement of temporary and permanent structures shall be full responsibility of the HOA within the sanitary sewer and waterline easements.

CITY OF LAKE DALLAS
APPROVED BY CITY COUNCIL

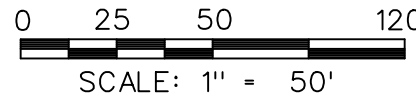
MAYOR

ATTESTED BY CITY SECRETARY

DATE OF APPROVAL

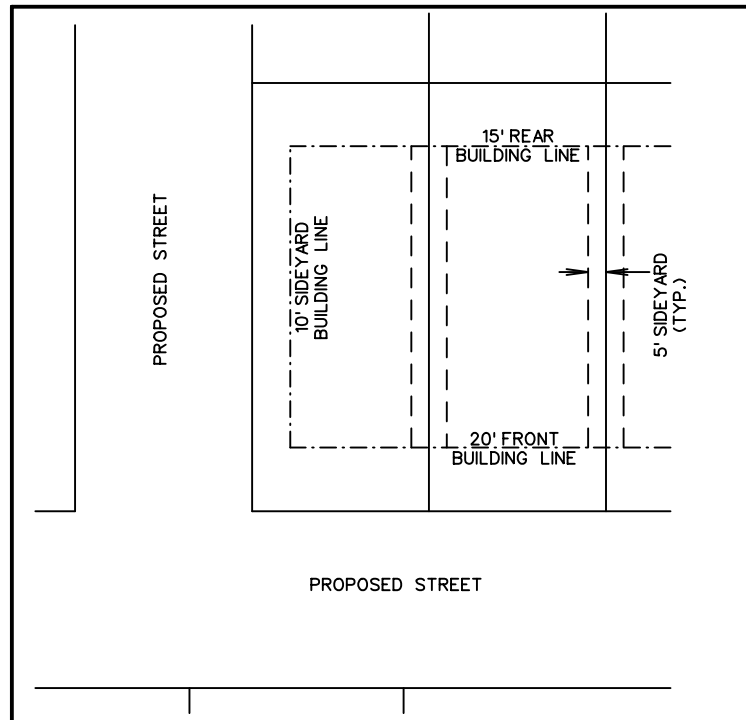
CURVE TABLE

CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	BEARING
1.	164°39'37"	50.00'	143.69'	99.11'	N45°05'02"E
2.	16°49'09"	50.00'	142.09'	98.88'	S44°54'58"E

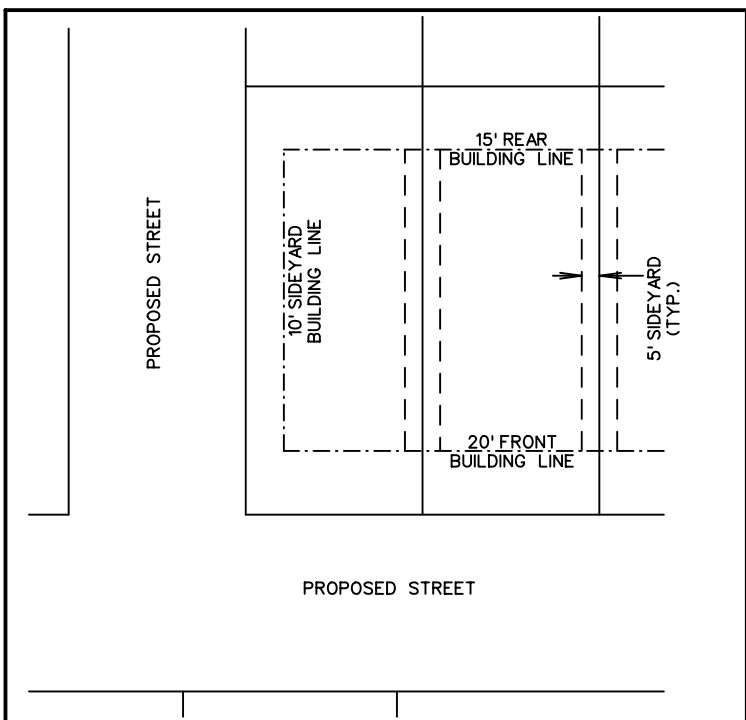


LINE TABLE

LINE NO.	BEARING	DISTANCE
1.	N 45°05'02" E	21.04'
2.	S 44°54'58" E	21.39'



TYPICAL DETAIL FOR 50' LOTS
BLOCK A, LOTS 25-37 & BLOCK B
TOTAL LOTS 49
N.T.S.



TYPICAL DETAIL FOR 60' LOTS
BLOCK A, LOTS 1-24
TOTAL LOTS 24
N.T.S.

SUMMARY TABLE

TOTAL 50' LOTS -	49
TOTAL 60' LOTS -	24
TOTAL COMMON AREA LOTS -	3
TOTAL COMMON AREA ACREAGE -	0.741 AC.
TOTAL R.O.W. ACREAGE -	3.227 AC.
TOTAL RESIDENTIAL ACREAGE -	10.86 AC.

FALCON PLACE

PRELIMINARY PLAT
14.828 ACRES
LOTS 1-37, BLOCK A
LOTS 1-36, BLOCK B
73 LOTS
BEING A REPLAT OF
LOTS 1 & 2, BLOCK A
MARTIN-KENNEDY ADDITION
OUT OF THE
T. WHITE JR. SURVEY, ABSTRACT NO. 1376
IN THE
CITY OF LAKE DALLAS
DENTON COUNTY, TEXAS

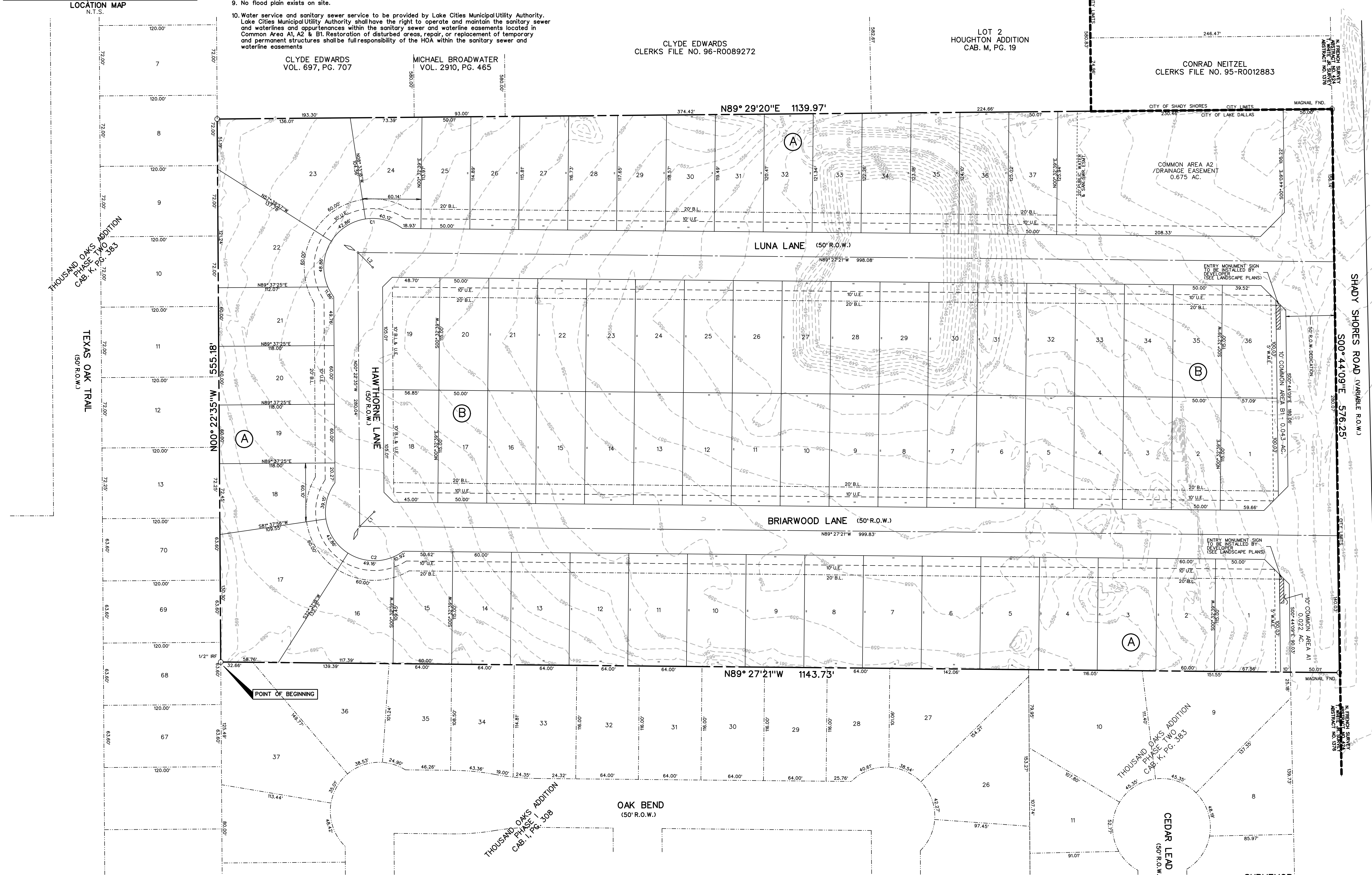
OWNERS
ROBERT AKL
707 N. SHADY SHORES ROAD
LAKE DALLAS, TEXAS 75067

ASHUM REALTY II, LLC.
PO BOX 1569
LAKE DALLAS, TEXAS 75065

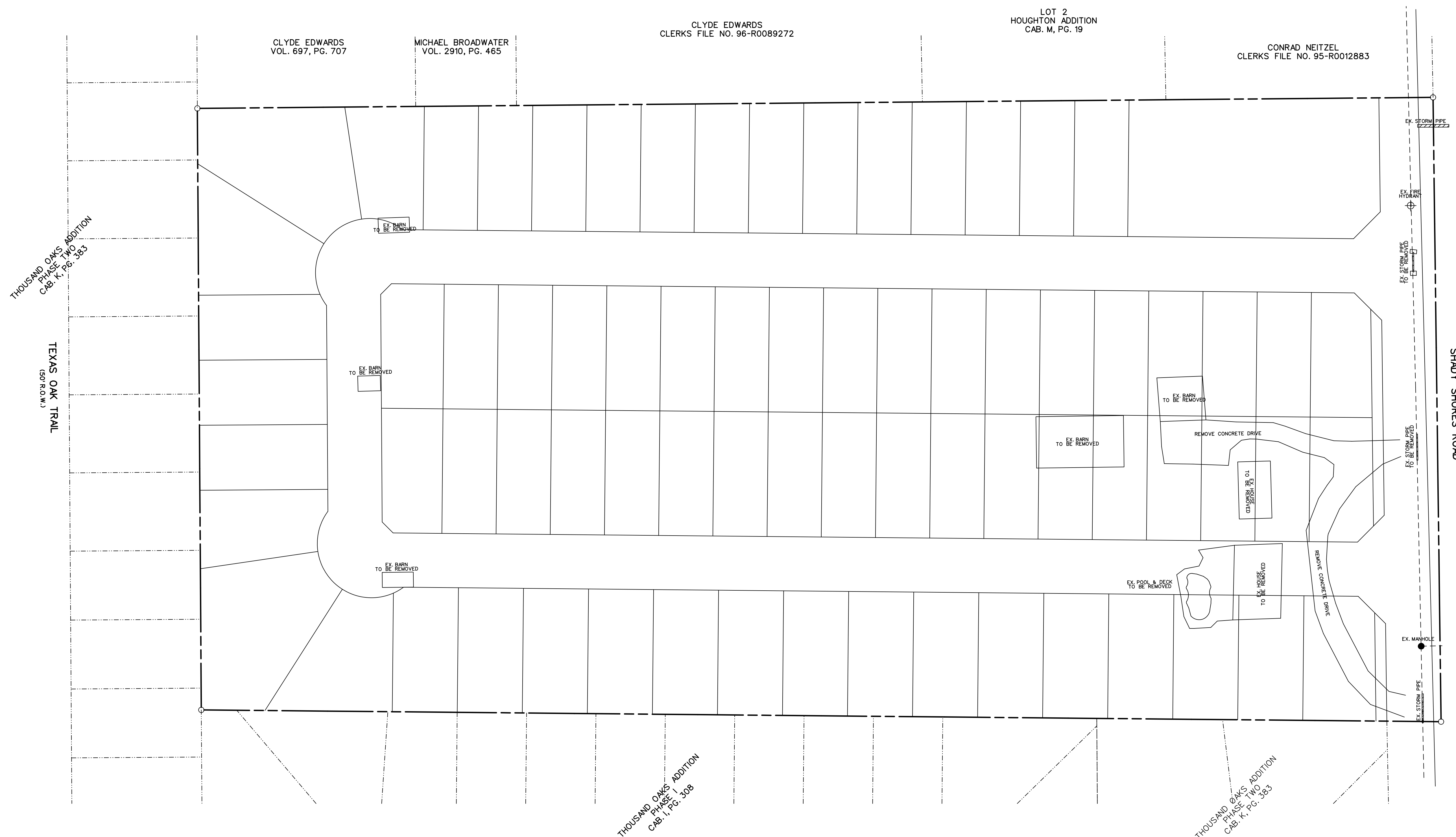
APPLICANT
SKORBURG COMPANY, INC.
8214 WESTCHESTER DRIVE, SUITE 710
DALLAS, TEXAS 75225
214-522-4945

SURVEYOR
CORWIN ENGINEERING, INC.
TBPLS *10031700
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

JULY 2020 SCALE: 1"=50'



0 25 50 120
SCALE: 1" = 50'



FALCON PLACE

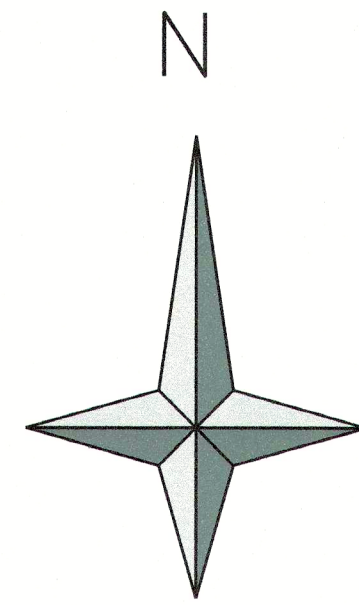
EXISTING CONDITIONS
14.828 ACRES
LOTS 1-37, BLOCK A
LOTS 1-36, BLOCK B
73 LOTS
BEING A REPLAT OF
LOTS 1 & 2, BLOCK A
MARTIN-KENNEDY ADDITION
OUT OF THE
T. WHITE JR. SURVEY, ABSTRACT NO. 1376
IN THE
CITY OF LAKE DALLAS
DENTON COUNTY, TEXAS

SHEET 2 OF 2

OWNERS
ROBERT AKL
707 N. SHADY SHORES ROAD
LAKE DALLAS, TEXAS 75067
ASHUM REALTY II, LLC.
PO BOX 1569
LAKE DALLAS, TEXAS 75065
APPLICANT
SKORBURG COMPANY, INC.
8214 WESTCHESTER DRIVE, SUITE 710
DALLAS, TEXAS 75225
214-522-4945

SURVEYOR
CORWIN ENGINEERING, INC.
TBPLS *10031700
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200
JULY 2020

SCALE: 1"=50'



Scale: 1"=60'

Being a tract of land situated in the Thomas White Jr. Survey, Abstract No. 1376, in the City of Lake Dallas, Denton County, Texas, being all of Lots 1 and 2, Block A of Martin-Kennedy Addition, recorded in Document No. 2013-46, in the Official Public Records of Denton County, Texas (O.P.R.D.C.T.), being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod (controlling monument) found at the southwest corner of said Martin-Kennedy Addition and an interior corner of Block B of Thousand Oaks Addition, Phase I, recorded in Volume I, Page 308, in the Plat Records of Denton County, Texas (P.R.D.C.T.);

THENCE North 00 degrees 22 minutes 35 seconds West, with the west line of said Martin-Kennedy Addition and the east line of said Block B, at a distance of 147.30 feet passing the northeast corner of said Block B and the southeast corner of Block D of Thousand Oaks Addition, Phase Two, recorded in Volume K, Page 383, P.R.D.C.T., continuing a total distance of 555.18 feet to the northwest corner of said Martin-Kennedy Addition and the southwest corner of a tract of land described in deed to Clyde E. Edwards and wife, Jo Dee Edwards, Vol. 697, Page 707, of the Deed Records of Denton County, Texas (D.R.D.C.T.), from which a 3/8-inch iron rod found bears North 79 degrees 25 minutes East 2.2 feet;

THENCE North 89 degrees 29 minutes 20 seconds East, with the north line of said Martin-Kennedy Addition, a distance of 1,139.97 feet to a Magonail set at the northeast corner of said Martin-Kennedy Addition, being in the approximate center of Shady Shores Road (by use and occupation);

THENCE South 00 degrees 44 minutes 09 seconds East, with the east line of said Martin-Kennedy Addition and said approximate center of Shady Shores Road, a distance of 576.25 feet to a Magonail set at the southeast corner of said Martin-Kennedy Addition and the northeast corner of Block H of said Thousand Oaks Addition, Phase Two;

THENCE North 89 degrees 27 minutes 21 seconds West, with the south line of said Martin-Kennedy Addition and the north line of said Thousand Oaks Addition, Phase Two, at a distance of 317.62 feet passing a 1/2-inch iron rod found at the northwest corner of said Thousand Oaks Addition, Phase Two and the northeast corner of said Thousand Oaks Addition, Phase I, continuing a total distance of 1,143.73 feet to the POINT OF BEGINNING and containing 14.8278 acres of land, of which a portion lies within a publicly used roadway

CERTIFICATION

I do hereby certify that this survey was prepared from an on the ground survey under my supervision on May 30, 2020. This survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category I-A, Condition II Survey.

Patrick J. Baldasaro 4-2-20

Patrick J. Baldasaro
Registered Professional Land Surveyor 5504



LEGEND	
	POWER POLE
	OVERHEAD ELECTRIC
	FENCELINE
	CONTROLLING MONUMENT
	IRON ROD FOUND
	1/2 INCH IRON ROD SET
	WIRED PJB SURVEYING CAP
	SANITARY SEWER MANHOLE
	FIRE HYDRANT
	IRRIGATION CONTROL VALVE
	WATER VALVE
	WATER METER
	GAS METER
	SIGN
	TELEPHONE PEDESTAL
	LIGHT POLE
	AC UNIT
	TREE

Notes:

- Bearing are based on the Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983.
- Survey was prepared with the benefit of a Title Commitment issued by First American Title Insurance Company, GF No. PL19-25400 effective date December 16, 2019.

BOUNDARY SURVEY
OF A
14.8278 ACRE TRACT
BEING
LOT 1 & 2 BLOCK A
MARTIN-KENNEDY ADDITION
OUT OF THE
THOMAS WHITE JR. SURVEY, ABST. NO. 1376
IN THE
CITY OF LAKE DALLAS
DENTON COUNTY, TEXAS

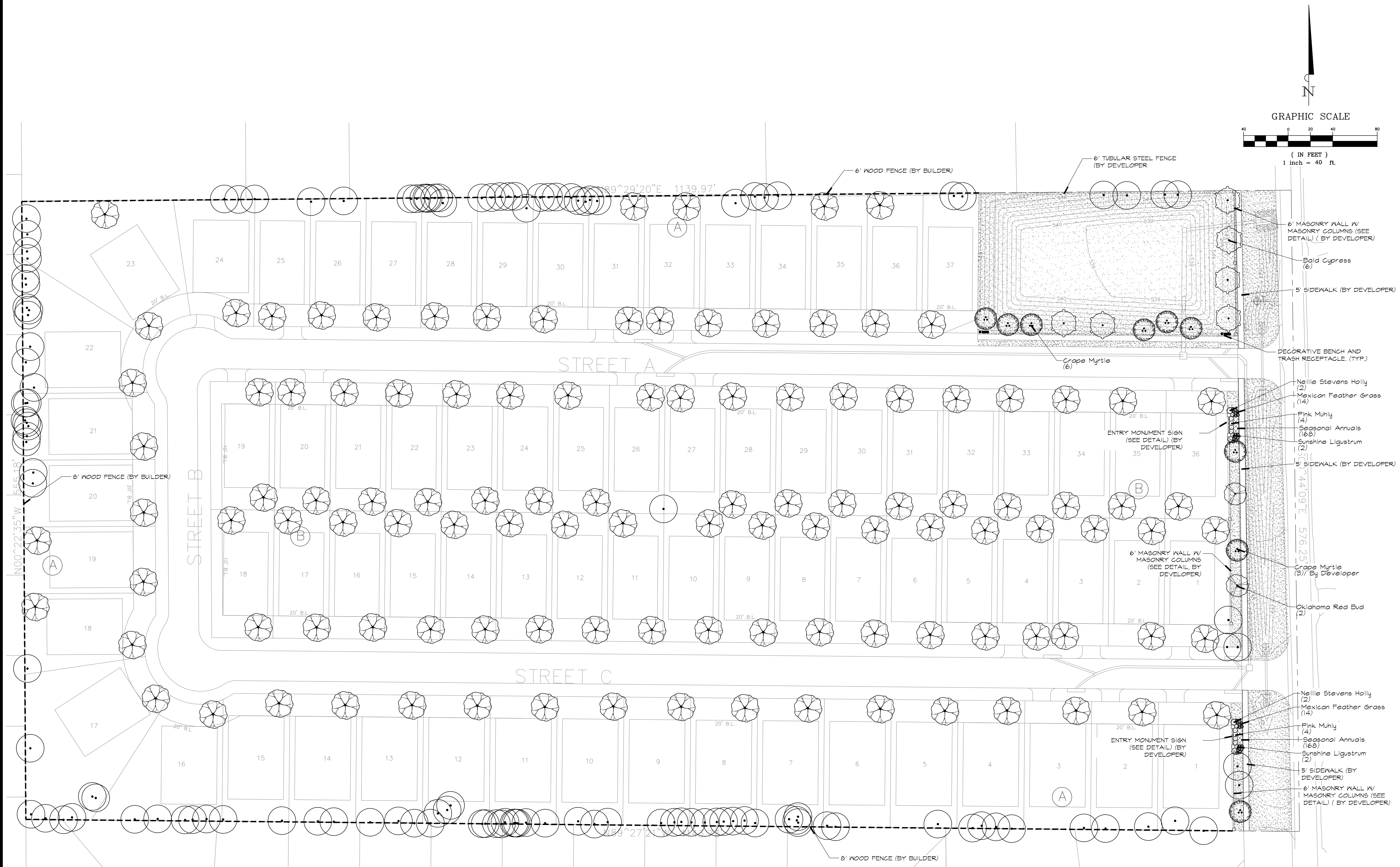
PREPARED BY
PJB SURVEYING, LLC
TBPLS NO. 10194303
200 W. BELMONT, SUITE D
ALLEN, TEXAS 75013
972-649-6669

TREE ID NO.	TREE TYPE	TREE CAL. SIZE	TREE CONDITION	PRESERVED OR REMOVED	MITIGATION PERCENTAGE	MITIGATION REQUIRED	NOTES
1850	AMERICAN ELM	21 M.T.	POOR	REMOVED	0%	0	DIE BACK
1851	AMERICAN ELM	30 M.T.	GOOD	REMOVED	0%	0	R.O.W.
1852	LIVE OAK	12	GOOD	REMOVED	0%	0	R.O.W.
1853	LIVE OAK	13	GOOD	REMOVED	0%	0	R.O.W.
1854	LIVE OAK	12	GOOD	REMOVED	0%	0	R.O.W.
1855	LIVE OAK	14	GOOD	REMOVED	0%	0	R.O.W.
1856	LIVE OAK	13	GOOD	REMOVED	0%	0	R.O.W.
1857	LIVE OAK	12	GOOD	REMOVED	0%	0	R.O.W.
1858	LIVE OAK	14	GOOD	REMOVED	0%	0	R.O.W.
1859	LIVE OAK	10	GOOD	REMOVED	0%	0	R.O.W.
1860	LIVE OAK	17	GOOD	REMOVED	0%	0	R.O.W.
1861	LOBLOLLY PINE	11	GOOD	REMOVED	0%	0	R.O.W.
1862	LOBLOLLY PINE	19	GOOD	REMOVED	100%	19	
1863	LOBLOLLY PINE	21	GOOD	REMOVED	100%	21	
1864	LOBLOLLY PINE	14	GOOD	REMOVED	100%	14	
1865	LOBLOLLY PINE	20	GOOD	REMOVED	100%	20	
1866	LOBLOLLY PINE	15	GOOD	REMOVED	100%	15	
1867	LOBLOLLY PINE	23	GOOD	REMOVED	100%	23	
1868	LOBLOLLY PINE	19	GOOD	REMOVED	100%	19	
1869	LOBLOLLY PINE	16	GOOD	REMOVED	100%	16	
1870	LOBLOLLY PINE	29	GOOD	REMOVED	100%	29	
1871	LOBLOLLY PINE	29	GOOD	REMOVED	100%	29	
1872	LIVE OAK	9 M.T.	GOOD	REMOVED	0%	0	FAD
1873	LIVE OAK	13	GOOD	REMOVED	0%	0	FAD
1874	BRADFORD PEAR	7	GOOD	REMOVED	0%	0	FAD
1875	LIVE OAK	18	GOOD	REMOVED	0%	0	FAD
1876	POST OAK	24 M.T.	GOOD	SAVED			
1877	POST OAK	13	GOOD	REMOVED	0%	0	FAD
1878	POST OAK	19	GOOD	SAVED			
1879	POST OAK	16	GOOD	SAVED			
1880	POST OAK	18	GOOD	REMOVED	100%	18	
1881	POST OAK	22	GOOD	REMOVED	100%	22	
1882	POST OAK	16	GOOD	REMOVED	100%	16	
1883	CEDAR ELM	13	TRUNK DAMAGE	REMOVED	0%	0	FAD
1884	LIVE OAK	7	GOOD	SAVED			
1885	POST OAK	26 M.T.	GOOD	SAVED			
1886	HACKBERRY	7	GOOD	REMOVED	100%	7	
1887	HACKBERRY	12	GOOD	REMOVED	100%	12	
1888	HACKBERRY	16	GOOD	REMOVED	100%	16	
1889	HACKBERRY	18	GOOD	SAVED			
1890	POST OAK	17	GOOD	REMOVED	0%	0	FAD
1891	POST OAK	18	GOOD	REMOVED	0%	0	FAD
1892	POST OAK	24 M.T.	GOOD	REMOVED	0%	0	FAD
1893	HACKBERRY	23	GOOD	SAVED			
1894	HACKBERRY	5	GOOD	SAVED			
1895	HACKBERRY	9	GOOD	SAVED			
1896	LIVE OAK	10	GOOD	REMOVED	0%	0	FAD
1897	POST OAK	11	GOOD	REMOVED	100%	11	
1898	POST OAK	15	GOOD	REMOVED	0%	0	FAD
1899	POST OAK	19 M.T.	GOOD	REMOVED	0%	0	FAD
1900	POST OAK	16	GOOD	REMOVED	0%	0	FAD
1901	POST OAK	21	GOOD	REMOVED	0%	0	FAD
1902	POST OAK	11	GOOD	REMOVED	0%	0	FAD
1906	POST OAK	13	GOOD	REMOVED	0%	0	FAD
1907	POST OAK	20	GOOD	REMOVED	0%	0	FAD
1908	POST OAK	22 M.T.	GOOD	REMOVED	0%	0	FAD
1909	YAUPOH HOLLY	8 M.T.	GOOD	REMOVED	0%	0	FAD
1910	POST OAK	33 M.T.	GOOD	REMOVED	0%	0	FAD
1911	POST OAK	19	GOOD	REMOVED	0%	0	FAD
1912	HACKBERRY	15	GOOD	SAVED			
1913	HACKBERRY	15	GOOD	SAVED			
1914	HACKBERRY	6	GOOD	SAVED			
1915	HACKBERRY	10	GOOD	SAVED			
1916	HACKBERRY	19	GOOD	REMOVED	100%	19	
1917	HACKBERRY	12	GOOD	SAVED			
1918	HACKBERRY	22 M.T.	GOOD	SAVED			
1919	HACKBERRY	15	GOOD	SAVED			
TOTAL COLUMN MITIGATION REQUIRED						326	

TREE ID NO.	TREE TYPE	TREE CAL. SIZE	TREE CONDITION	PRESERVED OR REMOVED	MITIGATION PERCENTAGE	MITIGATION REQUIRED	NOTES
1920	HACKBERRY	6	GOOD	SAVED			
1921	CHITTAM WOOD	10	GOOD	SAVED			
1922	HACKBERRY	15	GOOD	SAVED			
1923	BOIS D' ARC	32 M.T.	GOOD	SAVED			
1924	HACKBERRY	5 M.T.	GOOD	REMOVED	0%	0	R.O.W.
1925	HACKBERRY	3	GOOD	REMOVED	0%	0	R.O.W.
1926	LIVE OAK	18	GOOD	REMOVED	0%	0	FAD
1927	LACEBARK ELM	3	GOOD	REMOVED	0%	0	R.O.W.
1928	LACEBARK ELM	3	GOOD	REMOVED	0%	0	R.O.W.
1929	LACEBARK ELM	7	GOOD	REMOVED	0%	0	R.O.W.
1930	POST OAK	6	GOOD	REMOVED	0%	0	R.O.W.
1931	LACEBARK ELM	7	GOOD	REMOVED	100%	7	
1932	POST OAK	6	GOOD	REMOVED	0%	0	FAD
1933	LACEBARK ELM	9	GOOD	REMOVED	0%	0	FAD
1934	LIVE OAK	9	GOOD	REMOVED	0%	0	FAD
1935	LIVE OAK	10	GOOD	REMOVED	0%	0	FAD
1936	RED OAK	6	GOOD	REMOVED	0%	0	FAD
1937	LIVE OAK	23	GOOD	REMOVED	0%	0	FAD
1938	LIVE OAK	14	GOOD	REMOVED	0%	0	FAD
1939	LIVE OAK	23	GOOD	REMOVED	0%	0	FAD
1940	RED OAK	18 M.T.	GOOD	REMOVED	0%	0	FAD
1941	POST OAK	29	GOOD	REMOVED	0%	0	R.O.W.
1942	POST OAK	18	GOOD	REMOVED	0%	0	R.O.W.
1943	POST OAK	19 M.T.	GOOD	SAVED			
1944	CHITTAM WOOD	6	GOOD	SAVED			
1945	PECAN	6	GOOD	REMOVED	100%	6	
1946	POST OAK	8	GOOD	SAVED			
1947	AMERICAN ELM	10	GOOD	SAVED			
1948	HACKBERRY	11	TRUNK DAMAGE	SAVED			
1949	POST OAK	19	GOOD	REMOVED	0%	0	DRAINAGE ESMT.
1950	POST OAK	22	TRUNK DAMAGE	REMOVED	0%	0	TRUNK DAMAGE ESMT.
1951	POST OAK	27 M.T.	GOOD	REMOVED	0%	0	DRAINAGE ESMT.
1952	BLACK JACK	24 M.T.	GOOD	REMOVED	0%	0	DRAINAGE ESMT.
1953	POST OAK	22 M.T.	GOOD	REMOVED	0%	0	R.O.W.
1954	POST OAK	13	GOOD	REMOVED	0%	0	R.O.W.
1955	POST OAK	18	GOOD	REMOVED	0%	0	R.O.W.
1956	POST OAK	17	GOOD	REMOVED	0%	0	R.O.W.
1957	POST OAK	19	GOOD	REMOVED	0%	0	R.O.W.
1958	POST OAK	23 M.T.	GOOD	REMOVED	0%	0	R.O.W.
1959	POST OAK	24	GOOD	REMOVED	0%	0	R.O.W.
1960	HACKBERRY	11	TRUNK DAMAGE	REMOVED	0%	0	TRUNK DAMAGE
1961	HACKBERRY	20	GOOD	REMOVED	0%	0	FAD
1962	BLACK JACK	6	GOOD	SAVED			
1963	PECAN	4	GOOD	SAVED			
1964	POST OAK	16	GOOD	REMOVED	0%	0	R.O.W.
1965	HACKBERRY	13	GOOD	REMOVED	0%	0	R.O.W.
1966	HACKBERRY	11	GOOD	REMOVED	0%	0	R.O.W.
1967	HACKBERRY	10	GOOD	REMOVED	0%	0	R.O.W.
1968	AMERICAN ELM	6 M.T.	GOOD	REMOVED	0%	0	FAD
1969	AMERICAN ELM	6	GOOD	REMOVED	0%	0	FAD
1970	HACKBERRY	8 M.T.	GOOD	REMOVED	0%	0	FAD
1971	PECAN	6	GOOD	REMOVED	0%	0	FAD
1972	HACKBERRY	10 M.T.	GOOD	REMOVED	0%	0	FAD
1973	AMERICAN ELM	17	GOOD	REMOVED	0%	0	FAD
1974	AMERICAN ELM	11	GOOD	REMOVED	100%	11	
1975	AMERICAN ELM	11	GOOD	REMOVED	0%	0	R.O.W.
1976	HACKBERRY	6	GOOD	REMOVED	0%	0	R.O.W.
1977	AMERICAN ELM	8	GOOD	REMOVED	0%	0	R.O.W.
1978	AMERICAN ELM	9	GOOD	REMOVED	0%	0	R.O.W.
1979	CEDAR	9 M.T.	GOOD	REMOVED	0%	0	R.O.W.
1980	CEDAR	8	GOOD	REMOVED	0%	0	FAD
1981	CEDAR	9	GOOD	REMOVED	0%	0	FAD
1982	AMERICAN ELM	22 M.T.	GOOD	REMOVED	0%	0	FAD
1983	CEDAR	10	GOOD	REMOVED	0%	0	FAD
1984	BRADFORD PEAR	8	GOOD	REMOVED	0%	0	FAD
1985	CEDAR	9	GOOD	REMOVED	0%	0	FAD
1986	CEDAR	13	GOOD	REMOVED	0%	0	FAD
1987	CEDAR	13	GOOD	REMOVED	0%	0	FAD
1988	CEDAR	8	GOOD	REMOVED	0%	0	FAD
1989	HACKBERRY	5	GOOD	REMOVED	100%	5	
TOTAL COLUMN MITIGATION REQUIRED						29	

TREE ID NO.	TREE TYPE	TREE CAL. SIZE	TREE CONDITION	PRESERVED OR REMOVED	MITIGATION PERCENTAGE	MITIGATION REQUIRED	NOTES
1990	AMERICAN ELM	7	GOOD	REMOVED	100%	7	
1991	CEDAR	10	GOOD	SAVED			
1992	CEDAR	9	GOOD	SAVED			
1993	CEDAR	9	GOOD	SAVED			
1994	CEDAR	8	GOOD	SAVED			
1995	CEDAR	10	GOOD	SAVED			
1996	CEDAR	11	GOOD	SAVED			
1997	CEDAR	11	GOOD	SAVED			
1998	BLACK JACK	11	GOOD	SAVED			
1999	POST OAK	23	GOOD	SAVED			
2000	POST OAK	18	GOOD	SAVED			
2001	HACKBERRY	18	GOOD	SAVED			
2002	HACKBERRY	9	GOOD	SAVED			
2003	HACKBERRY	33	GOOD	SAVED			
2004	HACKBERRY	6	GOOD	SAVED			
2005	CHITTAM WOOD	16 M.T.	GOOD	SAVED			
2006	HACKBERRY	23	GOOD	SAVED			
2007	BOIS D' ARC	18	GOOD	SAVED			
2008	HACKBERRY	16	GOOD	SAVED			
2009	HACKBERRY	15	GOOD	SAVED			
2010	HACKBERRY	10	GOOD	SAVED			
2011	HACKBERRY	15	GOOD	SAVED			
2012	HACKBERRY	14	GOOD	SAVED			
2013	HACKBERRY	12	GOOD	SAVED			
2014	HACKBERRY	17	GOOD	SAVED			
2015	HACKBERRY	18	GOOD	SAVED			
2016	HACKBERRY	12	GOOD	SAVED			
2017	HACKBERRY	3	GOOD	SAVED			
2018	HACKBERRY	12	GOOD	SAVED			
2019	HACKBERRY	16	GOOD	SAVED			
2020	HACKBERRY	14	GOOD	SAVED			
2021	HACKBERRY	18 M.T.	GOOD	SAVED			
2022	HACKBERRY	14	GOOD	SAVED			
2023	HACKBERRY	5	GOOD	SAVED			
2024	HACKBERRY	10	GOOD	SAVED			
2025	HACKBERRY	14	GOOD	SAVED			
2026	HACKBERRY	12	GOOD	SAVED			
2027	HACKBERRY	11	GOOD	SAVED			
2028	HACKBERRY	11	GOOD	SAVED			
2029	HACKBERRY	12	GOOD	SAVED			
2030	HACKBERRY	6	GOOD	SAVED			
2031	HACKBERRY	13	GOOD	SAVED			
2032	HACKBERRY	12	GOOD	SAVED			
2033	HACKBERRY	20 M.T.	GOOD	SAVED			
2034	HACKBERRY	13	GOOD	SAVED			
2035	BLACK JACK	27 M.T.	GOOD	SAVED			
2036	HACKBERRY	9	TRUNK DAMAGE	SAVED			
2037	PECAN	24 M.T.	GOOD	SAVED			
2038	HACKBERRY	4	GOOD	REMOVED	100%	4	
2039	CEDAR	7	GOOD	SAVED			
2040	CEDAR	11 M.T.	GOOD	SAVED			
2041	PECAN	18	GOOD	SAVED			
2042	HACKBERRY	22	TRUNK DAMAGE	SAVED			
2043	HACKBERRY	13	TRUNK DAMAGE	SAVED			
2044	HACKBERRY	11	TRUNK DAMAGE	SAVED			
2045	HACKBERRY	22	TRUNK DAMAGE	SAVED			
2046	HACKBERRY	14	TRUNK DAMAGE	SAVED			
2047	HACKBERRY	4	GOOD	SAVED			
2048	HACKBERRY	28	GOOD	SAVED			
2049	CEDAR	15	GOOD	SAVED			
2050	HACKBERRY	19 M.T.	GOOD	SAVED			
2051	CEDAR ELM	18	GOOD	SAVED			
2052	HACKBERRY	14	GOOD	SAVED			
2053	HACKBERRY	21 M.T.	GOOD	SAVED			
2054	HACKBERRY	15	GOOD	SAVED			
2055	PECAN	29 M.T.	GOOD	SAVED			
2056	CEDAR	6	GOOD	SAVED			
2057	HACKBERRY	5	GOOD	SAVED			
2058	CHITTAM WOOD	5	GOOD	SAVED			
2059	CEDAR	13	TRUNK DAMAGE	SAVED			
TOTAL COLUMN MITIGATION REQUIRED						11	

TREE ID NO.	TREE TYPE	TREE CAL. SIZE	TREE CONDITION
-------------	-----------	----------------	----------------



Know what's below.
Call before you dig.
(@ least 48 hours prior to digging)

[illegible]

PRELIMINARY
FOR REVIEW ONLY
These documents are for
Design Review and not
intended for
Construction, Bidding or
Permit Purposes. They
were prepared by, or
under the supervision of:
Drew J. Dubocq
L.A.#3141
07/16/2020

GENERAL NOTES :

1. Locate all utilities prior to digging. Contractor shall be responsible for all damage incurred by his/her work.

2. Contractor shall advise the Owner and Landscape Architect of any condition found on site which prohibits installation as shown on these plans.

3. If a discrepancy between drawings and plant schedule is found, the drawings shall take precedent over the plant schedule.

4. Plant material shall comply with all sizing and grading standards of the latest edition of 'American Standard for Nursery Stock.'

5. Contractor shall stake out tree locations and bed configuration for approval by Owner prior to installation.

6. Substitutions shall not be made without prior written authorization from the Owner or Landscape Architect.

7. All disturbed areas not indicated as planting beds shall be sodded by Contractor to provide an established turf area.

8. Contractor shall remove reasonable amount of ¾" or larger stones, dead roots, detritus and other undesirable material from existing soil.

9. If rocks are encountered, remove to a depth of 3" and add 3" of friable fertile topsoil to all sodded areas. Contractor to ensure that site is graded according to the Engineer's grading plan.

10. Lawn areas shall have 3" minimum friable topsoil and be treated with fertilizer applied at a rate of 20 pounds per 1,000 square feet.

11. Soil preparation for planting beds shall be as follows:

- 3" of organic compost

- 20 pounds of organic fertilizer / 1,000 sf of bed area

- Till bed to a depth of 6" to 8"

- Check soil acidity. Soil acidity should range from 5.0 to 7.0 pH. Regulate if necessary.

12. All plant beds shall be top dressed with a minimum 3" of fine shredded hardwood mulch.

13. Provide steel edge between all plant beds and lawn areas unless indicated differently on plans.

14. Tree planting pits shall be cleared of undesirable material and backfilled with prepared top soil. Place 1" of compost and 3" of shredded hardwood mulch on top of root ball.

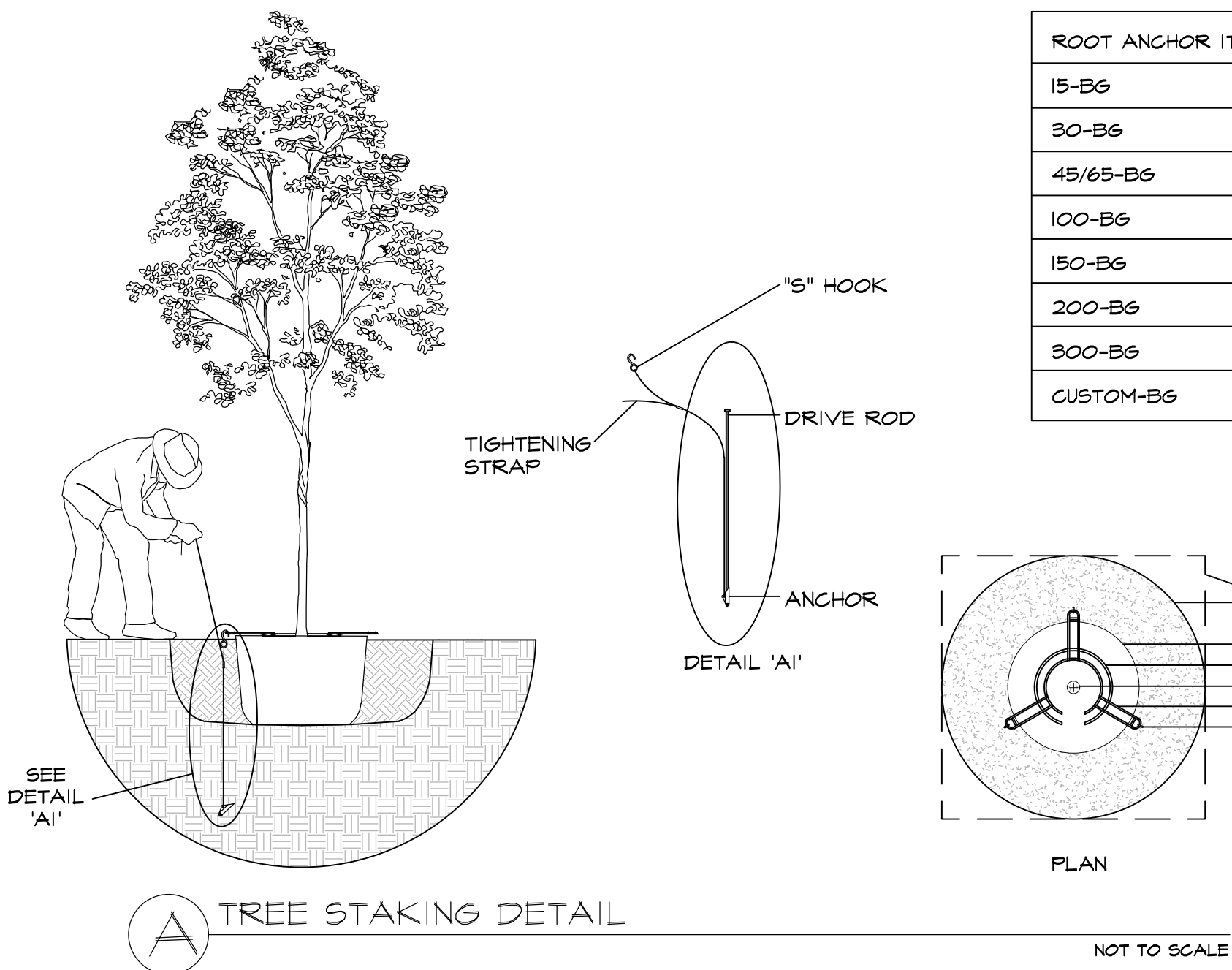
15. The Contractor will be held liable for any damage caused to trees due to improper staking methods, including absence of staking throughout the warranty period.

16. Trees shall be planted at least 2.5 feet from any right-of-way line, curb, walk, and outside all utility easements.

17. Trees shall be planted at least 8 feet from any public utility line where possible. In the event this is not possible, Contractor shall install a root barrier, per the detail(s) noted on this sheet.

18. Trees overhanging walks and parking areas shall have a clear trunk height of 7 feet from finish surface grade.

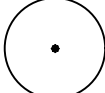
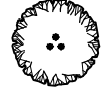
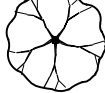
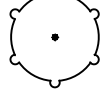
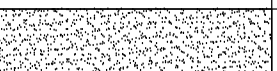
19. Contractor shall warranty plant material to remain alive and healthy for a period of one year after the final acceptance. All plant material shall be maintained in a healthy condition in accordance with the season. Dead, damaged or destroyed plant material shall be replaced in kind within thirty days. Warranty shall not include damage for loss of plant material due to natural causes, acts of vandalism or negligence on the part of the owner.
20. Landscape areas shall be kept free of trash, litter and weeds.
21. An automatic irrigation system shall be provided to maintain all landscape areas. Overspray on streets is prohibited.
22. Installing contractor to maintain landscaping for 30 days from owner occupancy to establish plants and grass, mowing and trimming to be included.
23. All areas disturbed by construction shall be fine graded and re-established by sod. These areas shall be irrigated and maintained until permanent stand of grass is achieved 100% coverage. This is to include all areas to the back of curb around the property.
24. Any hardwood mulched beds on site shall have permeable weed mat installed prior to plant material and mulch being installed.
25. All bedding areas with ground cover (Asian Jasmine, Wintercreeper, etc.) shall be top dressed with hardwood mulch until ground cover has covered area completely.
26. Any switch gear devices, electrical transformers, telephone pedestals, and hvac units located on the property are to be screened. If these devices have been altered from the most recent plans, the contractor is to verify placement of these utilities and contact Landscape Architect for plant material specifications and placement.
27. Landscape contractor shall not place topsoil or mulch above brick ledge of the building and shall not block weep holes on the building.
28. If the grades on site at the time the landscape contractor is set to begin work does not allow the brick ledge and weep holes to remain uncovered, it is the landscape contractor's responsibility to notify the owner or general contractor immediately.



NOTES:

1. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
2. EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
3. REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP HALF OF ROOT BALL.
4. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 8" INTO PLANTING HOLE.

B TREE PLANTING DETAIL NOT TO SCALE

PLANT_SCHEDULE						
TREES	QTY	BOTANICAL / COMMON NAME	CONT	GAL	SIZE	NOTES
	2	Cercis reniformis 'Oklahoma' / Oklahoma Red Bud	30 GAL.	3"	6'-8'	Full, Matching, Symmetrical
	12T	Existing Tree To Remain	N/A			
	9	Lagerstroemia indica 'Tuscarora' / Grape Myrtle	30 GAL	3"	6'-8'	Full, Matching, Symmetrical
	115	Residential lot tree (Red Oak, Live Oak, Cedar Elm, or Chinese Pistache)	45 GAL.	3"	10'-12'	Full, Matching, Symmetrical
	6	Taxodium distichum / Bald Cypress	45 GAL.	3"	10'-12'	Full, Matching, Symmetrical
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING	NOTES
	4	Ilex x 'Nellie R Stevens' / Nellie Stevens Holly	15 GAL.	48" HT	PER PLAN	Full, Matching, Symmetrical
	4	Ligustrum sinense 'Sunshine' / Sunshine Ligustrum	3 GAL.	24" HT	PER PLAN	Full, Matching, Symmetrical
	8	Muhlenbergia capillaris / Pink Muhly	3 GAL	24" HT	PER PLAN	Full, Matching, Symmetrical
	28	Nassella tenuissima 'Pony Tails' / Mexican Feather Grass	1 GAL	12" HT	PER PLAN	Full, Matching, Symmetrical
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	NOTES			
	51,265 sf	Cynodon dactylon 'Tif 419' / Bermuda Grass	Sod or Seed per City allowance			
	336	Seasonal Annuals	4" pots, 8' o.c., triangular spacing.			

ROOT ANCHOR ITEM#	ROOT BALL & CONTAINER SIZE	ANCHOR INSTALLATION DEPTH	QUANTITY & ANCHOR SIZE
15-B6	10 / 15 Gallon or 17" root ball	12 - 18" Minimum Depth	3 - V68 Anchors
30-B6	20 / 34 Gallon or 22" root ball	18 - 24" Minimum Depth	3 - V68 Anchors
45/65-B6	45 / 65 Gallon or 27-30" root ball	24 - 30" Minimum Depth	3 - V68 Anchors
100-B6	95 / 100 Gallon or 36" root ball	30 - 36" Minimum Depth	3 - V68 Anchors
150-B6	150 Gallon or 42" root ball	48" Minimum Depth	3 - V68 Anchors
200-B6	200 Gallon or 48" root ball	48" Minimum Depth	3 - V88 Anchors
300-B6	300 Gallon or 58" root ball	48" Minimum Depth	3 - V88 Anchors
CUSTOM-B6	Root Balls larger than 60"	TBD	

STEP 1:

- Set tree in planting pit.

Place anchor with ring side down against top of root ball.

Center root anchor's inner ring(s) around trunk of tree.

Align drive rod as close as possible to outside edge of u-bracket.

STEP 2:

- Drive anchor straight down into undisturbed subbase soil.

See chart for recommended depths per tree size.

STEP 3:

- Remove drive rod.

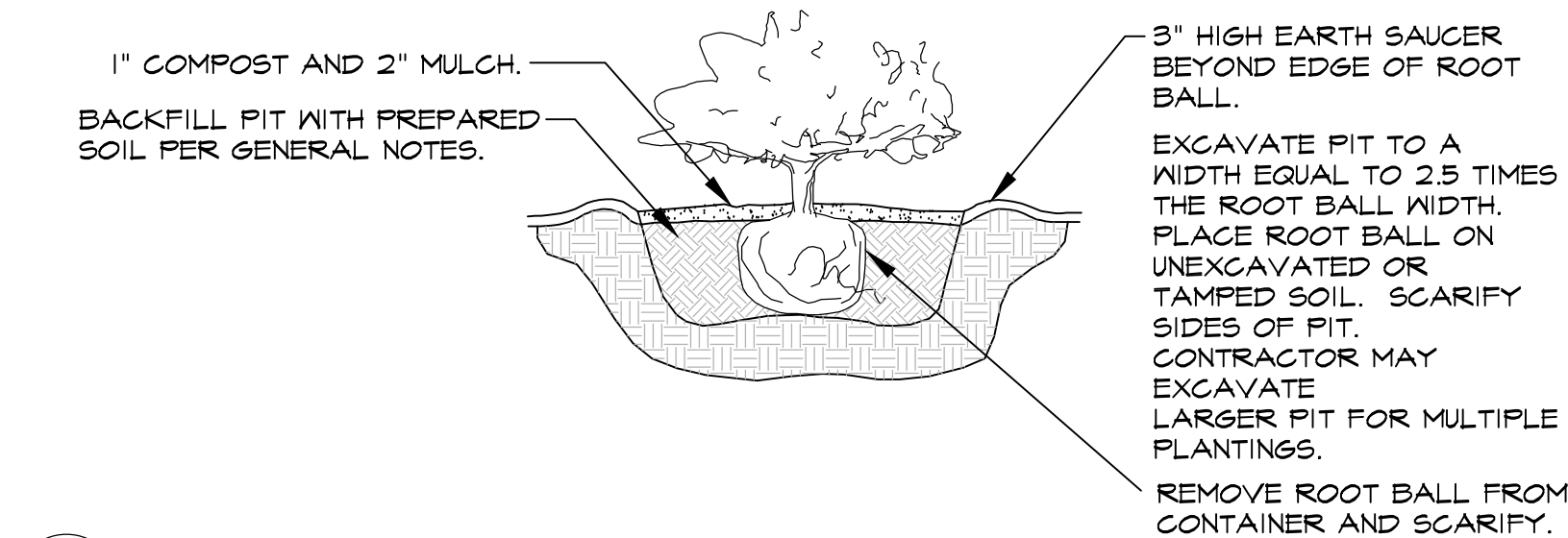
Repeat steps 1 & 2 for all three (3) anchor locations.

Full back on strap approximately 3" for the v-68 anchor, or 6" to 7" for the v-88 anchor to set anchor into a horizontal or locked position. A fulcrum may be required to assist in setting the anchor.

Place "S" hook over the end of the u-bracket.

Full strap up vertically until root anchor rings bite into the top of the root ball and u-brackets are setting flush on top of the root ball.

Tie excess strap off to the u-bracket allowing enough remaining strap to adjust tree, if necessary.



C SHRUB PLANTING DETAIL NOT TO SCALE

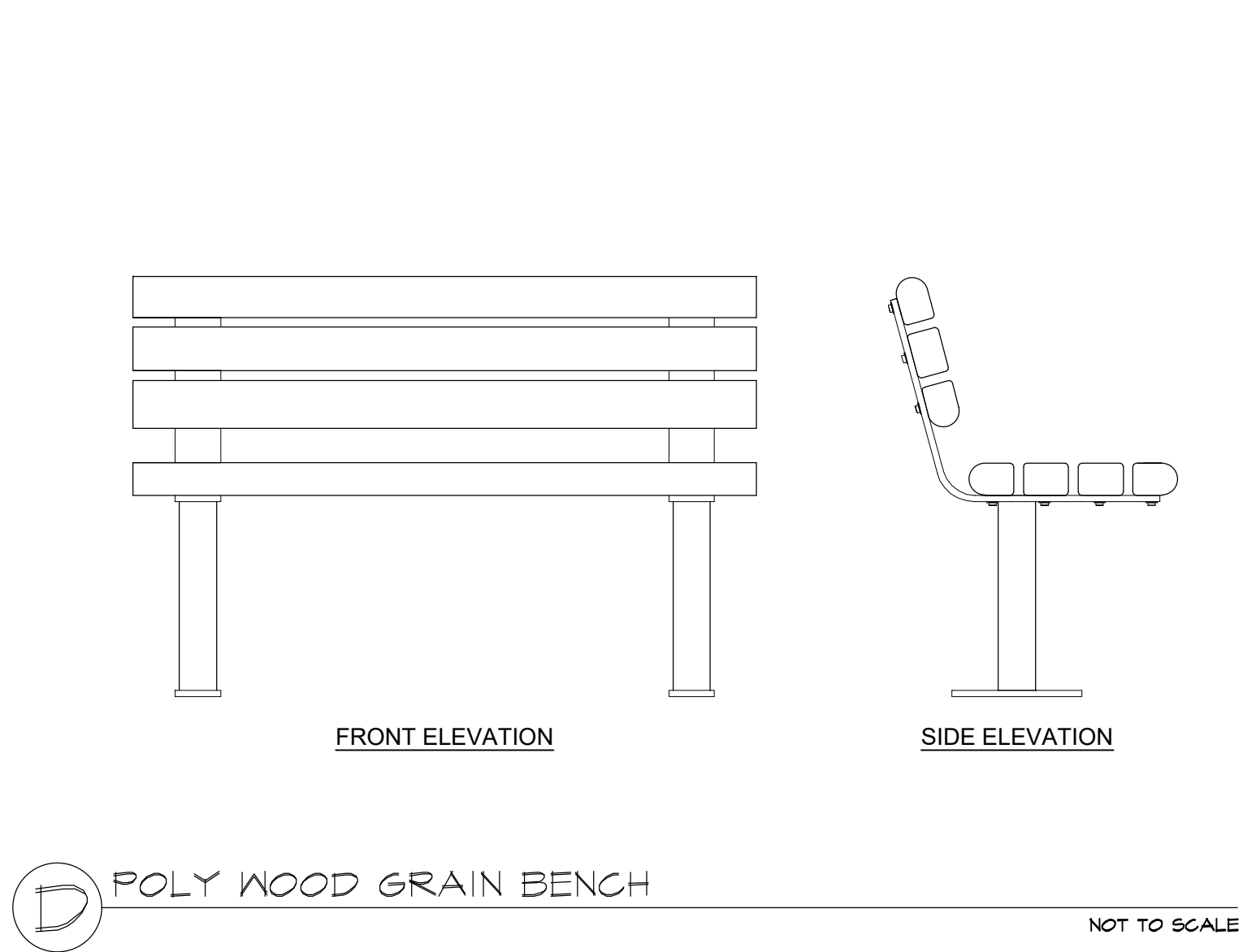
811

Know what's below.
Call before you dig.
(@ least 48 hours prior to digging)

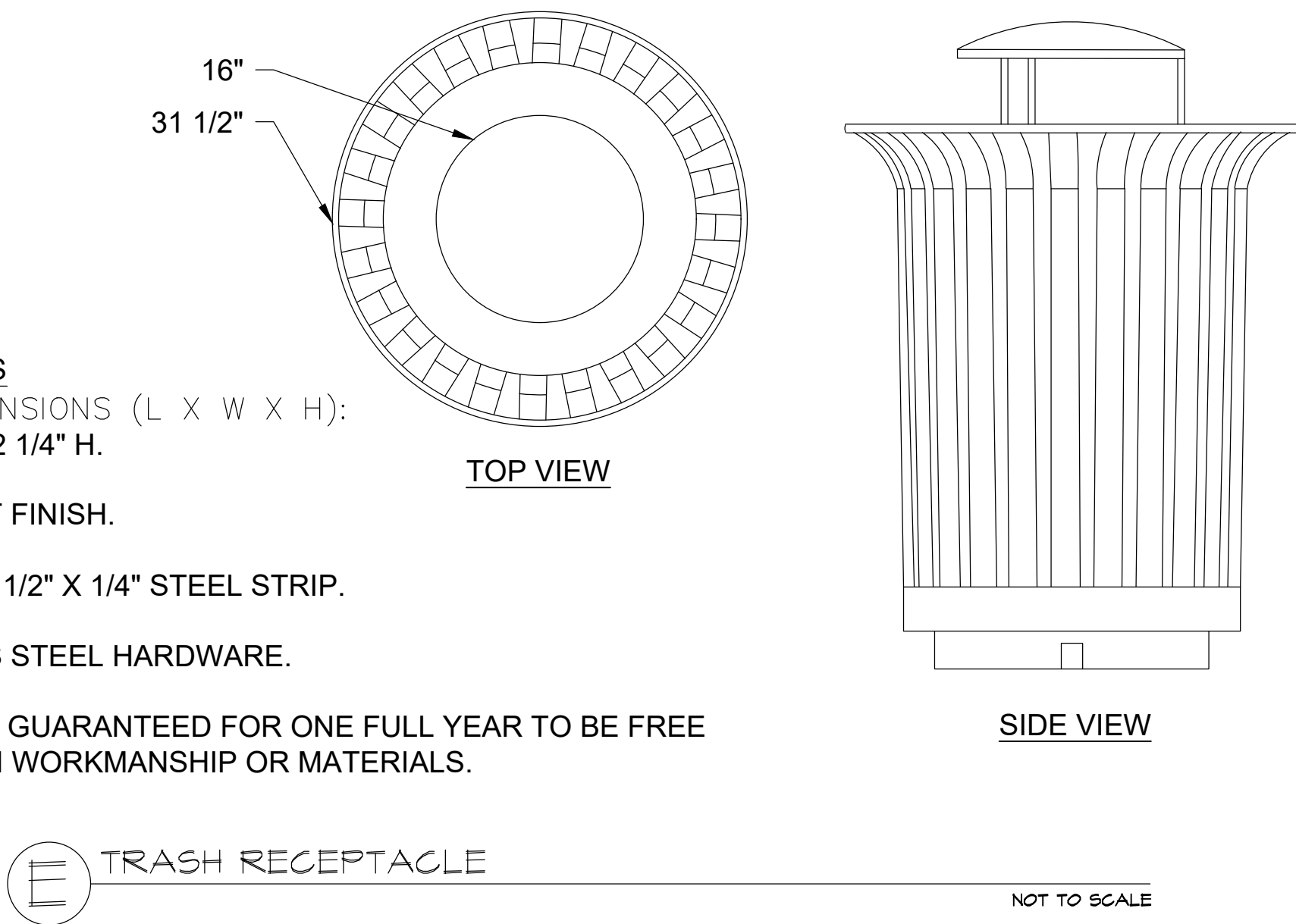
No.	Date	Revision Description
PROJECT NO: 090-20-001		

PRELIMINARY
FOR REVIEW ONLY
These documents are for
Design Review and not
intended for
Construction, Bidding or
Permit Purposes. They
were prepared by, or
under the supervision of:
Drew J. Dubocq
L.A.#3141
07/16/2020

File: B:\Clients\090 (Skidburg Development)\090-20-001 (72 Lots Lake Dallas - LS)\Civil\Sheet Set\L-1.0 Landscape Plan.dwg Date Plotted: 7/16/2020 2:33 PM Plotted By: drew



SPECIFICATIONS
PRODUCT DIMENSIONS (L X W X H):
- 23 3/8" DIA. X 42 1/4" H.
COATING:
- POWDER COAT FINISH.
FRAME:
- MIG WELDED 1 1/2" X 1/4" STEEL STRIP.
HARDWARE:
- ALL STAINLESS STEEL HARDWARE.
WARRANTY:
- ALL ITEMS ARE GUARANTEED FOR ONE FULL YEAR TO BE FREE OF DEFECTS IN WORKMANSHIP OR MATERIALS.





Know what's below.
Call before you dig.
(@ least 48 hours prior to digging)

No.	Date	Revision Description
PROJECT NO.: 090-20-001		

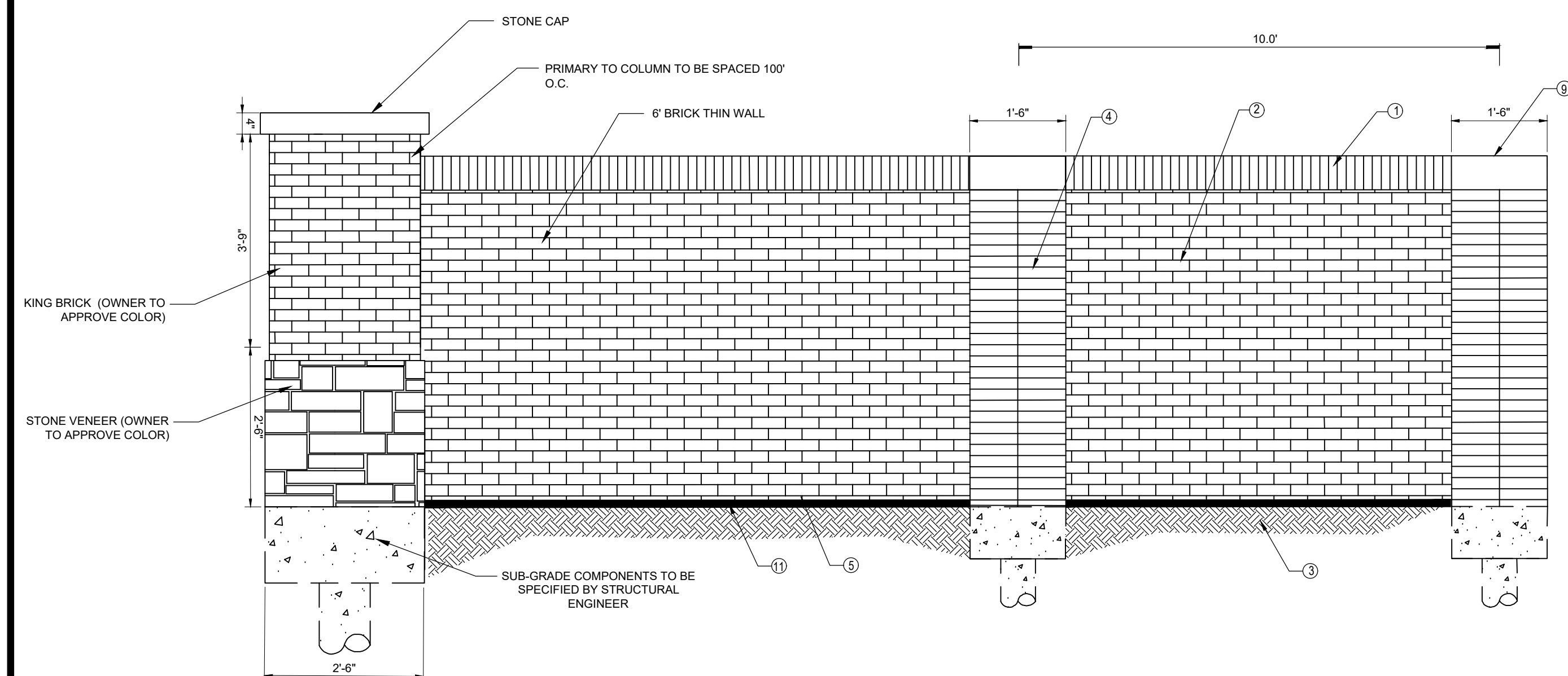
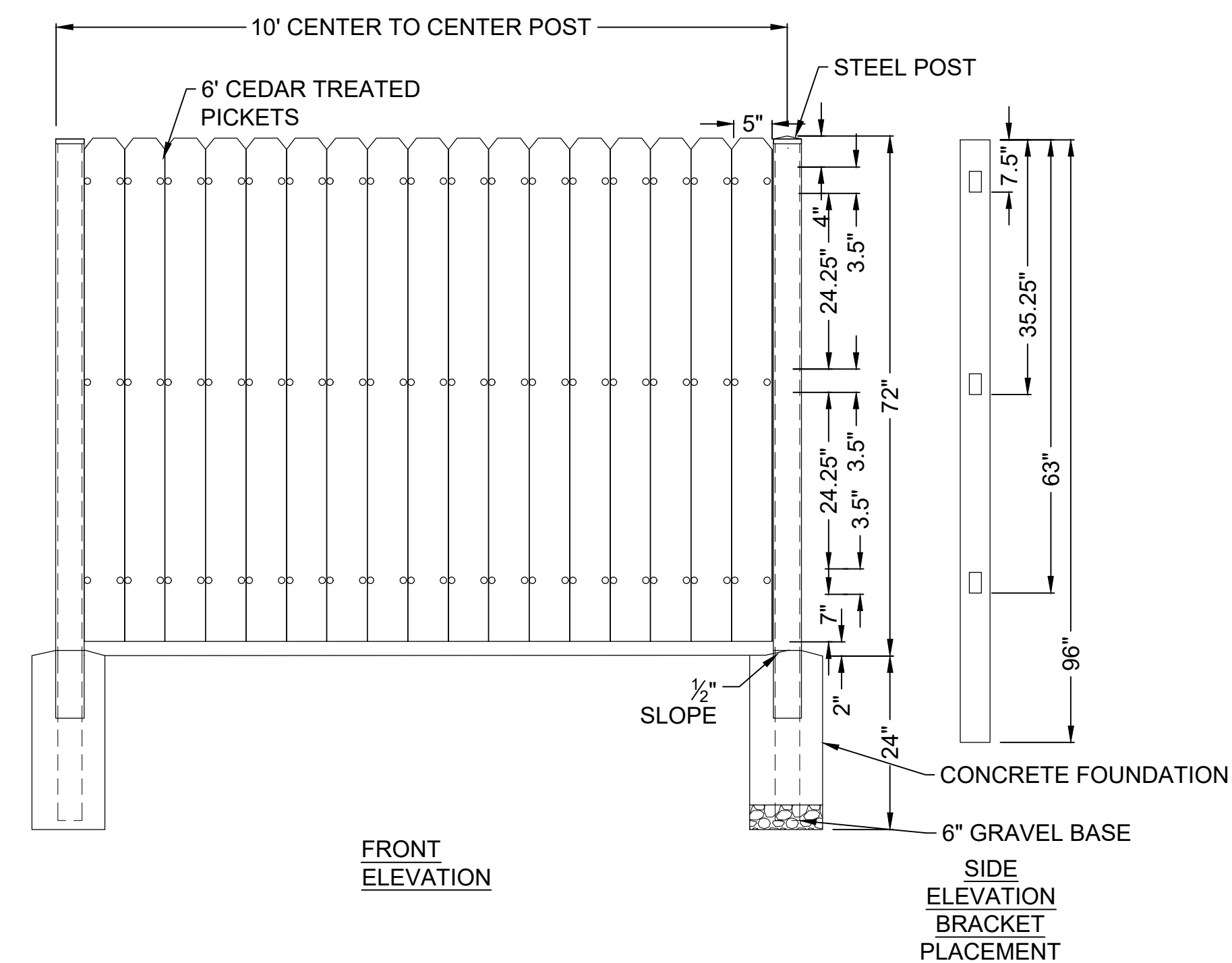
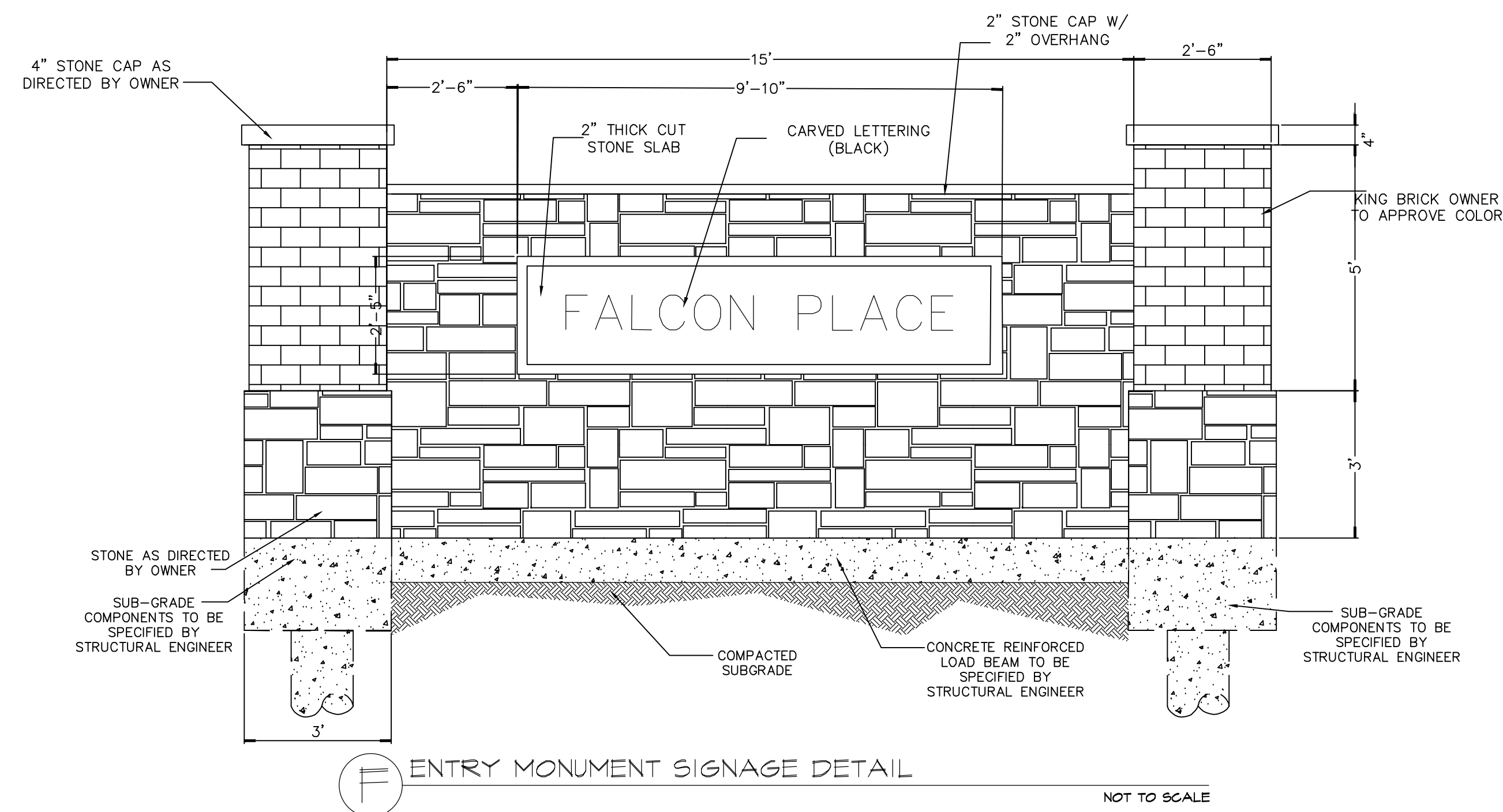
PRELIMINARY
FOR REVIEW ONLY
These documents are for
Design Review and not
intended for
Construction, Bidding or
Permit Purposes. They
were prepared by, or
under the supervision of:
Drew J. Dubocq
L.A.#3141
07/16/2020

FALCON PLACE
LAKE DALLAS, TEXAS

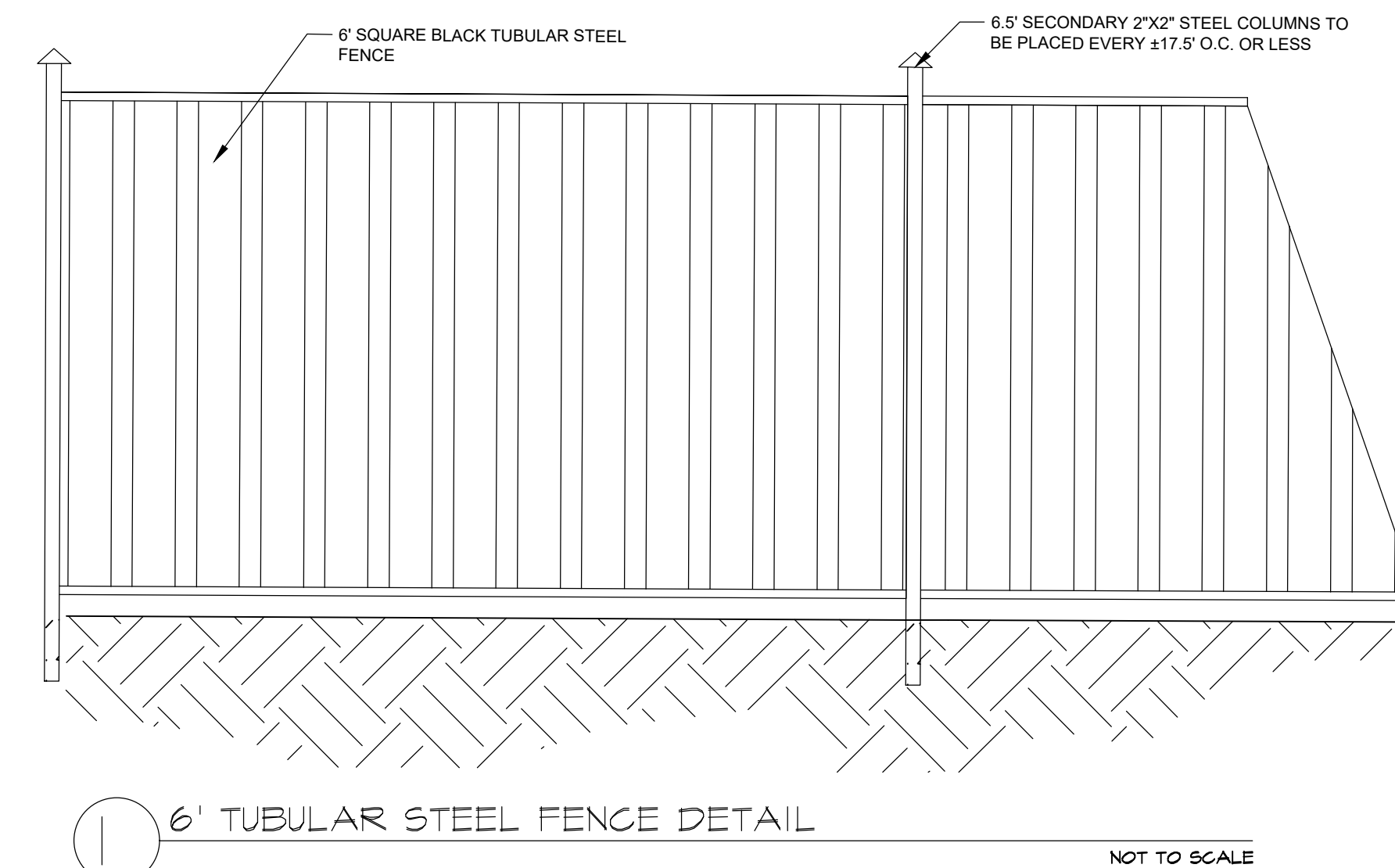
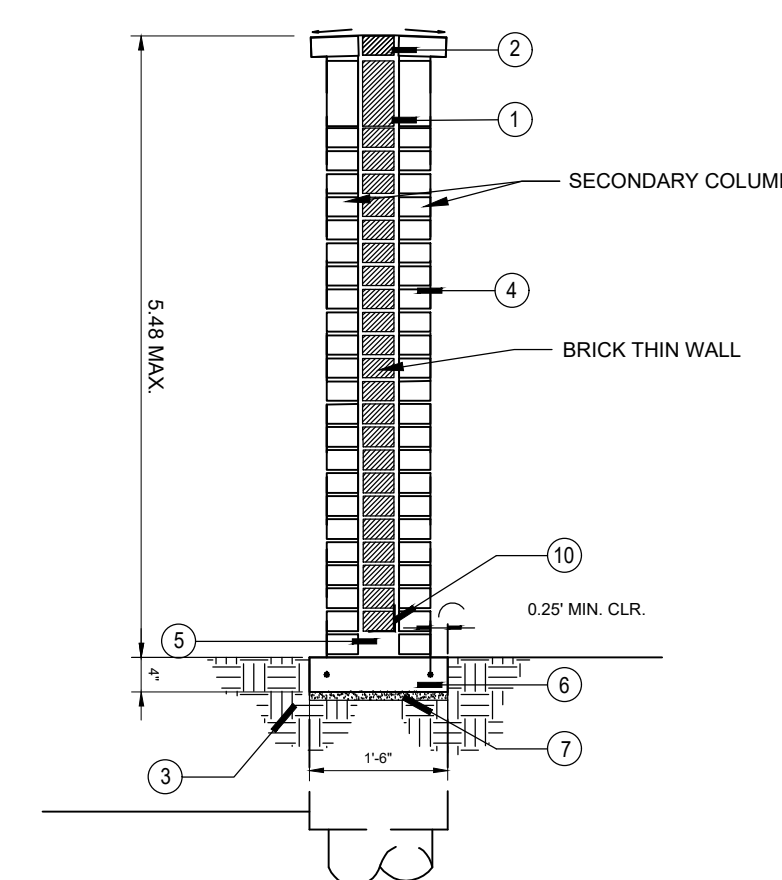
LANDSCAPE DETAILS



BANNISTER
ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)



- ① SOLIDER COURSE @ TOP OF WALL (SEE ELEVATION)
- ② STANDARD RUNNING BOND BRICK FACING
W/STANDARD MASONRY H-REINFORCING,
BRICK SELECTION BY OWNER, REINFORCED W/
1-No. 3 GALVIE WIRE HORIZONTAL AT
EACH COURSE. PROVIDE SLIGHT SLOPE
@ TOP AS SHOWN TO FACILITATE
DRAINAGE.
- ③ COMPACTED SUBGRADE TO 95% OF
ACHASTO T-99 DENSITY.
- ④ STANDARD 16" WIDE BRICK SUPPORT @
12" OR 10" O.C.
- ⑤ BOTTOM COURSE WITH WEEP OPENINGS
- ⑥ CONCRETE MOW-STRIP W/ (2) #4 BARS
CONTINUOUS, 8" O.C. MIN.
- ⑦ 1" SAND SETTING BED.
- ⑧ 12" - PIER X DEPTH TO 7" MIN. BELOW
EXISTING GRADE @ 12" O.C. MAX. (O.C.
TO MATCH COLLUMNS & BRICK
SUPPORTS)
- ⑨ COLUMN CAP
- ⑩ 3"x3"x3" GALVANIZED ANGLE IRON
- ⑪ 4" OPENING



Know who's below.
Call before you dig.
(@ least 48 hours prior to digging)



August 13, 2020
AVO 37635.200

Ms. Angie Manglaris
City of Lake Dallas
212 Main Street
Lake Dallas, TX 75065

**RE: Falcon Place Development – Preliminary and Final Plats
Review No. 2**

Dear Ms. Manglaris:

The City of Lake Dallas received Preliminary Plat and Final Plat applications for the referenced project on July 24, 2020. A second submittal was received August 7, 2020. The surveyor is Corwin Engineering, Inc.

Halff has completed the second review of the Preliminary and Final Plats and recommends approval contingent upon approval of the Downstream Assessment still under review. We will continue to review the Downstream Assessment by separate letter.

Sincerely,
HALFF ASSOCIATES, INC.
TBPELS Engineering Firm No. 312

A handwritten signature in blue ink, appearing to read "Lee T. Williams", is written over a light blue horizontal line.

Lee Williams, P.E.
City Engineer for the City of Lake Dallas

C: Glenda Cowling – Development Services



P&Z COMMISSION
AGENDA MEMO

Prepared By: Angie Manglaris, Director of Development Services

August 20, 2020

Consider and make a recommendation on a Final Plat for Falcon Place, a residential subdivision on approximately 14.828 acres of land being legally described as Lots 1 & 2, Block A, Martin-Kennedy Addition, City of Lake Dallas, Denton County, Texas.

DESCRIPTION:

Consider and make a recommendation on a Final Plat for Falcon Place, a residential subdivision on approximately 14.828 acres of land being legally described as Lots 1 & 2, Block A, Martin-Kennedy Addition, City of Lake Dallas, Denton County, Texas.

EXISTING CONDITION OF PROPERTY:

The property was recently rezoned to Planned Development District for Residential Uses. The southeast portion of the property is currently developed with a single-family residence. The remainder of the property consists of open pasture with supporting agricultural structures. There are mature trees throughout the site and a detention pond.

ADJACENT ZONING AND LAND USES:

North: Single- family residences—Zoned R-1-7200
South: Thousand Oaks Subdivision—Zoned R-1-7200
East: Shady Shores Road Right of Way
West: Thousand Oaks Subdivision—Zoned R-1-7200

BACKGROUND INFORMATION:

In February of 2020, The City of Lake Dallas Planning and Zoning Commission considered a Zoning Change Request from R-1-7000 to R-PD Residential Planned Development District. The Commission voted to recommend approval of the Zoning Change Request with the following conditions:

- Maximum building height allowed reduced from 40 feet to 35 feet.
- Rear setback be adjusted to 15 feet.
- Five-foot sidewalks be constructed throughout the development within a 2-year time frame from when the first house is completed.
- An eight-foot (8') wooden privacy fence be constructed between the project and the Thousand Oak subdivision.

On May 28, 2020, the City Council of the City of Lake Dallas considered and approved an Ordinance approving a Planned Development for Falcon Place. The approved Ordinance took the recommendations of the Planning and Zoning Commission into account.

The Applicant, the Skorburg Company, has submitted Preliminary and Final Plats to be reviewed by the Planning and Zoning Commission and the City Council as part of the next steps in the development process. The Applicant is running the Preliminary Plat and Final Plat Applications concurrently.

CONFORMANCE WITH COMPREHENSIVE PLAN

The recently-adopted Lake Dallas Vision 2030 Comprehensive Plan shows the property as “Single Family Residential.” The Planned Development conforms to the Comprehensive Plan.

PLANNING ANALYSIS

Conformance with adopted Ordinance

Per the approved Planned Development Regulations (Ordinance No. 2020-09), the proposed Preliminary Plat consists of forty-nine (49) 50’ lots and twenty-four (24) 60’ lots on 10.86 acres of land. The development has three (3) common area lots to be owned and maintained by the Homeowner’s Association (HOA) on .741 Acres of land and there is 3.227 acres of land dedicated to right-of-way. The development sits on a total of 14.828 acres of land.

The Applicant is responsible for the installation of five-foot (5’) sidewalks adjacent to Shady Shores Road and Common Area A2. The remainder of the sidewalks are to be installed by each homebuilder at the time of new home construction.

Per the approved Planned Development, at least one (1) subdivision entry sign shall be designed and constructed as generally shown on the Landscape Plan submitted and approved with the Zoning Application. The final location of any entry feature shall be reviewed and approved by the Director of Development Services at the time of Preliminary Plat Application. The Applicant has satisfied this requirement and has designated two areas for monument entryway features: one monument sign is to be placed at the southwest corner of Luna Lane and Shady Shores Road and the other is to be situated at the southwest corner of Briarwood Lane and Shady Shores Road.

The Applicant has provided ten-foot (10’) wide common area lots for landscaping with five-foot (5’) wide wall maintenance easements along Shady Shores Road as required by the approved Planned Development and Site Plan. A screening wall not less than six-feet (6’) in height shall be situated within the wall maintenance easement. All turf, trees, and features situated within the common lot areas and wall maintenance easements shall be owned and maintained by the HOA.

Tree Preservation:

The Applicant has submitted a detailed tree survey as part of their application. The tree survey indicates there are 262 trees on site. Of these trees, 90 are being removed and are not required to be mitigated based on Chapter 122, Article XXII. Screening, Landscaping and Tree Preservation of the Lake Dallas Code of Ordinances. There are 25 trees onsite that are being removed in which mitigation is required. The total amount of caliper inches required to be mitigated is 377. The applicant will be planting trees onsite to achieve mitigation compliance. As part of the approved Planned Development Regulations, no fewer than one (1) tree not less than tree (3) caliper inches in diameter at the time of planting shall be planted in the front yard of each residential lot. The full tree preservation and landscaping plans are attached to this report.

Drainage

As part of the development process, the Applicant will be situating the detention pond at the northeast portion of the property, adjacent to Shady Shores Road. The Applicant has submitted a downstream assessment detailing the proposed drainage of the property and the plans for the detention pond. HALFF and Associates, City Engineer, has been working with the Applicant in review of these plans. Construction on the site shall not move forward until the civil plans have been approved and signed off on by the City Engineer.

Civil Construction Plans

The applicant has submitted civil construction plans for development of the site. After approval of the civil construction plans for streets, drainage, water and sanitary sewer, the applicant may proceed with the development.

FINANCIAL CONSIDERATION:

Once Falcon Place is built out, the property will generate additional property and sales taxes for the City of Lake Dallas. The new development would also require additional costs in police, fire and other city services. The City has not made a detailed fiscal assessment of the impact of the development.

ISSUES TO RESOLVE:

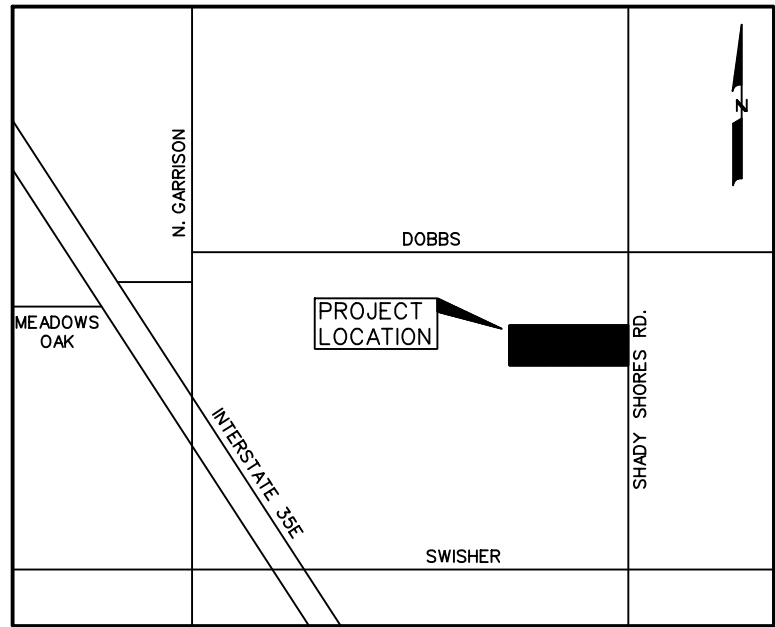
The Development Review Committee has determined the Final Plat meets the requirements of Chapter 94 "Subdivisions" and the approved Planned Development. City Staff and the City Engineer recommend approving the Final Plat as presented contingent upon approval of the Downstream Assessment.

RECOMMENDED MOTION:

I move that the Planning and Zoning Commission recommend that the City Council approve the proposed Final Plat of Lots 1-37, Block A, Lots 1-36, Block B, Falcon Place contingent upon approval of the Downstream Assessment.

Attachments:

- Final Plat Package
- Tree Preservation Plan
- Landscape Plan
- Erosion Control Plan
- HALFF and Associates Review Letter



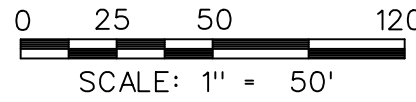
- NOTES:
- Bearings are referenced to Martin-Kennedy Addition, an addition to the City of Lake Dallas, as described in Doc. No. 2013-46, in the Plat Records of Denton County, Texas.
 - All lot lines are radial or perpendicular to the street unless otherwise noted by bearing.
 - 1/2" iron rods with "CORWIN ENGR. INC." caps set at all boundary corners, block corners, points of curvature, points of tangency, and angle points in public right-of-way unless otherwise noted.
 - B.L. - Building Line.
U.E. - Utility Easements.
C.M. - Controlling Monument.
W.M.E. - Wall Maintenance Easement.
 - All common area lots shall be dedicated to and maintained by the HOA.
 - Common area lots and all amenities within (turf, trees, benches) shall be dedicated to and maintained by HOA.
 - Wall maintenance easement and screening within shall be dedicated to and maintained by HOA.
 - The tree preservation plan submitted to Development Services Department. Developer and Home Building will comply with the approved tree preservation plan.
 - No flood plain exists on site.
 - Water service and sanitary sewer service to be provided by Lake Cities Municipal Utility Authority. Lake Cities Municipal Utility Authority shall have the right to operate and maintain the sanitary sewer and waterlines and appurtenances within the sanitary sewer and waterline easements located in Common Area A1, A2 & B1. Restoration of disturbed areas, repair, or replacement of temporary and permanent structures shall be full responsibility of the HOA within the sanitary sewer and waterline easements.

CURVE TABLE

CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	BEARING
1.	164°39'37"	50.00'	143.69'	99.11'	N45°05'02"E
2.	16°49'09"	50.00'	142.09'	98.88'	S44°54'58"E

LINE TABLE

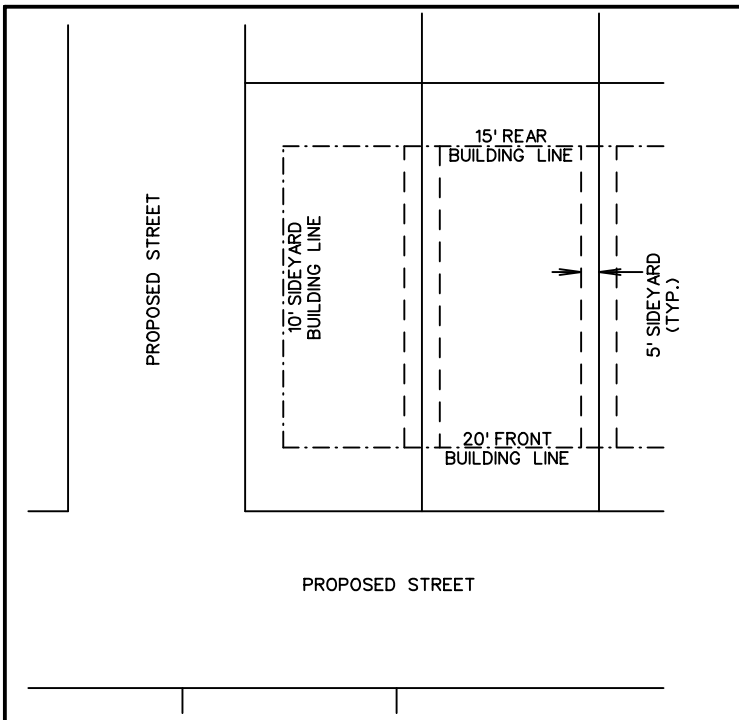
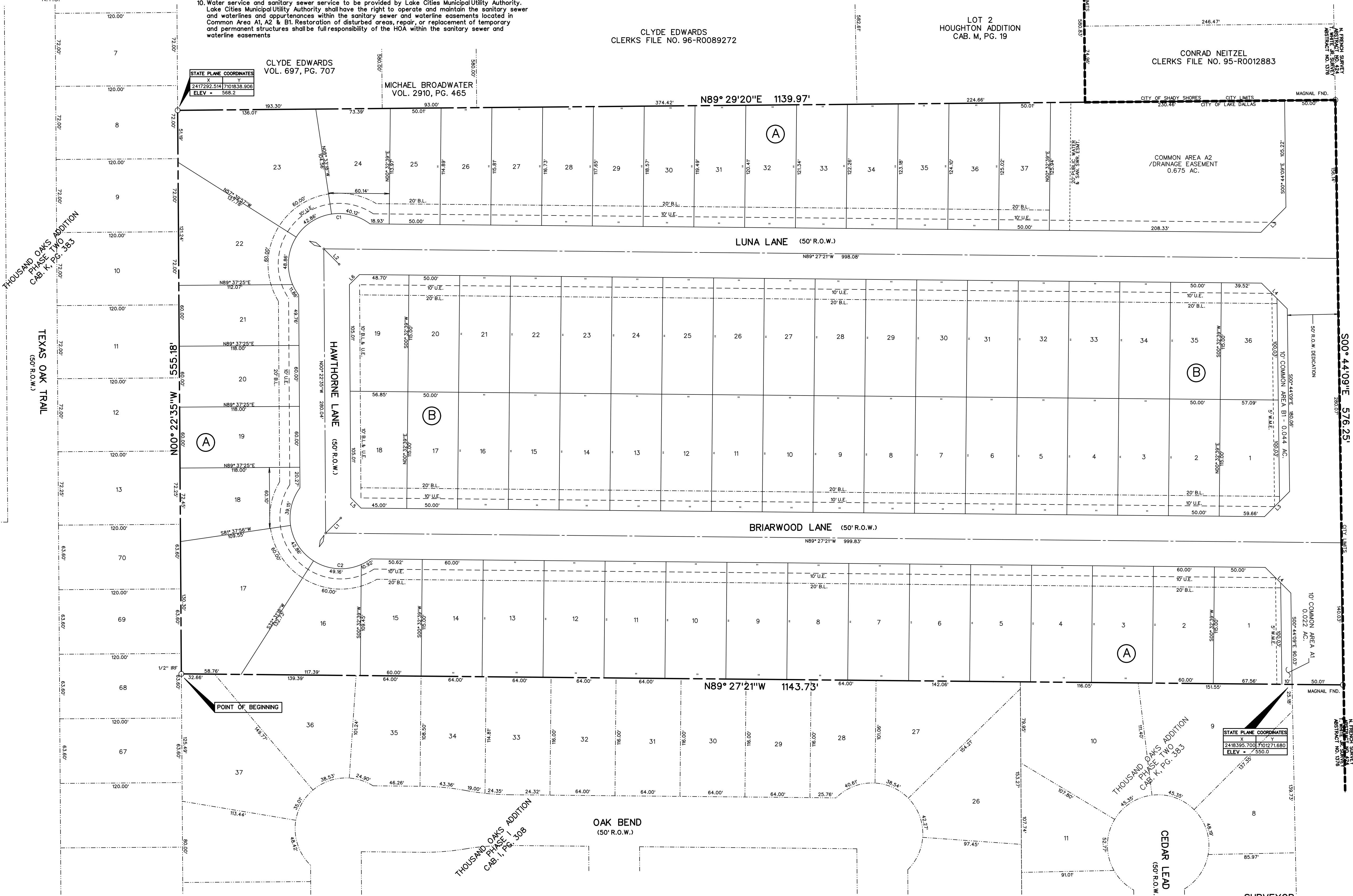
LINE NO.	BEARING	DISTANCE
1.	N 45°05'02" E	21.04'
2.	S 44°54'58" W	21.39'
3.	S 44°54'15" W	34.36'
4.	N 45°05'45" W	35.75'
5.	N 44°54'15" W	14.26'
6.	S 45°05'02" W	14.03'



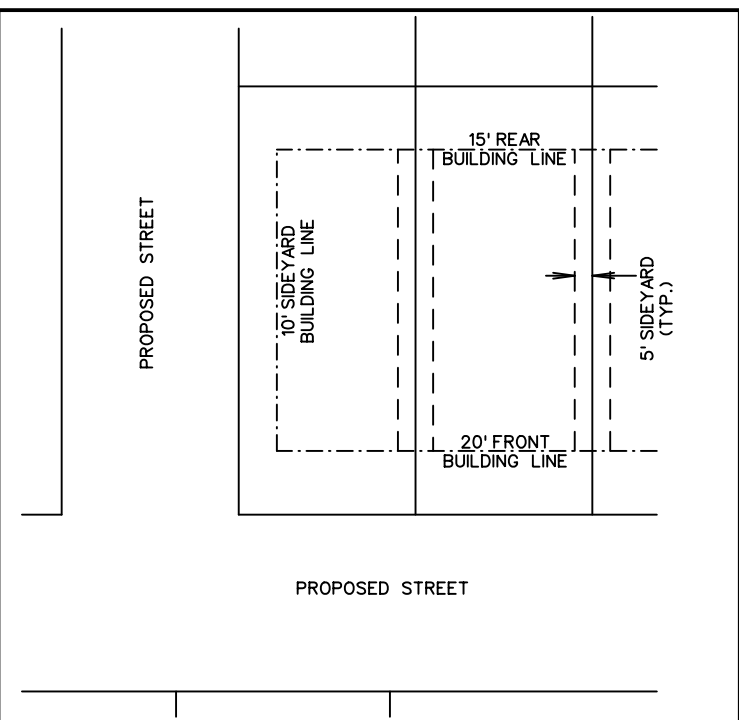
CLYDE EDWARDS
CLERKS FILE NO. 96-R0089272

LOT 2
HOUGHTON ADDITION
CAB. M, PG. 19

CONRAD NEITZEL
CLERKS FILE NO. 95-R0012883



TYPICAL DETAIL FOR 50' LOTS
BLOCK A LOTS 25-37 & BLOCK B
TOTAL LOTS 49
N.T.S.



TYPICAL DETAIL FOR 60' LOTS
BLOCK A, LOTS 1-24
TOTAL LOTS 24
N.T.S.

SUMMARY TABLE

TOTAL 50' LOTS -	49
TOTAL 60' LOTS -	24
TOTAL COMMON AREA LOTS -	3
TOTAL COMMON AREA ACREAGE -	0.741 AC.
TOTAL R.O.W. ACREAGE -	3.227 AC.
TOTAL RESIDENTIAL ACREAGE -	10.86 AC.

FALCON PLACE

FINAL PLAT
14.828 ACRES
LOTS 1-37, BLOCK A
LOTS 1-36, BLOCK B
73 LOTS
BEING A REPLAT OF
LOTS 1 & 2, BLOCK A
MARTIN-KENNEDY ADDITION
OUT OF THE
T. WHITE JR. SURVEY, ABSTRACT NO. 1376
IN THE
CITY OF LAKE DALLAS
DENTON COUNTY, TEXAS

OWNERS
ROBERT AKL
707 N. SHADY SHORES ROAD
LAKE DALLAS, TEXAS 75067
ASHUM REALTY II, LLC.
PO BOX 1569
LAKE DALLAS, TEXAS 75065
APPLICANT
SKORBURG COMPANY, INC.
8214 WESTCHESTER DRIVE, SUITE 710
DALLAS, TEXAS 75225
214-522-4945

SURVEYOR
CORWIN ENGINEERING, INC.
TBPLS *10031700
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200
JULY 2020
SCALE: 1"=50'

LEGAL DESCRIPTION

Being a tract of land situated in the Thomas White Jr. Survey, Abstract No. 1376, in the City of Lake Dallas, Denton County, Texas, being all of Lots 1 and 2, Block A of Martin-Kennedy Addition, recorded in Document No. 2013-46, in the Official Public Records of Denton County, Texas (O.P.R.D.C.T.), being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod (controlling monument) found at the southwest corner of said Martin-Kennedy Addition and an interior corner of Block B of Thousand Oaks Addition, Phase I, recorded in Volume I, Page 308, in the Plat Records of Denton County, Texas (P.R.D.C.T.);

THENCE North 00 degrees 22 minutes 35 seconds West, with the west line of said Martin-Kennedy Addition and the east line of said Block B, at a distance of 147.30 feet passing the northeast corner of said Block B and the southeast corner of Block D of Thousand Oaks Addition, Phase Two, recorded in Volume K, Page 383, P.R.D.C.T., continuing a total distance of 555.18 feet to the northwest corner of said Martin-Kennedy Addition and the southwest corner of a tract of land described in deed to Clyde E. Edwards and wife Jo Dee Edwards, Vol. 697, Page 707, of the Deed Records of Denton County, Texas (D.R.D.C.T.), from which a 3/8-inch iron rod found bears North 79 degrees 25 minutes East 2.2 feet;

THENCE North 89 degrees 29 minutes 20 seconds East, with the north line of said Martin-Kennedy Addition, a distance of 1,139.97 feet to a Magnail found at the northeast corner of said Martin-Kennedy Addition, being in the approximate center of Shady Shores Road (by use and occupation);

THENCE South 00 degrees 44 minutes 09 seconds East, with the east line of said Martin-Kennedy Addition and said approximate center of Shady Shores Road, a distance of 576.25 feet to a Magnail found at the southeast corner of said Martin-Kennedy Addition and the northeast corner of Block H of said Thousand Oaks Addition, Phase Two;

THENCE North 89 degrees 27 minutes 21 seconds West, with the south line of said Martin-Kennedy Addition and the north line of said Thousand Oaks Addition, Phase Two, at a distance of 317.62 feet passing a 1/2-inch iron rod found at the northwest corner of said Thousand Oaks Addition, Phase Two and the northeast corner of said Thousand Oaks Addition, Phase I, continuing a total distance of 1,143.73 feet to the POINT OF BEGINNING and containing 14.828 acres of land.

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS that I, WARREN L. CORWIN, do hereby certify that I prepared this Plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision regulations of the City of Lake Dallas, Texas.

WARREN L. CORWIN
R.P.L.S. No. 4621

THE STATE OF TEXAS §
COUNTY OF COLLIN §

Before me, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared WARREN L. CORWIN, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed same for the purpose and consideration therein expressed and in the capacity therein stated.

Given under my hand and seal of office, this _____ day of _____, 2020.

NOTARY PUBLIC, STATE OF TEXAS

OWNER'S DEDICATION
STATE OF TEXAS
COUNTY OF DENTON

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT ROBERT AKL & ASHUM REALTY II, LLC., does hereby designate herein as FALCON PLACE subdivision to the City of Lake Dallas, Texas, and whose name is subscribed hereto, hereby dedicate to the public in fee simple all streets, alleys, rights-of-way and parks, and dedicate to the public forever all water courses, drains, easements and public places thereon shown for the purpose and consideration therein expressed.

BY

ROBERT AKL

DATE

ASHUM REALTY II, LLC.
Robert Akl, Manager

DATE

THE STATE OF TEXAS
COUNTY OF DENTON

Before me, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared ROBERT AKL, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed same for the purpose and consideration therein expressed and in the capacity therein stated.

Given under my hand and seal of office, this _____ day of _____, 2020.

NOTARY PUBLIC, STATE OF TEXAS

THE STATE OF TEXAS
COUNTY OF DENTON

Before me, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared ROBERT AKL, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed same for the purpose and consideration therein expressed and in the capacity therein stated.

Given under my hand and seal of office, this _____ day of _____, 2020.

NOTARY PUBLIC, STATE OF TEXAS

CITY OF LAKE DALLAS
APPROVED BY CITY COUNCIL

MAYOR

ATTESTED BY CITY SECRETARY

DATE OF APPROVAL

On the _____ day of _____, 2020, all permanent Lake Cities Municipal Utility Authority (LCMUA) easements dedicated per this plat were approved and accepted by LCMUA.

Signed:

General Manager, LCMUA

Falcon Place			
Block A		Block B	
Lot	AC	Lot	AC
1	0.172	1	0.151
2	0.158	2	0.132
3	0.158	3	0.132
4	0.158	4	0.132
5	0.158	5	0.132
6	0.158	6	0.132
7	0.158	7	0.132
8	0.158	8	0.132
9	0.158	9	0.132
10	0.158	10	0.132
11	0.158	11	0.132
12	0.158	12	0.132
13	0.158	13	0.132
14	0.158	14	0.132
15	0.158	15	0.132
16	0.206	16	0.132
17	0.316	17	0.132
18	0.168	18	0.147
19	0.162	19	0.151
20	0.162	20	0.132
21	0.161	21	0.132
22	0.217	22	0.132
23	0.307	23	0.132
24	0.161	24	0.132
25	0.131	25	0.132
26	0.132	26	0.132
27	0.133	27	0.132
28	0.134	28	0.132
29	0.135	29	0.132
30	0.136	30	0.132
31	0.138	31	0.132
32	0.138	32	0.132
33	0.139	33	0.132
34	0.14	34	0.132
35	0.141	35	0.132
36	0.143	36	0.145
37	0.144		

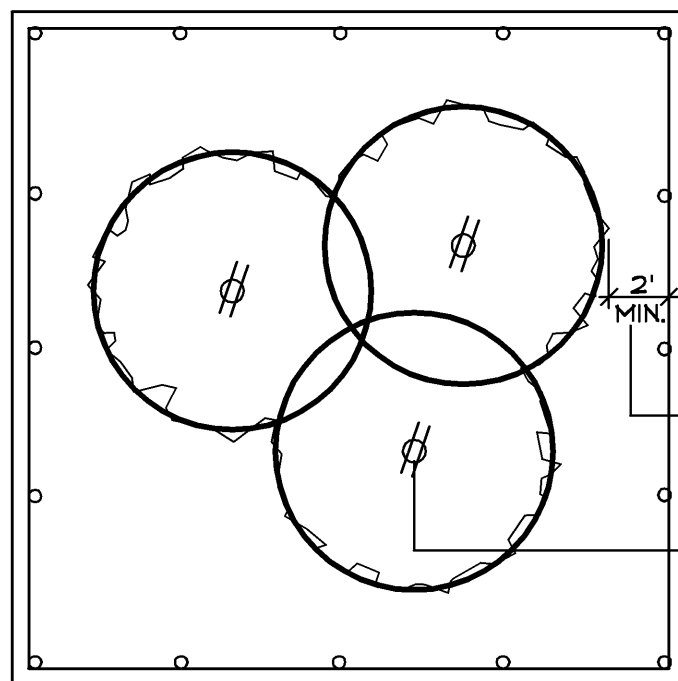
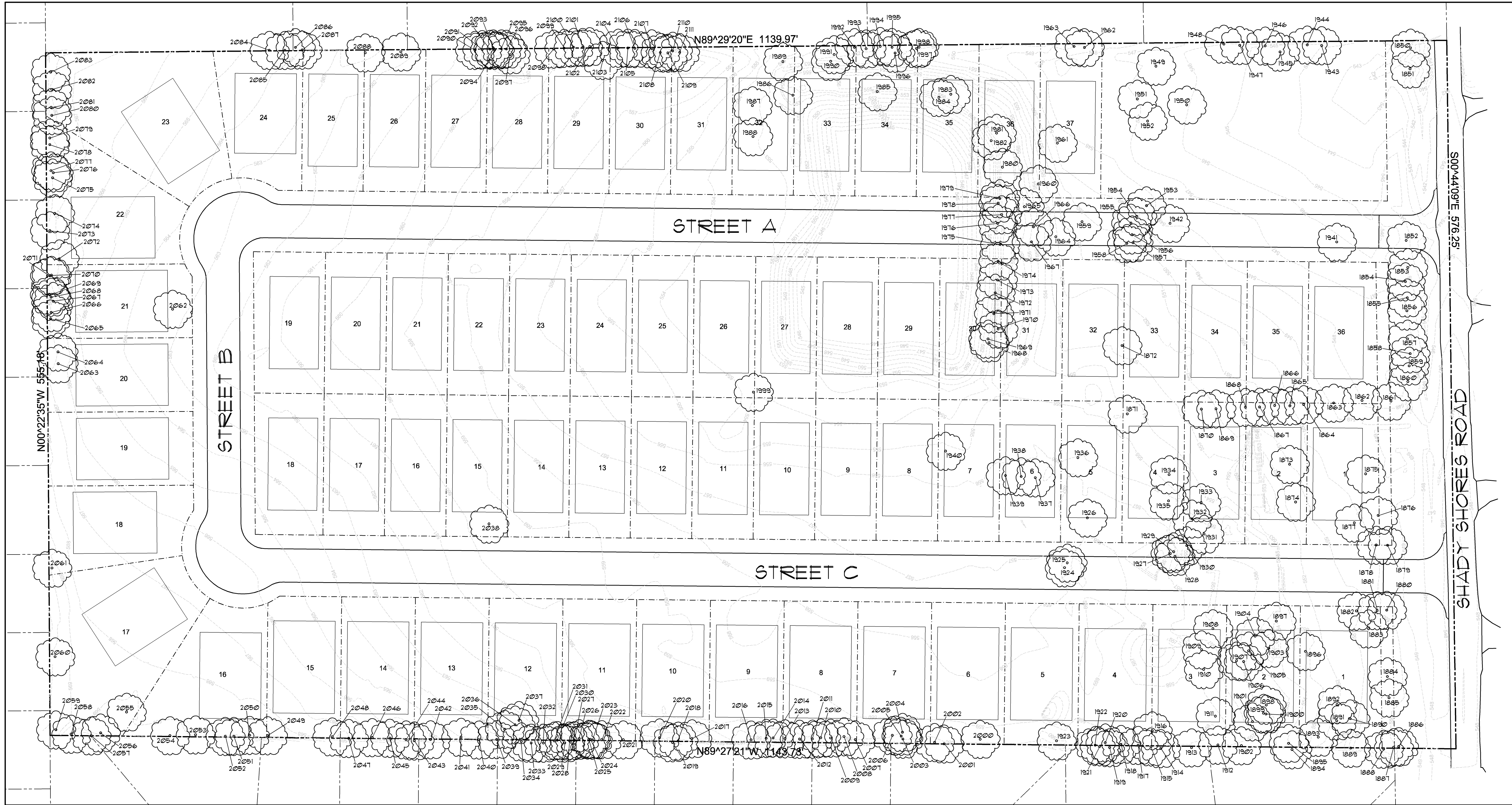
FALCON PLACE

FINAL PLAT
14.828 ACRES
LOTS 1-37, BLOCK A
LOTS 1-36, BLOCK B
73 LOTS
BEING A REPLAT OF
LOTS 1 & 2, BLOCK A
MARTIN-KENNEDY ADDITION
OUT OF THE
T. WHITE JR. SURVEY, ABSTRACT NO. 1376
IN THE
CITY OF LAKE DALLAS
DENTON COUNTY, TEXAS

SHEET 1 OF 2

SURVEYOR
CORWIN ENGINEERING, INC.
TBPLS #10031700
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200
JULY 2020

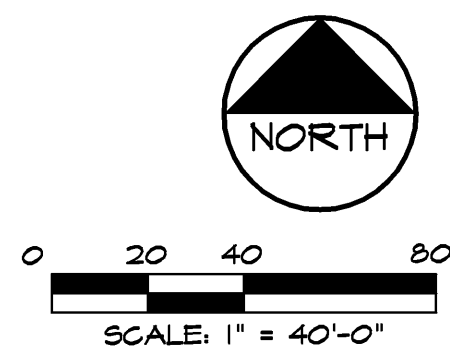
OWNERS
ROBERT AKL
707 N. SHADY SHORES ROAD
LAKE DALLAS, TEXAS 75067
ASHUM REALTY II, LLC.
P.O. BOX 1569
LAKE DALLAS, TEXAS 75065
APPLICANT
SKORBURG COMPANY, INC.
8214 WESTCHESTER DRIVE, SUITE 710
DALLAS, TEXAS 75225
214-522-4945



TREE PROTECTION FENCE AND NOTES
SCALE: N.T.S.

- EXISTING TREES WITHIN CONTRACT LIMITS ARE SHOWN ON THE DRAWINGS. EXISTING TREES DESIGNATED FOR REMOVAL SHALL BE FLAGGED AT THE PROJECT SITE WITH FLAGGING BY THE CONTRACTOR.
- PROTECT ALL INDIVIDUAL TREES OR GROUPS OF TREES TO BE PRESERVED BY ERECTING A BARRIER AROUND EACH TREE OR GROUP OF TREES. INSTALL AND MAINTAIN BARRIER AT TREE DRIPLINE. BARRIERS SHALL REMAIN IN PLACE UNTIL REMOVAL IS NECESSARY.
- IN THE EVENT THAT HEAVY CONSTRUCTION IS SCHEDULED TO OCCUR WITHIN THE DRIPLINE OF AN EXISTING TREE, CONTRACTOR SHALL ERECT A PROTECTION FENCE OUTSIDE THE DRIPLINE UNTIL THIS CONSTRUCTION IS SCHEDULED TO OCCUR. THE PROTECTION FENCE MAY THEN BE ADJUSTED AS REQUIRED TO COMPLETE THE PROPOSED CONSTRUCTION. AFTER CONSTRUCTION IN THIS AREA IS COMPLETED, THE PROTECTION FENCE SHALL BE ADJUSTED TO ITS ORIGINAL LOCATION.
- CONTRACTORS SHALL NOT PARK, CLEAN TOOLS AND EQUIPMENT OR STORE MATERIALS WITHIN THE DRIPLINE OF ANY TREE.
- ALL ROOTS OVER 1" IN DIAMETER SHALL BE CUT CLEAN WITH A HAND SAW.

TOTAL MITIGATION REQUIRED 371



Revisions:		Date:
#		

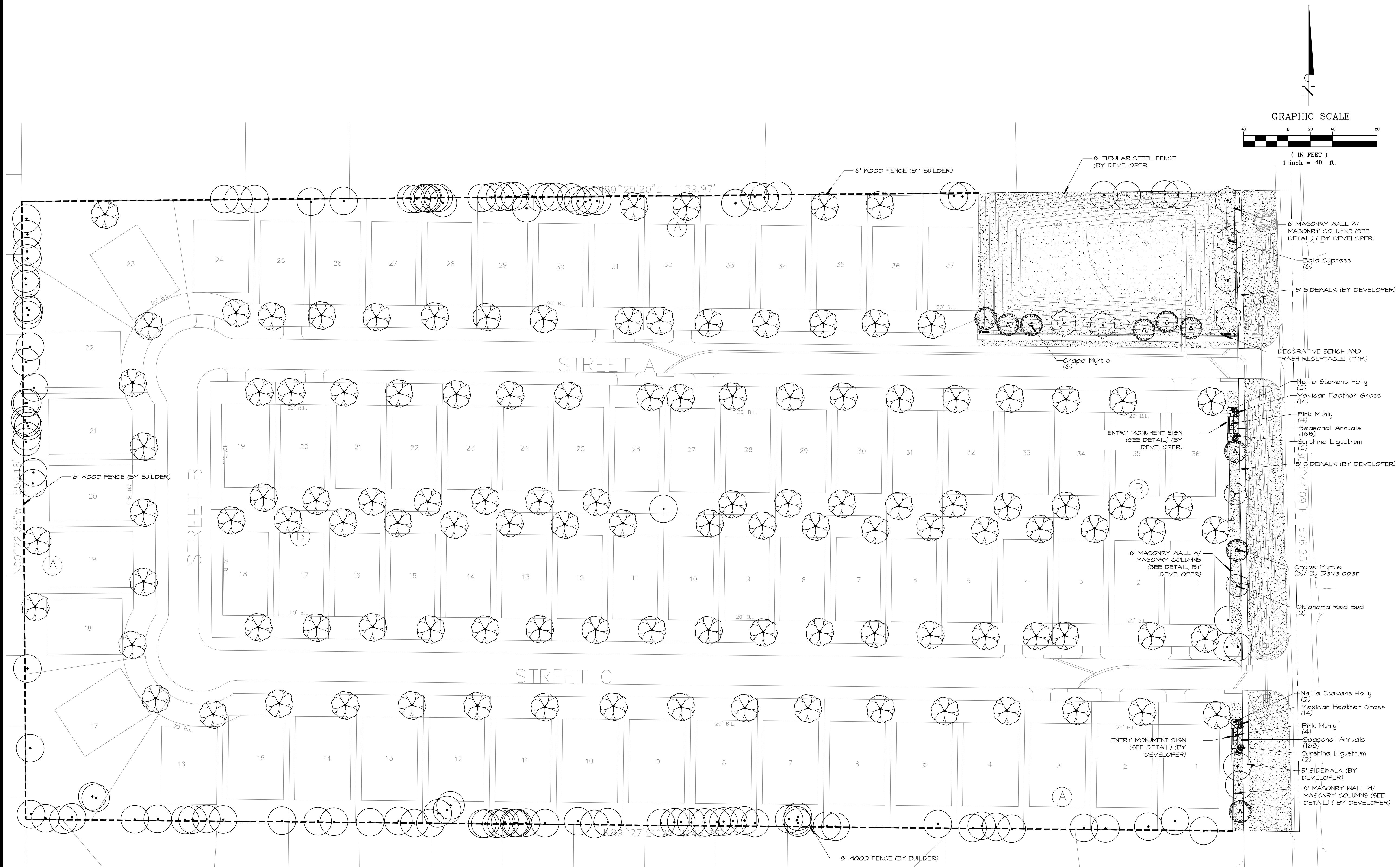
Issued For:
CONSTRUCTION
Job No.
20124
Scale
1" = 40'-0"
Drawn By:
JDG
Date
07-17-2020

TREE ID NO.	TREE TYPE	TREE CAL. SIZE	TREE CONDITION	PRESERVED OR REMOVED	MITIGATION PERCENTAGE	MITIGATION REQUIRED	NOTES
1850	AMERICAN ELM	21 M.T.	POOR	REMOVED	0%	0	DIE BACK
1851	AMERICAN ELM	30 M.T.	GOOD	REMOVED	0%	0	R.O.W.
1852	LIVE OAK	12	GOOD	REMOVED	0%	0	R.O.W.
1853	LIVE OAK	13	GOOD	REMOVED	0%	0	R.O.W.
1854	LIVE OAK	12	GOOD	REMOVED	0%	0	R.O.W.
1855	LIVE OAK	14	GOOD	REMOVED	0%	0	R.O.W.
1856	LIVE OAK	13	GOOD	REMOVED	0%	0	R.O.W.
1857	LIVE OAK	12	GOOD	REMOVED	0%	0	R.O.W.
1858	LIVE OAK	14	GOOD	REMOVED	0%	0	R.O.W.
1859	LIVE OAK	10	GOOD	REMOVED	0%	0	R.O.W.
1860	LIVE OAK	17	GOOD	REMOVED	0%	0	R.O.W.
1861	LOBLOLLY PINE	11	GOOD	REMOVED	0%	0	R.O.W.
1862	LOBLOLLY PINE	19	GOOD	REMOVED	100%	19	
1863	LOBLOLLY PINE	21	GOOD	REMOVED	100%	21	
1864	LOBLOLLY PINE	14	GOOD	REMOVED	100%	14	
1865	LOBLOLLY PINE	20	GOOD	REMOVED	100%	20	
1866	LOBLOLLY PINE	15	GOOD	REMOVED	100%	15	
1867	LOBLOLLY PINE	23	GOOD	REMOVED	100%	23	
1868	LOBLOLLY PINE	19	GOOD	REMOVED	100%	19	
1869	LOBLOLLY PINE	16	GOOD	REMOVED	100%	16	
1870	LOBLOLLY PINE	29	GOOD	REMOVED	100%	29	
1871	LOBLOLLY PINE	29	GOOD	REMOVED	100%	29	
1872	LIVE OAK	9 M.T.	GOOD	REMOVED	0%	0	FAD
1873	LIVE OAK	13	GOOD	REMOVED	0%	0	FAD
1874	BRADFORD PEAR	7	GOOD	REMOVED	0%	0	FAD
1875	LIVE OAK	18	GOOD	REMOVED	0%	0	FAD
1876	POST OAK	24 M.T.	GOOD	SAVED			
1877	POST OAK	13	GOOD	REMOVED	0%	0	FAD
1878	POST OAK	19	GOOD	SAVED			
1879	POST OAK	16	GOOD	SAVED			
1880	POST OAK	18	GOOD	REMOVED	100%	18	
1881	POST OAK	22	GOOD	REMOVED	100%	22	
1882	POST OAK	16	GOOD	REMOVED	100%	16	
1883	CEDAR ELM	13	TRUNK DAMAGE	REMOVED	0%	0	FAD
1884	LIVE OAK	7	GOOD	SAVED			
1885	POST OAK	26 M.T.	GOOD	SAVED			
1886	HACKBERRY	7	GOOD	REMOVED	100%	7	
1887	HACKBERRY	12	GOOD	REMOVED	100%	12	
1888	HACKBERRY	16	GOOD	REMOVED	100%	16	
1889	HACKBERRY	18	GOOD	SAVED			
1890	POST OAK	17	GOOD	REMOVED	0%	0	FAD
1891	POST OAK	18	GOOD	REMOVED	0%	0	FAD
1892	POST OAK	24 M.T.	GOOD	REMOVED	0%	0	FAD
1893	HACKBERRY	23	GOOD	SAVED			
1894	HACKBERRY	5	GOOD	SAVED			
1895	HACKBERRY	9	GOOD	SAVED			
1896	LIVE OAK	10	GOOD	REMOVED	0%	0	FAD
1897	POST OAK	11	GOOD	REMOVED	100%	11	
1898	POST OAK	15	GOOD	REMOVED	0%	0	FAD
1899	POST OAK	19 M.T.	GOOD	REMOVED	0%	0	FAD
1900	POST OAK	16	GOOD	REMOVED	0%	0	FAD
1901	POST OAK	21	GOOD	REMOVED	0%	0	FAD
1902	POST OAK	11	GOOD	REMOVED	0%	0	FAD
1906	POST OAK	13	GOOD	REMOVED	0%	0	FAD
1907	POST OAK	20	GOOD	REMOVED	0%	0	FAD
1908	POST OAK	22 M.T.	GOOD	REMOVED	0%	0	FAD
1909	YAUPOH HOLLY	8 M.T.	GOOD	REMOVED	0%	0	FAD
1910	POST OAK	33 M.T.	GOOD	REMOVED	0%	0	FAD
1911	POST OAK	19	GOOD	REMOVED	0%	0	FAD
1912	HACKBERRY	15	GOOD	SAVED			
1913	HACKBERRY	15	GOOD	SAVED			
1914	HACKBERRY	6	GOOD	SAVED			
1915	HACKBERRY	10	GOOD	SAVED			
1916	HACKBERRY	19	GOOD	REMOVED	100%	19	
1917	HACKBERRY	12	GOOD	SAVED			
1918	HACKBERRY	22 M.T.	GOOD	SAVED			
1919	HACKBERRY	15	GOOD	SAVED			
TOTAL COLUMN MITIGATION REQUIRED						326	

TREE ID NO.	TREE TYPE	TREE CAL. SIZE	TREE CONDITION	PRESERVED OR REMOVED	MITIGATION PERCENTAGE	MITIGATION REQUIRED	NOTES
1920	HACKBERRY	6	GOOD	SAVED			
1921	CHITTAM WOOD	10	GOOD	SAVED			
1922	HACKBERRY	15	GOOD	SAVED			
1923	BOIS D' ARC	32 M.T.	GOOD	SAVED			
1924	HACKBERRY	5 M.T.	GOOD	REMOVED	0%	0	R.O.W.
1925	HACKBERRY	3	GOOD	REMOVED	0%	0	R.O.W.
1926	LIVE OAK	18	GOOD	REMOVED	0%	0	FAD
1927	LACEBARK ELM	3	GOOD	REMOVED	0%	0	R.O.W.
1928	LACEBARK ELM	3	GOOD	REMOVED	0%	0	R.O.W.
1929	LACEBARK ELM	7	GOOD	REMOVED	0%	0	R.O.W.
1930	POST OAK	6	GOOD	REMOVED	0%	0	R.O.W.
1931	LACEBARK ELM	7	GOOD	REMOVED	100%	7	
1932	POST OAK	6	GOOD	REMOVED	0%	0	FAD
1933	LACEBARK ELM	9	GOOD	REMOVED	0%	0	FAD
1934	LIVE OAK	9	GOOD	REMOVED	0%	0	FAD
1935	LIVE OAK	10	GOOD	REMOVED	0%	0	FAD
1936	RED OAK	6	GOOD	REMOVED	0%	0	FAD
1937	LIVE OAK	23	GOOD	REMOVED	0%	0	FAD
1938	LIVE OAK	14	GOOD	REMOVED	0%	0	FAD
1939	LIVE OAK	23	GOOD	REMOVED	0%	0	FAD
1940	RED OAK	18 M.T.	GOOD	REMOVED	0%	0	FAD
1941	POST OAK	29	GOOD	REMOVED	0%	0	R.O.W.
1942	POST OAK	18	GOOD	REMOVED	0%	0	R.O.W.
1943	POST OAK	19 M.T.	GOOD	SAVED			
1944	CHITTAM WOOD	6	GOOD	SAVED			
1945	PECAN	6	GOOD	REMOVED	100%	6	
1946	POST OAK	8	GOOD	SAVED			
1947	AMERICAN ELM	10	GOOD	SAVED			
1948	HACKBERRY	11	TRUNK DAMAGE	SAVED			
1949	POST OAK	19	GOOD	REMOVED	0%	0	DRAINAGE ESMT.
1950	POST OAK	22	TRUNK DAMAGE	REMOVED	0%	0	TRUNK DAMAGE ESMT.
1951	POST OAK	27 M.T.	GOOD	REMOVED	0%	0	DRAINAGE ESMT.
1952	BLACK JACK	24 M.T.	GOOD	REMOVED	0%	0	DRAINAGE ESMT.
1953	POST OAK	22 M.T.	GOOD	REMOVED	0%	0	R.O.W.
1954	POST OAK	13	GOOD	REMOVED	0%	0	R.O.W.
1955	POST OAK	18	GOOD	REMOVED	0%	0	R.O.W.
1956	POST OAK	17	GOOD	REMOVED	0%	0	R.O.W.
1957	POST OAK	19	GOOD	REMOVED	0%	0	R.O.W.
1958	POST OAK	23 M.T.	GOOD	REMOVED	0%	0	R.O.W.
1959	POST OAK	24	GOOD	REMOVED	0%	0	R.O.W.
1960	HACKBERRY	11	TRUNK DAMAGE	REMOVED	0%	0	TRUNK DAMAGE
1961	HACKBERRY	20	GOOD	REMOVED	0%	0	FAD
1962	BLACK JACK	6	GOOD	SAVED			
1963	PECAN	4	GOOD	SAVED			
1964	POST OAK	16	GOOD	REMOVED	0%	0	R.O.W.
1965	HACKBERRY	13	GOOD	REMOVED	0%	0	R.O.W.
1966	HACKBERRY	11	GOOD	REMOVED	0%	0	R.O.W.
1967	HACKBERRY	10	GOOD	REMOVED	0%	0	R.O.W.
1968	AMERICAN ELM	6 M.T.	GOOD	REMOVED	0%	0	FAD
1969	AMERICAN ELM	6	GOOD	REMOVED	0%	0	FAD
1970	HACKBERRY	8 M.T.	GOOD	REMOVED	0%	0	FAD
1971	PECAN	6	GOOD	REMOVED	0%	0	FAD
1972	HACKBERRY	10 M.T.	GOOD	REMOVED	0%	0	FAD
1973	AMERICAN ELM	17	GOOD	REMOVED	0%	0	FAD
1974	AMERICAN ELM	11	GOOD	REMOVED	100%	11	
1975	AMERICAN ELM	11	GOOD	REMOVED	0%	0	R.O.W.
1976	HACKBERRY	6	GOOD	REMOVED	0%	0	R.O.W.
1977	AMERICAN ELM	8	GOOD	REMOVED	0%	0	R.O.W.
1978	AMERICAN ELM	9	GOOD	REMOVED	0%	0	R.O.W.
1979	CEDAR	9 M.T.	GOOD	REMOVED	0%	0	R.O.W.
1980	CEDAR	8	GOOD	REMOVED	0%	0	FAD
1981	CEDAR	9	GOOD	REMOVED	0%	0	FAD
1982	AMERICAN ELM	22 M.T.	GOOD	REMOVED	0%	0	FAD
1983	CEDAR	10	GOOD	REMOVED	0%	0	FAD
1984	BRADFORD PEAR	8	GOOD	REMOVED	0%	0	FAD
1985	CEDAR	9	GOOD	REMOVED	0%	0	FAD
1986	CEDAR	13	GOOD	REMOVED	0%	0	FAD
1987	CEDAR	13	GOOD	REMOVED	0%	0	FAD
1988	CEDAR	8	GOOD	REMOVED	0%	0	FAD
1989	HACKBERRY	5	GOOD	REMOVED	100%	5	
TOTAL COLUMN MITIGATION REQUIRED						29	

TREE ID NO.	TREE TYPE	TREE CAL. SIZE	TREE CONDITION	PRESERVED OR REMOVED	MITIGATION PERCENTAGE	MITIGATION REQUIRED	NOTES
1990	AMERICAN ELM	7	GOOD	REMOVED	100%	7	
1991	CEDAR	10	GOOD	SAVED			
1992	CEDAR	9	GOOD	SAVED			
1993	CEDAR	9	GOOD	SAVED			
1994	CEDAR	8	GOOD	SAVED			
1995	CEDAR	10	GOOD	SAVED			
1996	CEDAR	11	GOOD	SAVED			
1997	CEDAR	11	GOOD	SAVED			
1998	BLACK JACK	11	GOOD	SAVED			
1999	POST OAK	23	GOOD	SAVED			
2000	POST OAK	18	GOOD	SAVED			
2001	HACKBERRY	18	GOOD	SAVED			
2002	HACKBERRY	9	GOOD	SAVED			
2003	HACKBERRY	33	GOOD	SAVED			
2004	HACKBERRY	6	GOOD	SAVED			
2005	CHITTAM WOOD	16 M.T.	GOOD	SAVED			
2006	HACKBERRY	23	GOOD	SAVED			
2007	BOIS D' ARC	18	GOOD	SAVED			
2008	HACKBERRY	16	GOOD	SAVED			
2009	HACKBERRY	15	GOOD	SAVED			
2010	HACKBERRY	10	GOOD	SAVED			
2011	HACKBERRY	15	GOOD	SAVED			
2012	HACKBERRY	14	GOOD	SAVED			
2013	HACKBERRY	12	GOOD	SAVED			
2014	HACKBERRY	17	GOOD	SAVED			
2015	HACKBERRY	18	GOOD	SAVED			
2016	HACKBERRY	12	GOOD	SAVED			
2017	HACKBERRY	3	GOOD	SAVED			
2018	HACKBERRY	12	GOOD	SAVED			
2019	HACKBERRY	16	GOOD	SAVED			
2020	HACKBERRY	14	GOOD	SAVED			
2021	HACKBERRY	18 M.T.	GOOD	SAVED			
2022	HACKBERRY	14	GOOD	SAVED			
2023	HACKBERRY	5	GOOD	SAVED			
2024	HACKBERRY	10	GOOD	SAVED			
2025	HACKBERRY	14	GOOD	SAVED			
2026	HACKBERRY	12	GOOD	SAVED			
2027	HACKBERRY	11	GOOD	SAVED			
2028	HACKBERRY	11	GOOD	SAVED			
2029	HACKBERRY	12	GOOD	SAVED			
2030	HACKBERRY	6	GOOD	SAVED			
2031	HACKBERRY	13	GOOD	SAVED			
2032	HACKBERRY	12	GOOD	SAVED			
2033	HACKBERRY	20 M.T.	GOOD	SAVED			
2034	HACKBERRY	13	GOOD	SAVED			
2035	BLACK JACK	27 M.T.	GOOD	SAVED			
2036	HACKBERRY	9	TRUNK DAMAGE	SAVED			
2037	PECAN	24 M.T.	GOOD	SAVED			
2038	HACKBERRY	4	GOOD	REMOVED	100%	4	
2039	CEDAR	7	GOOD	SAVED			
2040	CEDAR	11 M.T.	GOOD	SAVED			
2041	PECAN	18	GOOD	SAVED			
2042	HACKBERRY	22	TRUNK DAMAGE	SAVED			
2043	HACKBERRY	13	TRUNK DAMAGE	SAVED			
2044	HACKBERRY	11	TRUNK DAMAGE	SAVED			
2045	HACKBERRY	22	TRUNK DAMAGE	SAVED			
2046	HACKBERRY	14	TRUNK DAMAGE	SAVED			
2047	HACKBERRY	4	GOOD	SAVED			
2048	HACKBERRY	28	GOOD	SAVED			
2049	CEDAR	15	GOOD	SAVED			
2050	HACKBERRY	19 M.T.	GOOD	SAVED			
2051	CEDAR ELM	18	GOOD	SAVED			
2052	HACKBERRY	14	GOOD	SAVED			
2053	HACKBERRY	21 M.T.	GOOD	SAVED			
2054	HACKBERRY	15	GOOD	SAVED			
2055	PECAN	29 M.T.	GOOD	SAVED			
2056	CEDAR	6	GOOD	SAVED			
2057	HACKBERRY	5	GOOD	SAVED			
2058	CHITTAM WOOD	5	GOOD	SAVED			
2059	CEDAR	13	TRUNK DAMAGE	SAVED			
TOTAL COLUMN MITIGATION REQUIRED						11	

TREE ID NO.	TREE TYPE	TREE CAL. SIZE	TREE CONDITION
-------------	-----------	----------------	----------------



Know what's below.
Call before you dig.
(@ least 48 hours prior to digging)

[illegible]

PRELIMINARY
FOR REVIEW ONLY
These documents are for
Design Review and not
intended for
Construction, Bidding or
Permit Purposes. They
were prepared by, or
under the supervision of:
Drew J. Dubocq
L.A.#3141
07/16/2020

GENERAL NOTES :

1. Locate all utilities prior to digging. Contractor shall be responsible for all damage incurred by his/her work.

2. Contractor shall advise the Owner and Landscape Architect of any condition found on site which prohibits installation as shown on these plans.

3. If a discrepancy between drawings and plant schedule is found, the drawings shall take precedent over the plant schedule.

4. Plant material shall comply with all sizing and grading standards of the latest edition of 'American Standard for Nursery Stock.'

5. Contractor shall stake out tree locations and bed configuration for approval by Owner prior to installation.

6. Substitutions shall not be made without prior written authorization from the Owner or Landscape Architect.

7. All disturbed areas not indicated as planting beds shall be sodded by Contractor to provide an established turf area.

8. Contractor shall remove reasonable amount of ¾" or larger stones, dead roots, detritus and other undesirable material from existing soil.

9. If rocks are encountered, remove to a depth of 3" and add 3" of friable fertile topsoil to all sodded areas. Contractor to ensure that site is graded according to the Engineer's grading plan.

10. Lawn areas shall have 3" minimum friable topsoil and be treated with fertilizer applied at a rate of 20 pounds per 1,000 square feet.

11. Soil preparation for planting beds shall be as follows:

- 3" of organic compost

- 20 pounds of organic fertilizer / 1,000 sf of bed area

- Till bed to a depth of 6" to 8"

- Check soil acidity. Soil acidity should range from 5.0 to 7.0 pH. Regulate if necessary.

12. All plant beds shall be top dressed with a minimum 3" of fine shredded hardwood mulch.

13. Provide steel edge between all plant beds and lawn areas unless indicated differently on plans.

14. Tree planting pits shall be cleared of undesirable material and backfilled with prepared top soil. Place 1" of compost and 3" of shredded hardwood mulch on top of root ball.

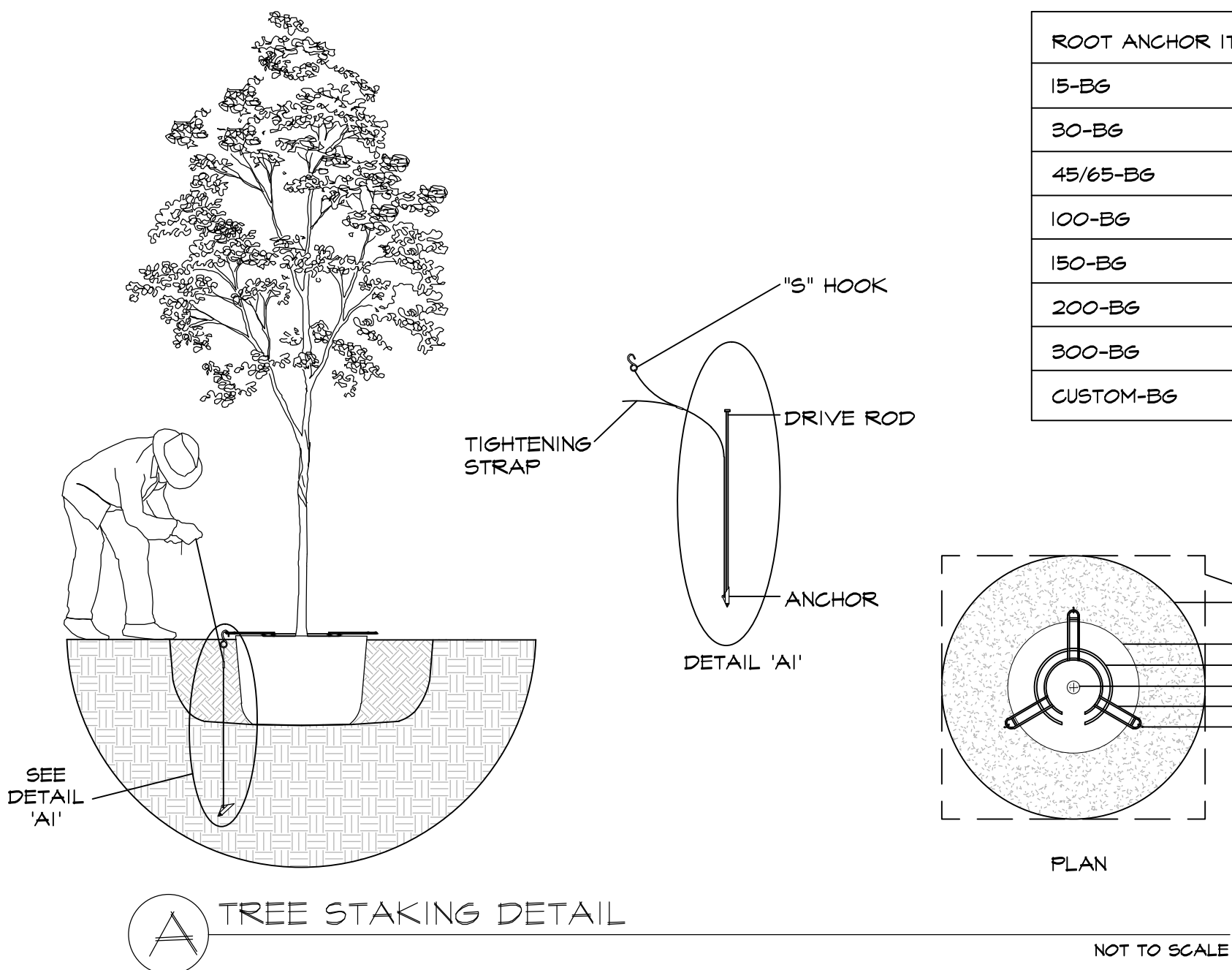
15. The Contractor will be held liable for any damage caused to trees due to improper staking methods, including absence of staking throughout the warranty period.

16. Trees shall be planted at least 2.5 feet from any right-of-way line, curb, walk, and outside all utility easements.

17. Trees shall be planted at least 8 feet from any public utility line where possible. In the event this is not possible, Contractor shall install a root barrier, per the detail(s) noted on this sheet.

18. Trees overhanging walks and parking areas shall have a clear trunk height of 7 feet from finish surface grade.

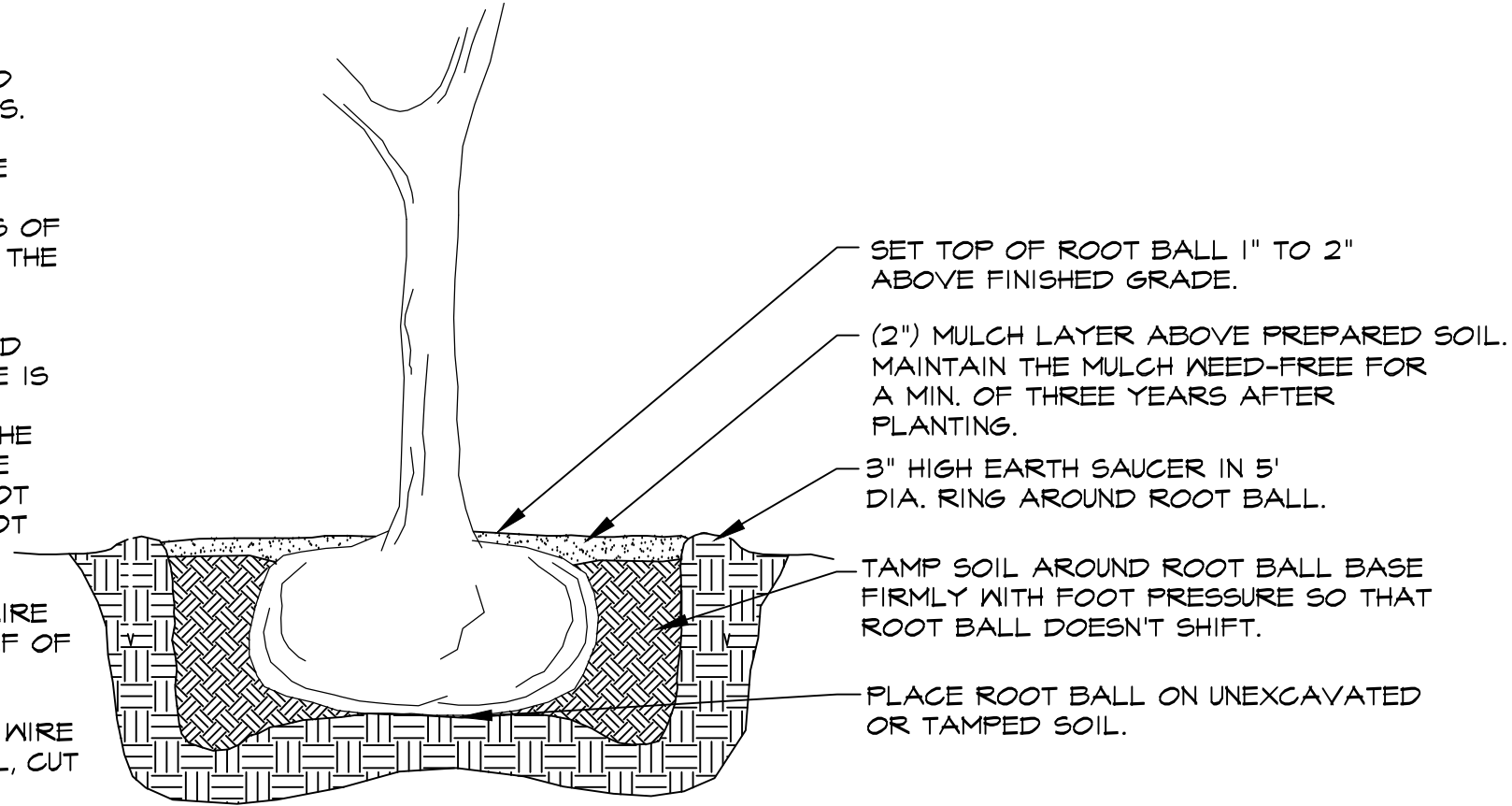
19. Contractor shall warranty plant material to remain alive and healthy for a period of one year after the final acceptance. All plant material shall be maintained in a healthy condition in accordance with the season. Dead, damaged or destroyed plant material shall be replaced in kind within thirty days. Warranty shall not include damage for loss of plant material due to natural causes, acts of vandalism or negligence on the part of the owner.
20. Landscape areas shall be kept free of trash, litter and weeds.
21. An automatic irrigation system shall be provided to maintain all landscape areas. Overspray on streets is prohibited.
22. Installing contractor to maintain landscaping for 30 days from owner occupancy to establish plants and grass, mowing and trimming to be included.
23. All areas disturbed by construction shall be fine graded and re-established by sod. These areas shall be irrigated and maintained until permanent stand of grass is achieved 100% coverage. This is to include all areas to the back of curb around the property.
24. Any hardwood mulched beds on site shall have permeable weed mat installed prior to plant material and mulch being installed.
25. All bedding areas with ground cover (Asian Jasmine, Wintercreeper, etc.) shall be top dressed with hardwood mulch until ground cover has covered area completely.
26. Any switch gear devices, electrical transformers, telephone pedestals, and hvac units located on the property are to be screened. If these devices have been altered from the most recent plans, the contractor is to verify placement of these utilities and contact Landscape Architect for plant material specifications and placement.
27. Landscape contractor shall not place topsoil or mulch above brick ledge of the building and shall not block weep holes on the building.
28. If the grades on site at the time the landscape contractor is set to begin work does not allow the brick ledge and weep holes to remain uncovered, it is the landscape contractor's responsibility to notify the owner or general contractor immediately.



NOTES:

1. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
2. EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
3. REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP HALF OF ROOT BALL.
4. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 8" INTO PLANTING HOLE.

B TREE PLANTING DETAIL NOT TO SCALE



ROOT ANCHOR ITEM#	ROOT BALL & CONTAINER SIZE	ANCHOR INSTALLATION DEPTH	QUANTITY & ANCHOR SIZE
15-B6	10 / 15 Gallon or 17" root ball	12 - 18" Minimum Depth	3 - V68 Anchors
30-B6	20 / 34 Gallon or 22" root ball	18 - 24" Minimum Depth	3 - V68 Anchors
45/65-B6	45 / 65 Gallon or 27-30" root ball	24 - 30" Minimum Depth	3 - V68 Anchors
100-B6	95 / 100 Gallon or 36" root ball	30 - 36" Minimum Depth	3 - V68 Anchors
150-B6	150 Gallon or 42" root ball	48" Minimum Depth	3 - V68 Anchors
200-B6	200 Gallon or 48" root ball	48" Minimum Depth	3 - V88 Anchors
300-B6	300 Gallon or 58" root ball	48" Minimum Depth	3 - V88 Anchors
CUSTOM-B6	Root Balls larger than 60"	TBD	

STEP 1:

- Set tree in planting pit.

Place anchor with ring side down against top of root ball.

Center root anchor's inner ring(s) around trunk of tree.

Align drive rod as close as possible to outside edge of u-bracket.

STEP 2:

- Drive anchor straight down into undisturbed subbase soil.

See chart for recommended depths per tree size.

STEP 3:

- Remove drive rod.

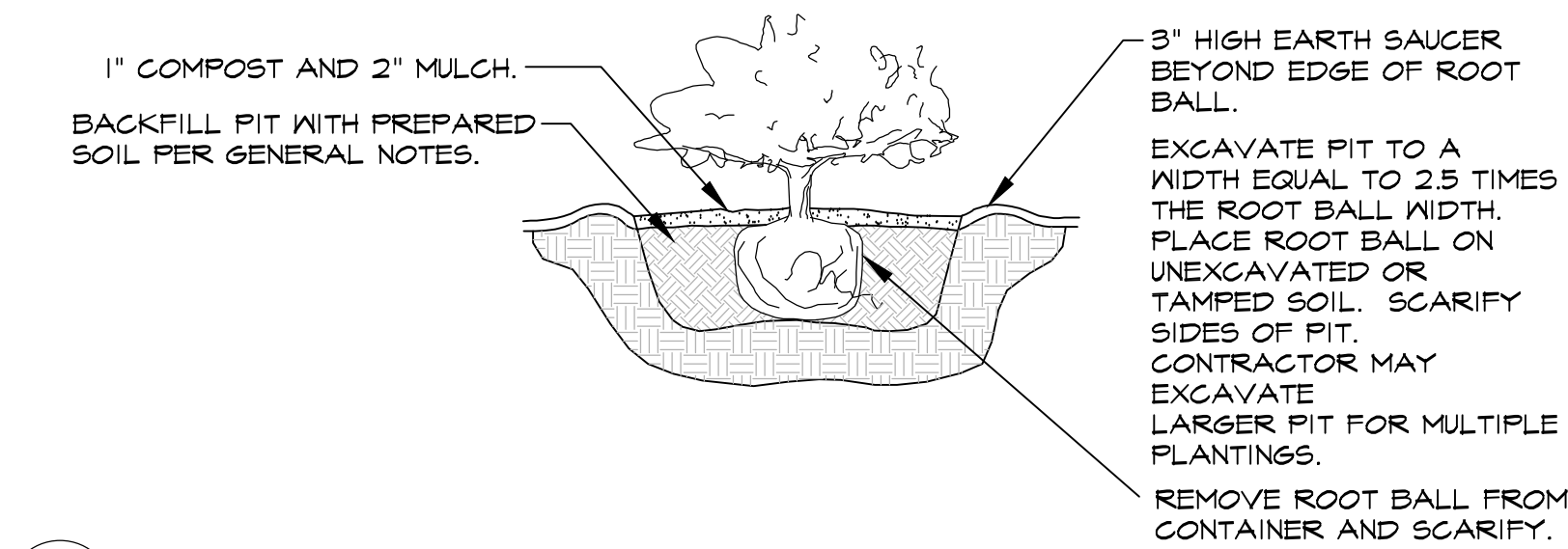
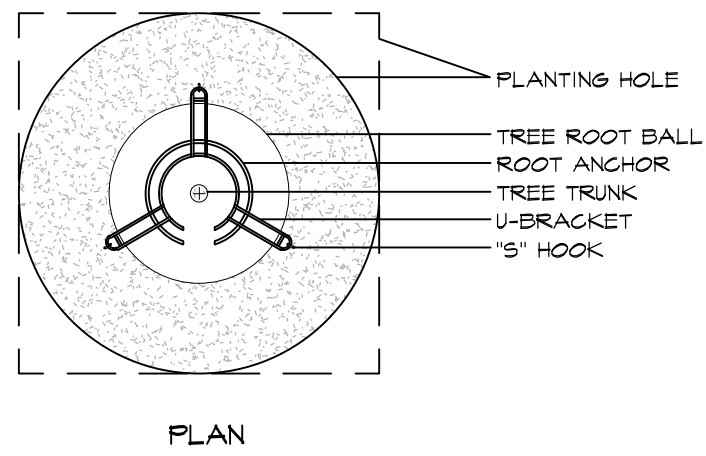
Repeat steps 1 & 2 for all three (3) anchor locations.

Full back on strap approximately 3" for the v-68 anchor, or 6" to 7" for the v-88 anchor to set anchor into a horizontal or locked position. A fulcrum may be required to assist in setting the anchor.

Place "S" hook over the end of the u-bracket.

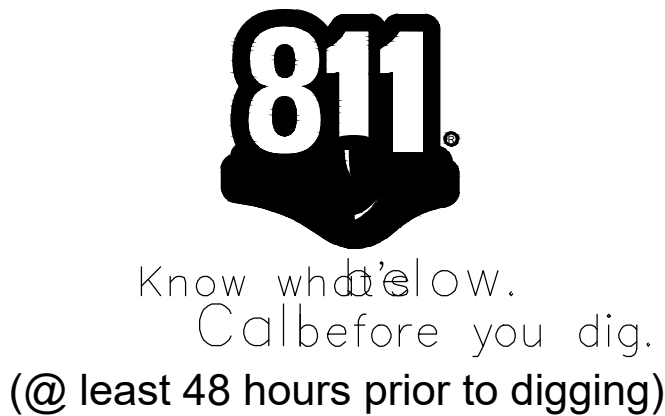
Full strap up vertically until root anchor rings bite into the top of the root ball and u-brackets are setting flush on top of the root ball.

Tie excess strap off to the u-bracket allowing enough remaining strap to adjust tree, if necessary.



C SHRUB PLANTING DETAIL NOT TO SCALE

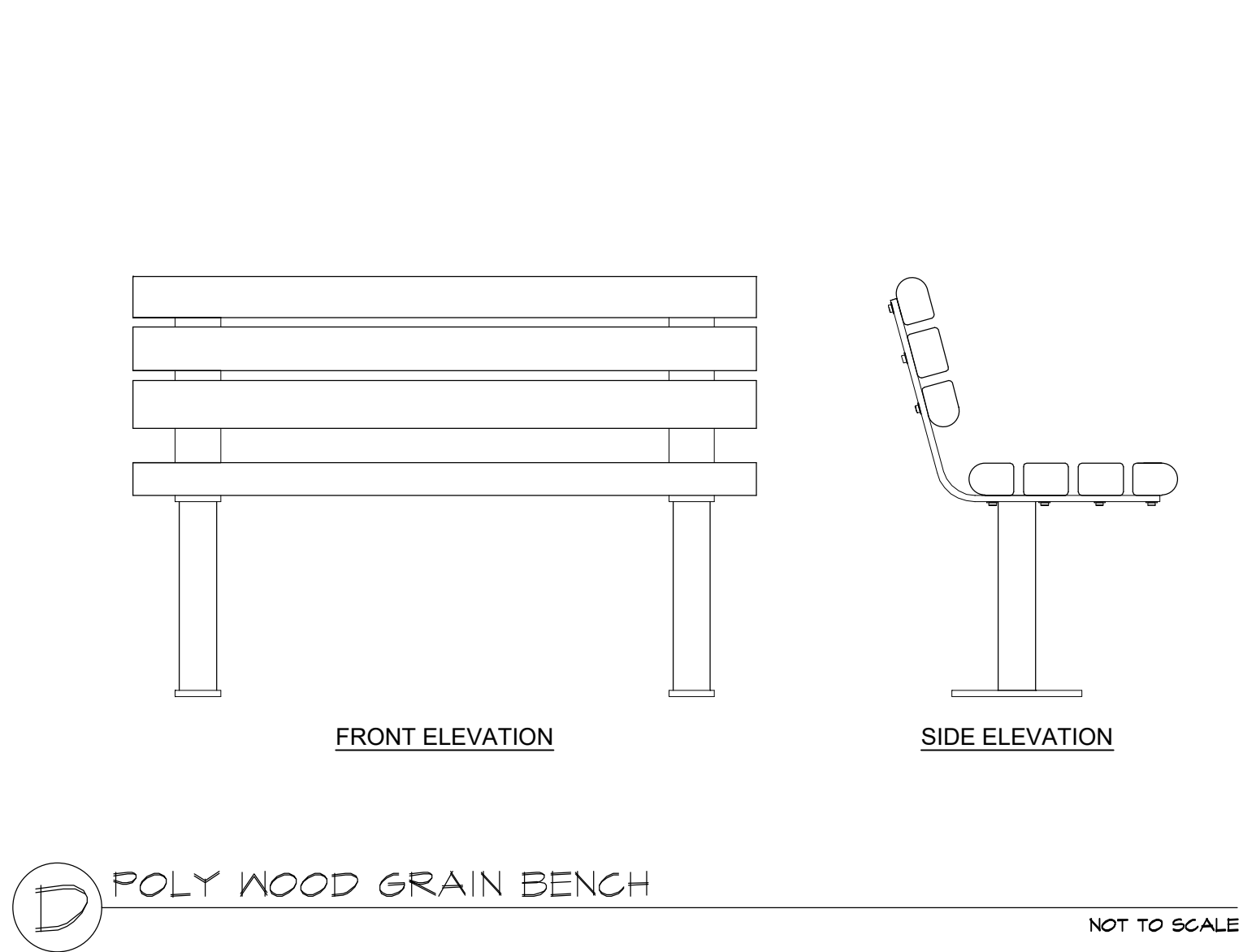
PLANT_SCHEDULE						
TREES	QTY	BOTANICAL / COMMON NAME	CONT	GAL	SIZE	NOTES
	2	Cercis reniformis 'Oklahoma' / Oklahoma Red Bud	30 GAL.	3"	6'-8'	Full, Matching, Symmetrical
	12T	Existing Tree To Remain	N/A			
	9	Lagerstroemia indica 'Tuscarora' / Grape Myrtle	30 GAL	3"	6'-8'	Full, Matching, Symmetrical
	115	Residential lot tree (Red Oak, Live Oak, Cedar Elm, or Chinese Pistache)	45 GAL.	3"	10'-12'	Full, Matching, Symmetrical
	6	Taxodium distichum / Bald Cypress	45 GAL.	3"	10'-12'	Full, Matching, Symmetrical
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING	NOTES
	4	Ilex x 'Nellie R Stevens' / Nellie Stevens Holly	15 GAL.	48" HT	PER PLAN	Full, Matching, Symmetrical
	4	Ligustrum sinense 'Sunshine' / Sunshine Ligustrum	3 GAL.	24" HT	PER PLAN	Full, Matching, Symmetrical
	8	Muhlenbergia capillaris / Pink Muhly	3 GAL	24" HT	PER PLAN	Full, Matching, Symmetrical
	28	Nassella tenuissima 'Pony Tails' / Mexican Feather Grass	1 GAL	12" HT	PER PLAN	Full, Matching, Symmetrical
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	NOTES			
	51,265 sf	Cynodon dactylon 'Tif 419' / Bermuda Grass	Sod or Seed per City allowance			
	336	Seasonal Annuals	4" pots, 8' o.c., triangular spacing.			



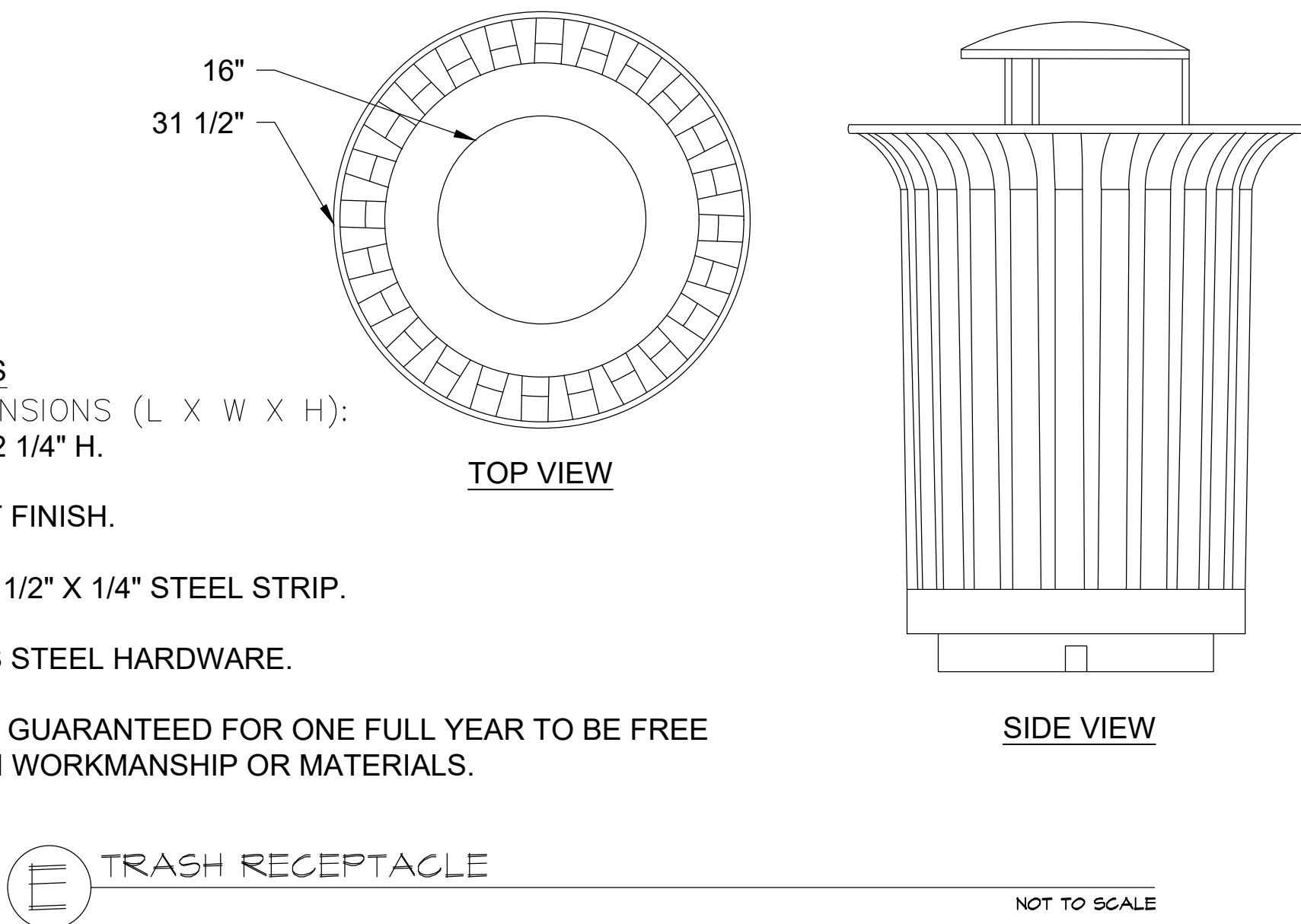
No.	Date	Revision Description
PROJECT NO: 090-20-001		

PRELIMINARY
FOR REVIEW ONLY
These documents are for
Design Review and not
intended for
Construction, Bidding or
Permit Purposes. They
were prepared by, or
under the supervision of:
Drew J. Dubocq
L.A.#3141
07/16/2020

File: B:\Clients\090 (Skidburg Development)\090-20-001 (72 Lots Lake Dallas - LS)\Civil\Sheet Set\L-1.0 Landscape Plan.dwg Date Plotted: 7/16/2020 2:33 PM Plotted By: drew



SPECIFICATIONS
PRODUCT DIMENSIONS (L X W X H):
- 23 3/8" DIA. X 42 1/4" H.
COATING:
- POWDER COAT FINISH.
FRAME:
- MIG WELDED 1 1/2" X 1/4" STEEL STRIP.
HARDWARE:
- ALL STAINLESS STEEL HARDWARE.
WARRANTY:
- ALL ITEMS ARE GUARANTEED FOR ONE FULL YEAR TO BE FREE OF DEFECTS IN WORKMANSHIP OR MATERIALS.





Know what's below.
Call before you dig.
(@ least 48 hours prior to digging)

No.	Date	Revision Description
PROJECT NO.: 090-20-001		

PRELIMINARY
FOR REVIEW ONLY
These documents are for
Design Review and not
intended for
Construction, Bidding or
Permit Purposes. They
were prepared by, or
under the supervision of:
Drew J. Dubocq
L.A.#3141
07/16/2020

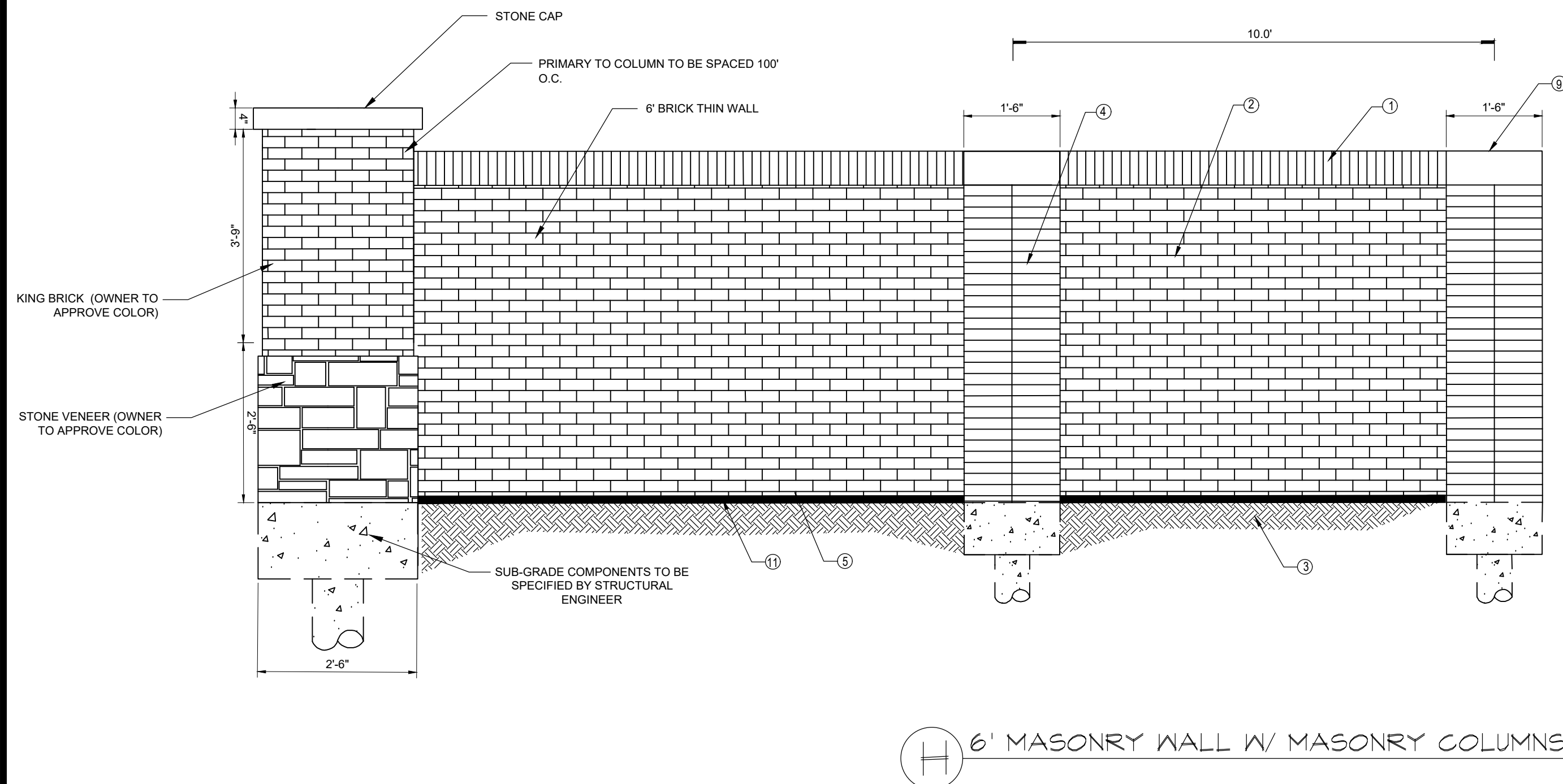
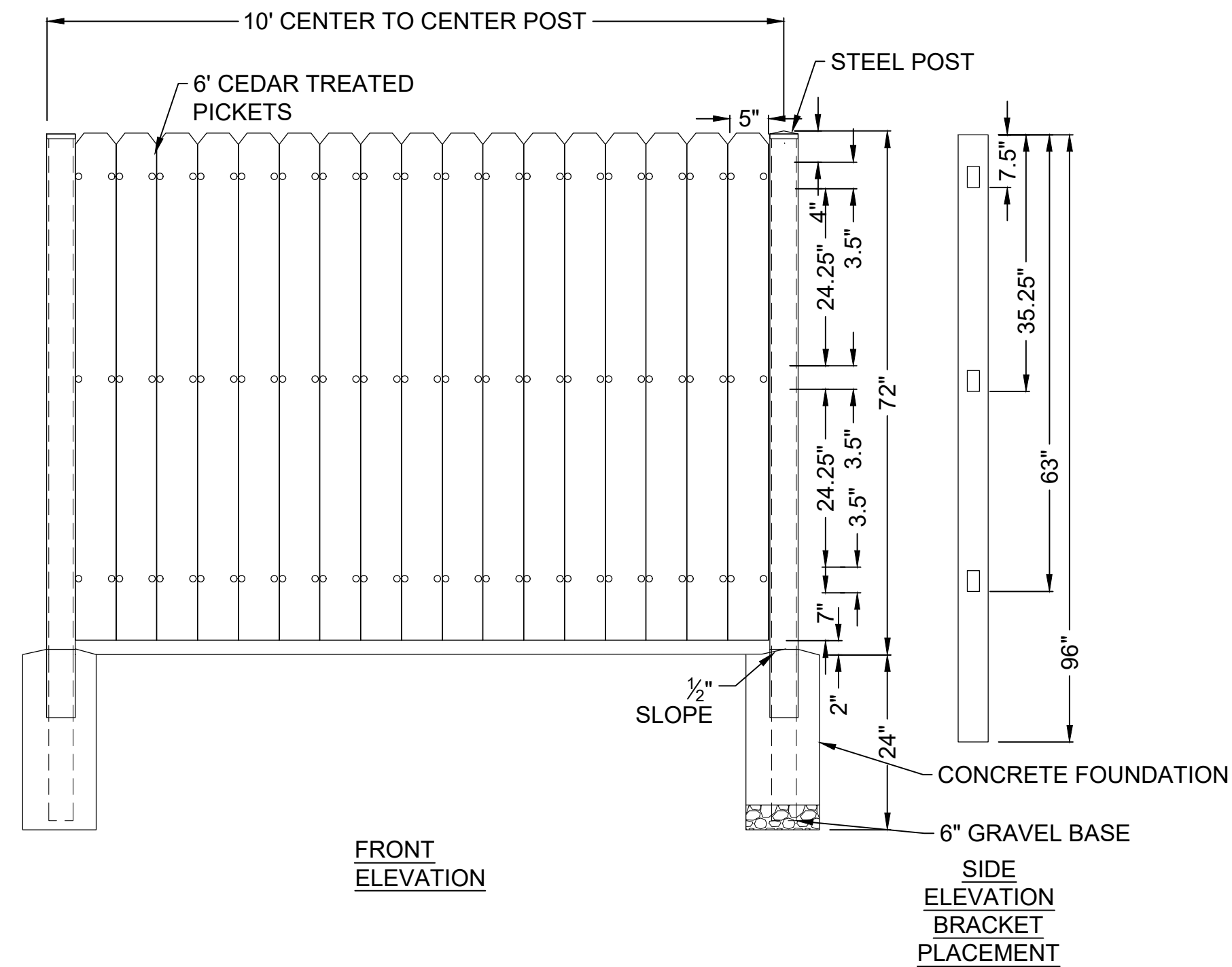
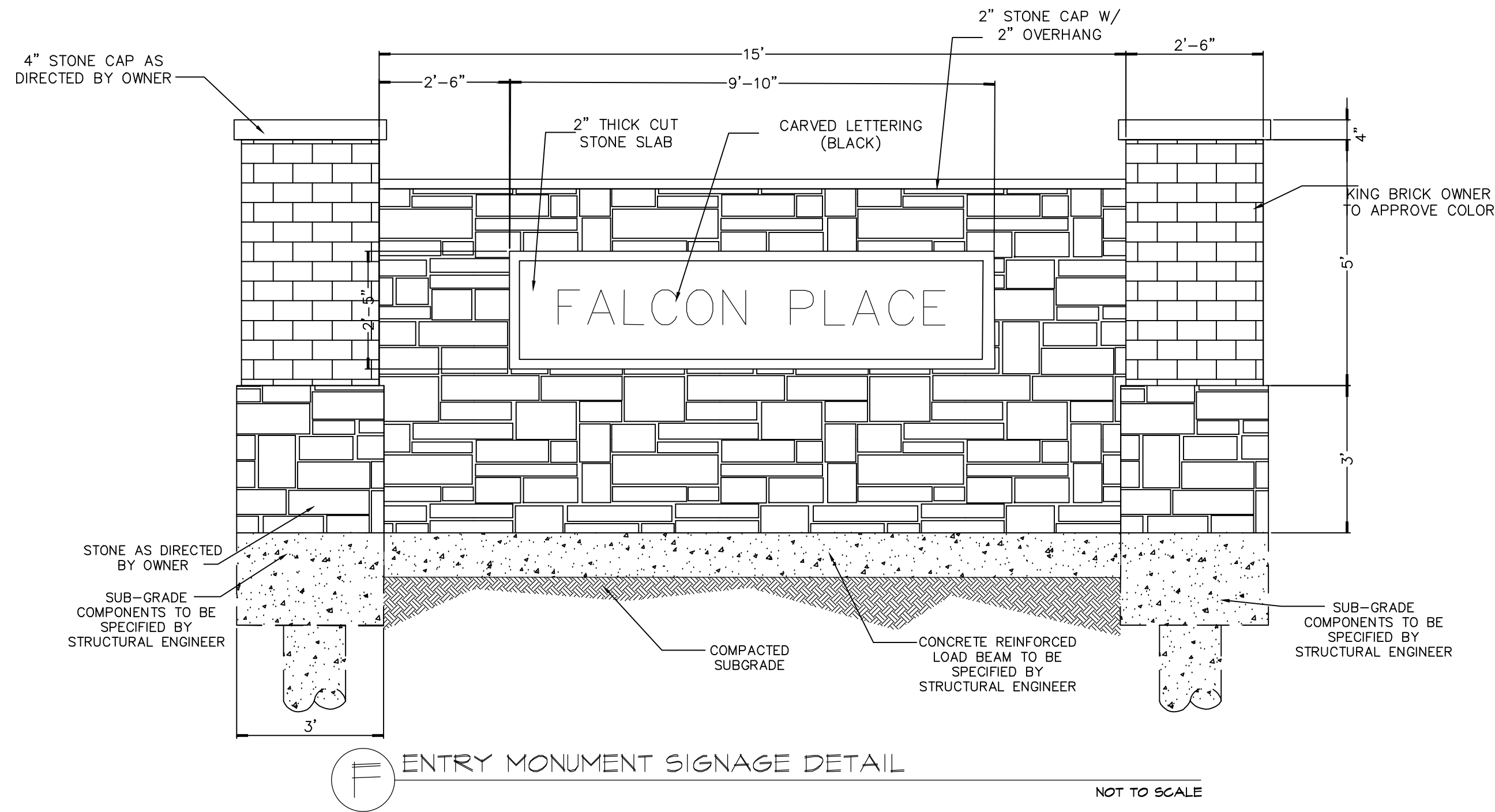
FALCON PLACE
LAKE DALLAS, TEXAS

LANDSCAPE DETAILS

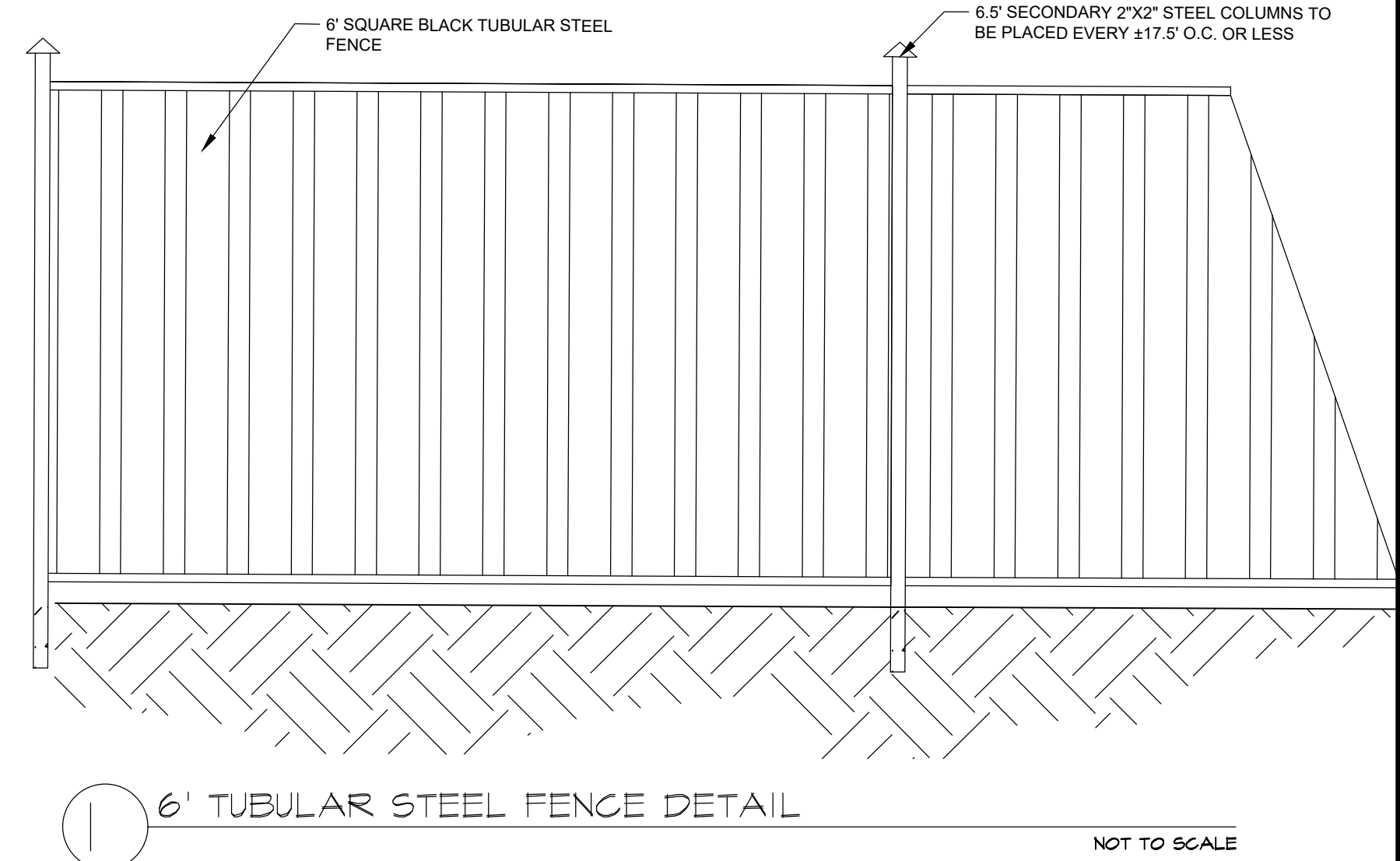
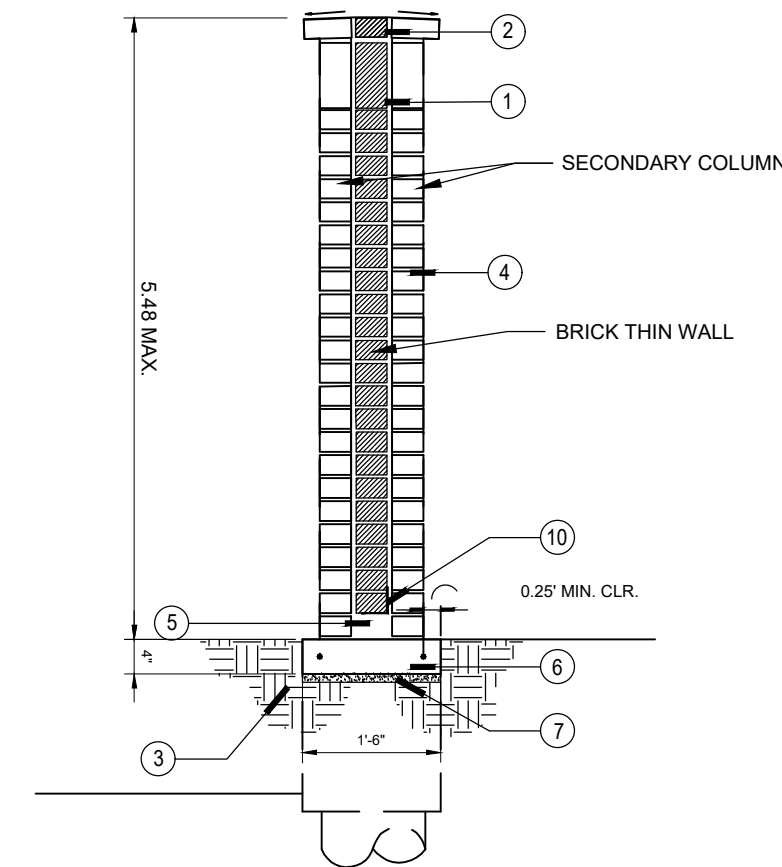


BANNISTER
ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

File: B:\Clients\090 (Scribburg Development)\090-20-001 (72 Lots Lake Dallas - LS)\Civil\Sheet Set\L-1.0 Landscape Plan.dwg || Date Plotted: 7/16/2020 2:33 PM || Plotted By: drew



- 1 SOLDIER COURSE @ TOP OF WALL (SEE ELEVATION).
- 2 STANDARD RUNNING BOND BRICK FACING W/STANDARD MASONRY H-REINFORCING. BRICK SELECTION BY OWNER. REINFORCED W/ 1-NO. 9 GAUGE WIRE HORIZONTAL AT EACH COURSE. PROVIDE SLIGHT SLOPE @ TOP AS SHOWN TO FACILITATE DRAINAGE.
- 3 COMPACTED SUBGRADE TO 95% OF AASHTO T-99 DENSITY.
- 4 STANDARD 18" WIDE BRICK SUPPORT @ 12' OR 10' O.C.
- 5 BOTTOM COURSE WITH WEEP OPENINGS
- 6 CONCRETE MOW-STRIP W/ (2) #4 BARS CONTINUOUS, 8" o.c. MIN. 1" SAND SETTING BED.
- 7 12"- PIER x DEPTH TO 8' MIN. BELOW EXISTING GRADE @ 12' O.C. MAX. (O.C. TO MATCH COLUMNS & BRICK SUPPORTS)
- 8 COLUMN CAP
- 9 3"x3"x1" GALVANIZED ANGLE IRON
- 10 4" OPENING



811
Know what's below.
Call before you dig.
(@ least 48 hours prior to digging)

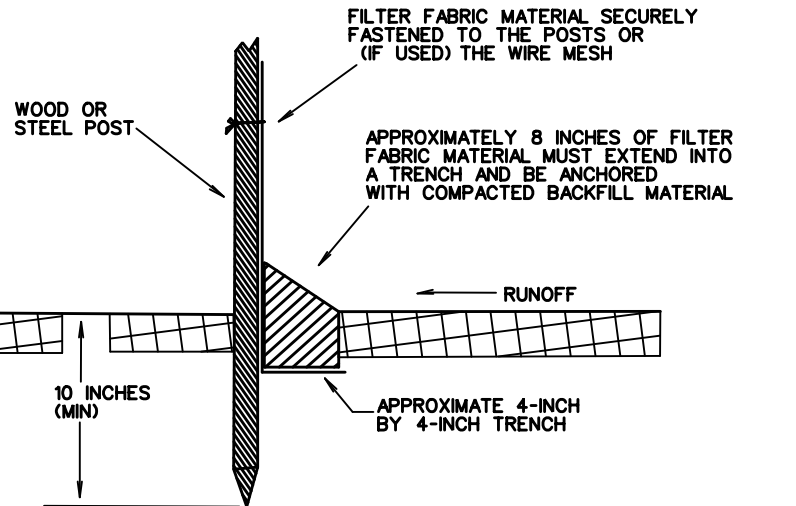
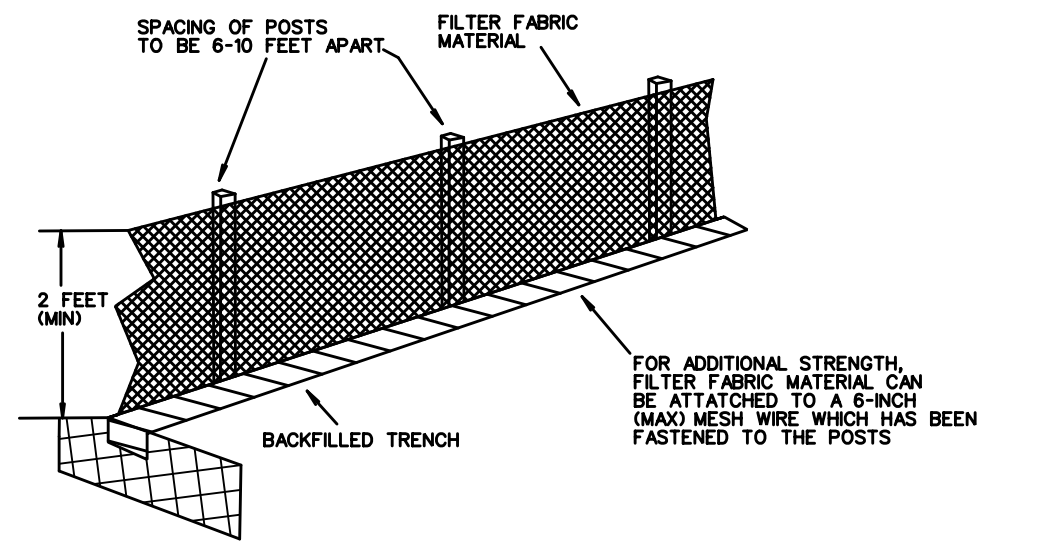
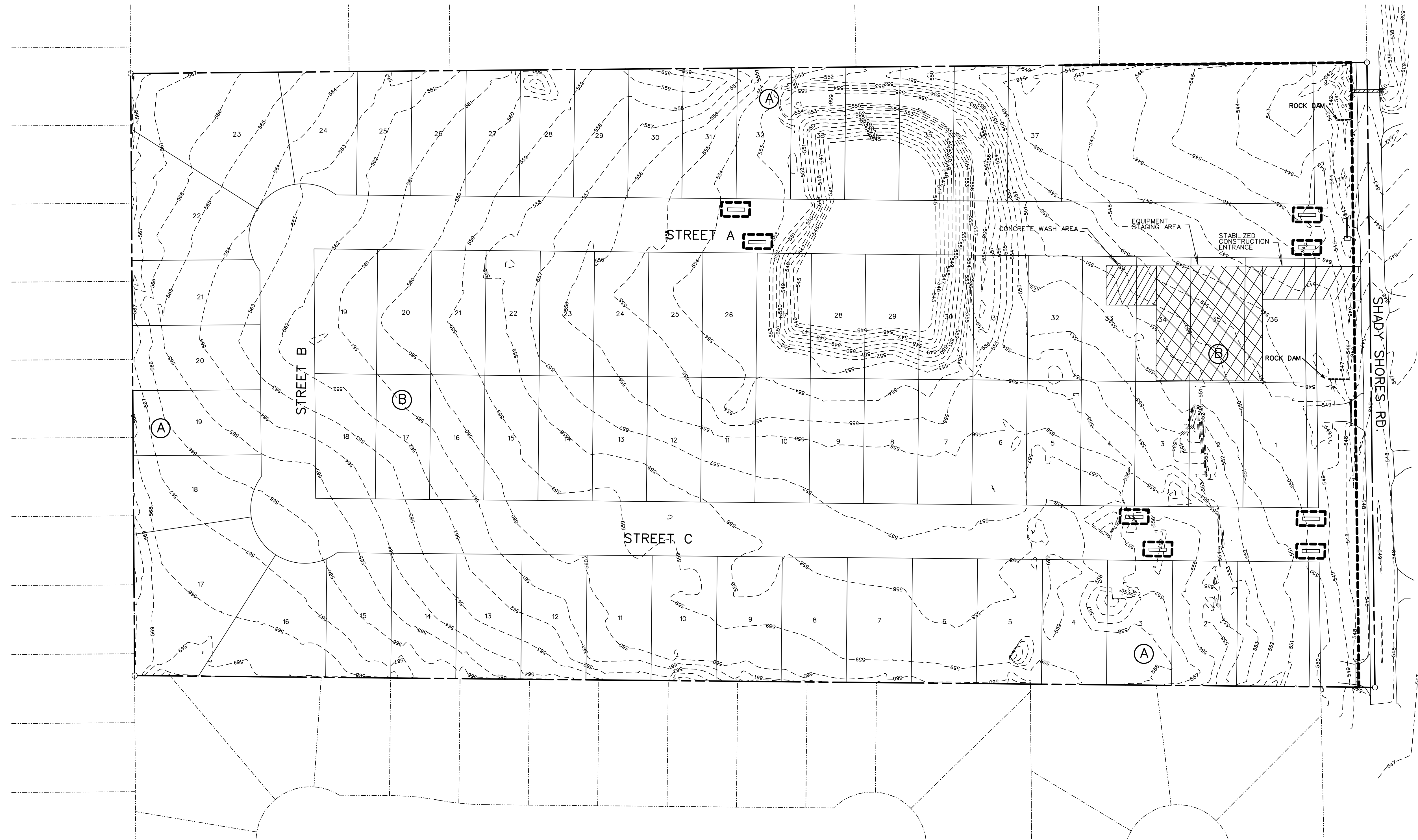
BANNISTER
ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10399 (TEXAS)

FALCON PLACE
LAKE DALLAS, TEXAS
HARDSCAPE DETAILS

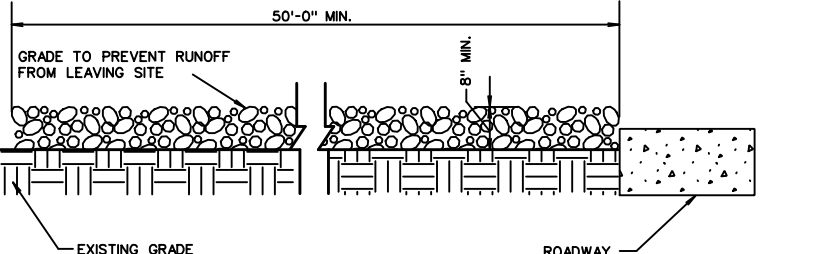
No.	Date	Revision Description

PRELIMINARY
FOR REVIEW ONLY
These documents are for
Design Review and not
intended for
Construction, Bidding or
Permit Purposes. They
were prepared by, or
under the supervision of:
Drew J. Dubocq
L.A.#3141
07/16/2020

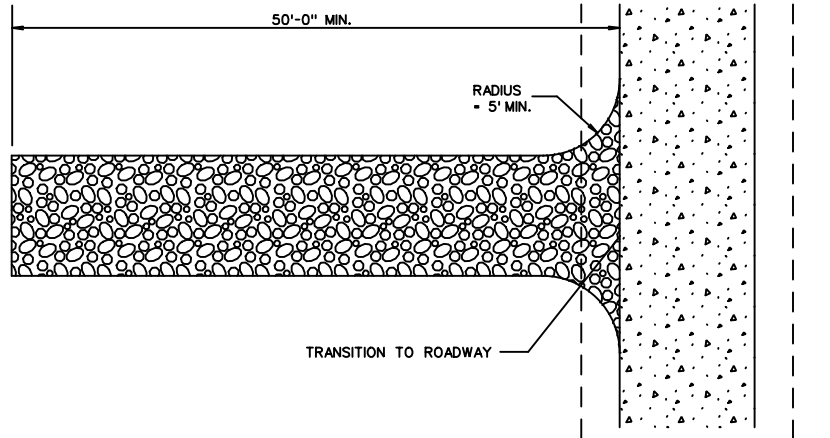
SHEET NUMBER
L-1.3



FILTER FABRIC FENCE DETAIL



PROFILE

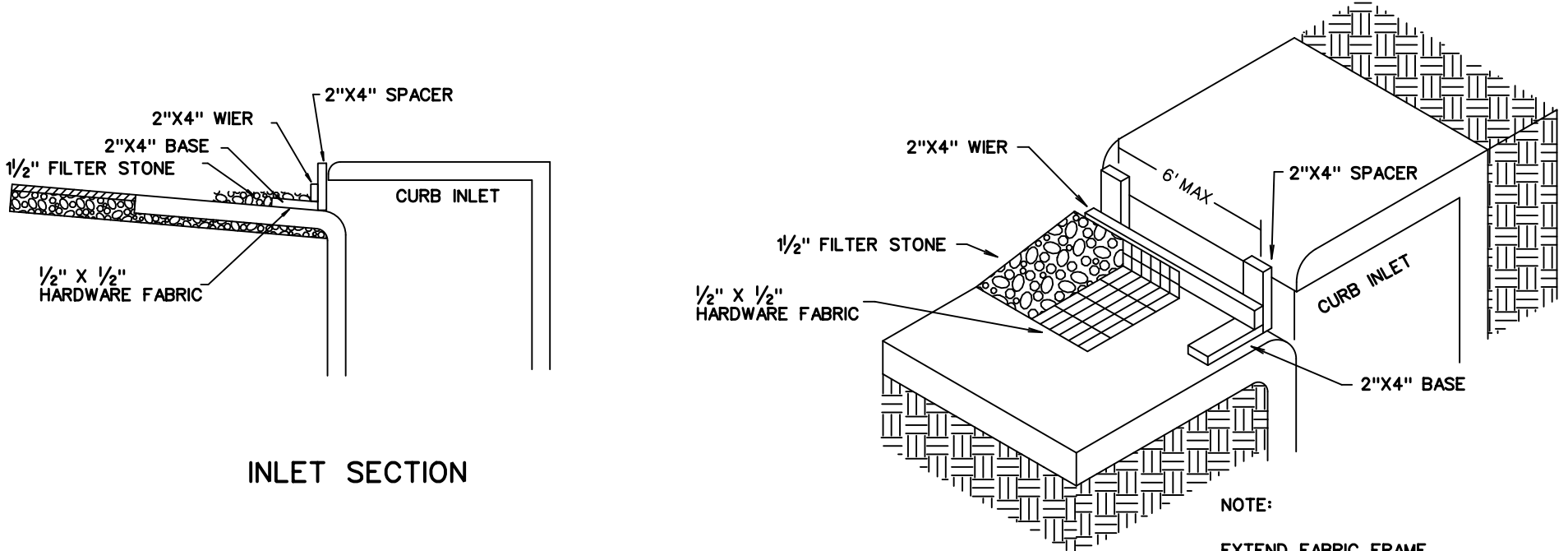


PLAN VIEW

STABILIZED ENTRANCE DETAIL

CONSTRUCTION SEQUENCE

1. GRADING CONTRACTOR TO INSTALL TEMPORARY STABILIZED ENTRANCE.
2. INSTALL SILT FENCE AS SHOWN, (TS-600 POLY FELT) PER C.O.G. SPECIFICATIONS.
3. PERFORM GRADING AND UTILITY CONSTRUCTION.
4. AFTER THE INLET BOTTOMS ARE CONSTRUCTED, THE INLETS SHALL BE FILLED WITH STONE AND COVERED WITH A FILTER FABRIC (TS-600 POLY FELT OR EQUIVALENT) BY UTILITY CONTRACTOR.
5. AFTER PAVING AND COMPLETION OF INLETS, INLET FILTERS SHALL BE INSTALLED IN ALL INLETS AND MAINTAINED UNTIL RE-VEGETATION HAS BEEN COMPLETED BY PAVING CONTRACTOR.
6. SILT FENCE SHALL BE PLACE AROUND ALL STREETS AFTER CONSTRUCTION.
7. PAVING CONTRACTOR SHALL REMOVE TEMPORARY STABILIZED ENTRANCE.
8. PRIOR TO CITY ACCEPTANCE THE PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY MUD OR SILT WHICH COLLECTS ON THE EXISTING AND NEW PAVEMENT AND INSTALLING EROSION MAT.

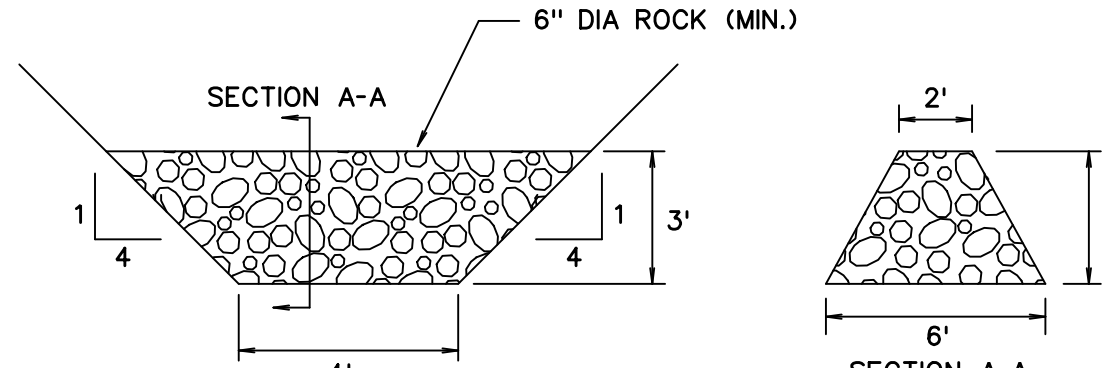


INLET SECTION

INLET PROTECTION

NOTE:
EXTEND FABRIC, FRAME AND FILTER STONE 12" BEYOND END OF INLET ON BOTH ENDS.

0
SCALE: 1" = 50'



ROCK DAM
N.T.S.

LEGEND

PHASE I

SILT FENCE

ROCK DAM

NOTE:
THE OWNER WILL BE RESPONSIBLE FOR SWPPP AND MONITORING REPORTING FOR THIS PROJECT DURING CONSTRUCTION.

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF WARREN L. CORWIN, P.E. *57875. IT SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.

DISTURBED AREA = 14.828 ACRES

CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013 (972)396-1200
TBPE FIRM *5951

DEVELOPMENT PLANS FOR
FALCON
PLACE
LAKE DALLAS, TEXAS

EROSION CONTROL PLAN

DRAWN BY	DESIGNED BY	CHECKED BY	SHEET NO.
JOB NUMBER	DATE	SCALE: HOR: 1"=40' VER: 1"=4'	18
20021	JULY 2020		



August 13, 2020
AVO 37635.200

Ms. Angie Manglaris
City of Lake Dallas
212 Main Street
Lake Dallas, TX 75065

**RE: Falcon Place Development – Preliminary and Final Plats
Review No. 2**

Dear Ms. Manglaris:

The City of Lake Dallas received Preliminary Plat and Final Plat applications for the referenced project on July 24, 2020. A second submittal was received August 7, 2020. The surveyor is Corwin Engineering, Inc.

Halff has completed the second review of the Preliminary and Final Plats and recommends approval contingent upon approval of the Downstream Assessment still under review. We will continue to review the Downstream Assessment by separate letter.

Sincerely,
HALFF ASSOCIATES, INC.
TBPELS Engineering Firm No. 312

A handwritten signature in blue ink, appearing to read "Lee T. Williams", with a stylized flourish at the end.

Lee Williams, P.E.
City Engineer for the City of Lake Dallas

C: Glenda Cowling – Development Services



JOINT CITY COUNCIL
PLANNING AND ZONING COMMISSION
AGENDA MEMO

Prepared By: Angie Manglaris, Director of Development Services

August 20, 2020

Discussion and Workshop on Proposed Use Charts

DESCRIPTION:

Receive a report, hold a discussion, and provide City Staff with direction regarding the addition of Use Charts and Zoning Districts situated within the City of Lake Dallas Code of Ordinances Chapter 122- Zoning.

BACKGROUND INFORMATION:

On June 18, 2020, the City of Lake Dallas City Council and Planning and Zoning Commission held a joint workshop to discuss possible amendments to the Zoning Ordinance. After discussion, the City Council and the Planning and Zoning Commission agreed the Zoning Ordinance was in need of being updated and indicated the first step in the process would be to establish Use Charts.

Mr. Dave Gattis, Planning Consultant, has compiled narrative descriptions of each zoning district to help guide the conversation. Mr. Gattis has incorporated changes to the different zoning categories based on the discussions held at the June 18th Joint workshop and in conversations with City Staff. The proposed changes to the zoning districts are as follows:

- Elimination of the C-3 Commercial District.
- Addition of a Community Facilities District
- Changing the IH-35E Commercial Corridor Overlay, Downtown Mixed-Use Overlay and Swisher Road Overlays into stand-alone zoning districts.
- Consider elimination of the Swisher Road Overlay Entirely and rezone the area C-1 Retail

The proposed Use Charts have also been reformatted for clarity. The changes made the Use Charts since the June 18th meeting are as follows:

- The number of uses has been condensed to create broad categories rather than listing out each use individually.
- The key has been changed so that “P” indicates Permitted Use; “S” indicates Special Use Permit; and a blank cell indicates the use is prohibited.

FINANCIAL CONSIDERATION:

There is no financial impact to the taxpayers of Lake Dallas.

RECOMMENDED MOTIONS:

There is no action required as part of this agenda item. City Staff recommends the City Council and Planning and Zoning Commission go through the proposed Use Charts line by line and provide direction to City Staff on any amendments they would like to see.

City Staff also requests direction from the City Council and Planning and Zoning Commission regarding Zoning Districts. Specifically, the consolidation of any existing districts and/or the addition of new districts.

ATTACHMENT(S):

1. Zoning Districts Purpose Descriptions
2. Draft Use Charts

SUMMARY OF ZONING DISTRICTS

CITY OF LAKE DALLAS

AUGUST 2020

Residential Districts

R-1-6000 Single Family Dwelling District

The purpose of this zoning classification is to provide for areas of traditional and contemporary subdivisions solely for single family residences and associated uses on lots of 6,000 square feet or larger and an overall density of six units per acre or less. This zoning classification is intended to conserve neighborhood character and value of buildings.

R-1-7200 Single-Family Dwelling District

The purpose of this zoning classification is to provide for areas of traditional and contemporary subdivisions solely for single family residences and associated uses on lots of 7,200 square feet or larger and an overall density of five units per acre or less. This zoning classification is intended to conserve neighborhood character and value of buildings.

R-1-10000 Single-Family Dwelling District

The purpose of this zoning classification is to provide for areas of traditional and contemporary subdivisions solely for single family residences and associated uses on lots of 10,000 square feet or larger and an overall density of 3.6 units per acre or less. This zoning classification is intended to conserve neighborhood character and value of buildings.

R-2 Two-Family Dwelling District

This district is the most restrictive of the multiple family districts and is intended for two-family dwelling units only on lots of 7,200 square feet or larger and an overall density of ten units per acre or less. This district is intended for zones of transition from the single-family zone to higher density multiple family or commercial zones.

R-3 Multifamily Residence District

This district allows medium to high density multiple family dwelling use of the land up to 18 units per acre and is intended to comprise larger tracts of land (one acre or more) designed to provide residential amenities of open space, recreation space and areas of protected off-street parking. This district should be located near collector and thoroughfare streets capable of handling higher volume traffic. The R-3 District is intended to meet the needs for higher density residential area aesthetics, is environmentally sound, is compatible with the neighborhood, and promotes the character of the community.

Manufactured Home Districts

R-1-4000 Manufactured Home Residential District

This zoning classification is established for HUD-Code manufactured home communities with individual lots fronting onto public streets. This district is designed to protect residential areas from

pollution, environmental hazards and other objectionable influences, and to provide for adequate vehicular and pedestrian circulation. The R-1-4000 district is established to provide minimum lot sizes of 4,000 square feet and overall densities of 8.7 units per acre or less. The district is intended to promote compatibility with existing and proposed neighborhoods and to promote the most desirable use of land and direction of building development, to promote stability of development, to protect the character of the district, to preserve the value of the land and buildings; and to protect the city's tax base while providing affordable housing options.

R-1-4000C Commercial Manufactured Home Residential District

This zoning classification is established for HUD-Code manufactured home communities within unified commercially operated manufactured home parks, usually with private streets and where lots are not sold that existed prior to March 23rd, 2006. This district is designed to protect residential areas from pollution, environmental hazards and other objectionable influences, and to provide for adequate vehicular and pedestrian circulation. The R-1-4000 district is established to provide minimum lot sizes of 4,000 square feet and overall densities of 8.7 units per acre or less. The district is intended to promote compatibility with existing and proposed neighborhoods and to promote the most desirable use of land and direction of building development, to promote stability of development, to protect the character of the district, to preserve the value of the land and buildings; and to protect the city's tax base while providing affordable housing options.

Commercial and Industrial Districts

C-1 Retail District

This district is a commercial category providing for retail shopping facilities and general commercial activities where sales and storage is located indoors. It is intended that this zoning district be served by collectors and thoroughfares of sufficient size that all parking and traffic maneuvering can take place on the commercial site. It is intended that no new residential dwellings be erected in this commercial district and existing dwellings will remain as legal non-conforming dwellings.

C-2 Commercial District

This is the least restrictive commercial zoning district normally reserved for areas that provide the greatest number and mix of retail and commercial uses, including outdoor sales and storage. This district is reserved for areas of adequate size and location so that its broad range of higher intensity land uses will not cause or create nuisances to adjoining zoning districts. It is expressly intended that no residential dwelling be erected in this commercial district and existing dwellings will remain as legal non-conforming dwellings.

C-3 Commercial District (This district will be merged with the C-2 Commercial District)

IH-35E Commercial Corridor (New, includes the IH-35E Commercial Overlay)

This commercial zoning district is reserved for areas that provide a mix of retail and office uses along the IH-35E highway corridor. The purpose of this district is to promote economic development and retail activity, while promoting traffic circulation and safety, protecting adjacent residential neighborhoods, and promoting a pleasing image of the community. It is expressly intended that no residential dwelling be erected in this commercial district and existing dwellings will remain as legal non-conforming dwellings.

M-1 Light Industrial District

The purpose of this district is to regulate those uses of the land that involve commercial uses, office parks, manufacturing, assembly, processing, storage and/or distribution, sale and repair of materials, goods, parts, products, equipment, machinery, and other such operations incidental to industrial uses. Appropriate standards for the varied uses are designed to assure compatibility with other acceptable uses. It is not the intent of these regulations to allow the construction or development of new residential uses within this district except for on-site caretakers residences as may be approved by special use permits and those residential uses existing at the time of the adoption of this zoning ordinance shall be classified as non-conforming uses. All proposed uses shall be accompanied by a development site plan. Since the intended use may cause a detrimental change to the environment or substantially affect the municipally operated utility or thoroughfare systems, detailed descriptions of performance standards are included in these district regulations and are determined to be the maximum allowable within any single or combined industrial use or district.

Special Districts

Community Facilities District (New)

The community facilities district is intended for those public and quasi-public offices, institutions, and facilities whose activities may not fit well within other zoning classifications. These uses include city offices and buildings, public parks, utility offices and buildings, public health care facilities and related uses, schools, and religious facilities that are established in response to the health, safety, educational and welfare needs of the community. These uses are separated from others in the community due to their unique service and special requirements in the community in relation to the whole. Their replacement should not be arbitrary but should be located to respond to the community's needs.

MA-Marina District

The MA-Marina District is intended to provide for a mix of recreational, commercial and residential uses associated with proximity to Lake Lewisville. The district includes the sale, repair and storage of boats, restaurants, lodging, and residential uses, while providing standards for the protection of adjacent land uses.

Mixed Use District (New, to replace Downtown District Overlay)

The purpose of the "MU" Mixed Use District is to provide areas with a combination of residential, commercial, office, and institutional uses. The mix of uses are intended to be commingled in a pedestrian and bicycle-friendly environment, while accommodating automobile and surface parking within designated areas. Emphasis shall be placed on the on the form of the building and adequate civic and open space.

Swisher Road District

The purpose of the Swisher Road District is to enable a transition between the existing residential properties along the north side of Swisher Road to commercial/retail oriented land uses, to protect and preserve the residential nature of adjacent properties, and to promote development and redevelopment within the district compatible with the increased volumes of traffic along Swisher Road, particularly between Interstate Highway 35E and Shady Shores Road,. The Swisher Road District shall be used in conjunction with the C-1 Retail District regulations.

122-1 - Summary of uses.

The uses allowable in each district are summarized in Table 122-1.

Table 122-1																	
Use Category	Definition	Specific Use Type	Zoning Districts														
			R-1-10000	R-1-7200	R-1-6000	R-2	R-3	R-1-4000	R-1-4000C	CF	C-1	C-2	IH-35E	M-1	MA	DMU	
Residential			P= Permitted Use; S = SUP Required; Blank = Not Permitted														
Household Living	Residential occupancy of a dwelling unit by a "household"	House Detached - Single Family Dwelling	P	P	P	P											
		House Attached - Two Family Dwelling				P											
		Three or Four Family Dwelling					P										
		Multi-Dwelling Structure MAX: 18 DU/AC					P										
		Manufactured Home						P	P								
Group Home	As defined and regulated by state and federal law		P	P	P	P	P										
Convalescent Home	Any structure used for or occupied by persons recovering from illness or suffering from the infirmities of old age						S				P	P	P	P	P	P	
Accessory Use as a Primary Use, Residential	Any typically permitted accessory use in the district		P	S	S			S									

Table 122-1																	
Use Category	Definition	Specific Use Type	Zoning Districts														
			R-1-10000	R-1-7200	R-1-6000	R-2	R-3	R-1-4000	R-1-4000C	CF	C-1	C-2	IH-35E	M-1	MA	DMU	
	in the absence of a principal use																
Institutional and Civic			P= Permitted Use; S = SUP Required; Blank = Not Permitted														
College	Colleges and institutions of higher learning									P	P	P	P		P		
Community Service	Public, nonprofit, or charitable uses generally providing a local service to the community									S	P	P	P	P	P	P	
Day Care	Care, protection and supervision for adults on a regular basis away from their residence for less than 24 hours per day	12 Children or less	P	P	P	P	S			P	P	P	P	P	P		
		Kindergarten or Nursery						C	C	C				P			
Government Installations	Installations owned and operated by the City of Lake Dallas, Denton County, or the State of Texas which are necessary for governmental services		S	S	S	S	S	S	S	P	S	S	S	S	S	S	
Health Care Facility	Medical or surgical care to patients, with overnight care									S	P	P	P	P	P	P	
Parks and Open Areas	Natural areas consisting mostly of vegetative landscaping or outdoor									S	P	P	P	P	P	P	

Table 122-1																	
Use Category	Definition	Specific Use Type	Zoning Districts														
			R-1-10000	R-1-7200	R-1-6000	R-2	R-3	R-1-4000	R-1-4000C	CF	C-1	C-2	IH-35E	M-1	MA	DMU	
	recreation, community gardens, etc.																
Religious Institution	Worship and other related religious activities		S	S	S	S	S	S	P	P	P	P	P	P	P	P	
Safety Services	Public safety & emergency response services		S	S	S	S	S	S	P	P	P	P	P	P	P	P	
Schools	Schools at the primary, elementary, middle, junior high, or high school level		S	S	S	S	S	S	S	P	P	P	P	P	P	P	
Utilities, basic	Installations which are necessary for the furnishing of public utility services	Minor expansions of existing facilities	S	S	S	S	S	S	S	P	P	P	P	P	P	S	
		New or major expansions	S	S	S	S	S	S	S	S	S	S	S	S	S	S	
Commercial			P= Permitted Use; S = SUP Required; Blank = Not Permitted														
Amusement Arcade, Indoors	51% of the gross floor area of a tenant space used for pinball machines, video games, amusement machines, or other similar player-operated amusement devices													S			
Auto Sales and Rental	Automobile, motorcycle, truck, boats, and trailer sales or rental													P			

Table 122-1

Use Category	Definition	Specific Use Type	Zoning Districts														
			R-1-10000	R-1-7200	R-1-6000	R-2	R-3	R-1-4000	R-1-4000C	CF	C-1	C-2	IH-35E	M-1	MA	DMU	
Batting Cages, Outdoor	An area for baseball, softball, or tee-ball batting practice that is enclosed by fencing or netting									S	S	C	P	P	P	S	
Crematory	A place where a deceased person's body is cremated										S	S	S	P			
Farm Implement Sales and Service	Sale and service of farming tools and equipment										S	S	S	P			
Food Truck Park	A location at which more than one food truck operates on a regular basis									S	P	P	S	S	S	S	
Golf Driving Range, Outdoor	An area where persons can practice or learn to play golf, typically practicing "driving;" swinging a golf club to hit a golf ball									S	P	P	P	P	P		
Miniature Golf, Outdoor	A version of golf played on a series of short constructed obstacle courses; also commonly known as mini-golf or putt-putt										P	P	P	P	P	P	
Office	Actives conducted in an office setting and generally focusing on business, professional, medical, or financial services						S			S	P	P	P	P	P	P	

Table 122-1

Use Category	Definition	Specific Use Type	Zoning Districts														
			R-1-10000	R-1-7200	R-1-6000	R-2	R-3	R-1-4000	R-1-4000C	CF	C-1	C-2	IH-35E	M-1	MA	DMU	
Office, Temporary Residential Sales Office	Temporary real estate office for the sale of property located within its related subdivision		P	P	P	P	P										
Parking, Commercial	Parking that is not accessory to a principal use; fees may or may not be charged									S	P	P	P	P	P	P	
Printing Services	Duplicating service, printing, lithographing, multi-graphing and offset printing, blueprinting, and photo-stating providing that the floor area does not exceed 5000 sq ft									S	P	P	P	P	P	P	
Recreation and Entertainment, Outdoor	Large, generally commercial uses that provide continuous recreation or entertainment-oriented activities										S	S	S	S	P	S	
Retail Sales and Service	Firms involved in the sale, lease, or rental of new or used products to the general public; they may also provide personal services or entertainment, or provide product repair or services for consumer and business goods									S	P	P	P	P	P	P	

Table 122-1																	
Use Category	Definition	Specific Use Type	Zoning Districts														
			R-1-10000	R-1-7200	R-1-6000	R-2	R-3	R-1-4000	R-1-4000C	CF	C-1	C-2	IH-35E	M-1	MA	DMU	
RV Camping Area	Any development, site, parcel or tract of land designed, maintained or intended to be used for the purpose of providing short term (14 days or less) occupancy of camper vehicles, recreational vehicles, tents or trailers						S			P	P	P	P	P	P		
RV Storage	Parking lot used for the storage of recreational vehicles									S	S	P	P	P	P		
Sexually Oriented Business	An adult arcade, adult bookstore, adult video store, adult motel, adult motion picture theater, adult theater, nude model studio, or adult entertainment facility (see Chapter 26, Art. III, Code of Ordinances)										S	S		S	S		
Skating rinks	Ice skating or roller-skating rinks										S	P	P	P	P		
Self-Service Storage	Uses providing separate storage areas for individual or business uses										S	P	S	P	P		

Table 122-1																	
Use Category	Definition	Specific Use Type	Zoning Districts														
			R-1-10000	R-1-7200	R-1-6000	R-2	R-3	R-1-4000	R-1-4000C	CF	C-1	C-2	IH-35E	M-1	MA	DMU	
Vehicle Repair	Service to passenger vehicles, light & medium trucks, & other consumer motor vehicles, generally, the customer does not wait at the service site while the service or repair is being performed										S	P	P	P	P		
Vehicle Service, Limited	Direct services to motor vehicles where the driver or passengers generally wait in the car or nearby while the service is performed										S	P	P	P	P		
Warehouse and Freight Movement	Firms involved in the storage, or movement of goods										S	S	P	P			
Wholesale Sales	Firms involved in the sale, lease, or rental of products primarily intended for industrial, institutional, or commercial businesses												S	P			
Industrial			P= Permitted Use; S = SUP Required; Blank = Not Permitted														
Industrial Service	Firms engaged in the repair or servicing of industrial, business, or consumer machinery equipment, products or by-products												P	P			

Table 122-1																
Use Category	Definition	Specific Use Type	Zoning Districts													
			R-1-10000	R-1-7200	R-1-6000	R-2	R-3	R-1-4000	R-1-4000C	CF	C-1	C-2	IH-35E	M-1	MA	DMU
Landfill	A place to dispose of refuse and other waste material														S	
Manufacturing and Production	Firms involved in the manufacturing, processing, fabrication, packaging, or assembly of goods													P		
Other			P= Permitted Use; S = SUP Required; Blank = Not Permitted													
Agriculture	Raising, producing or keeping plants or animals	Animal Confinements - Commercial										S		S		
		Animal Pasturing greater than 10 acres	P									S		S		
		Animal Pasturing less than 10 Acres														
		Private Stable (Accessory Use)	P					P	P		C	C	C	C	C	
		Private Stable (Primary Use)	S	S	S	S	S	S	S	S	S	S	P	P	S	
Telecommunications Facilities	A facility used for the transmission of signs, signals, messages, words, writings, images and sounds or information of any nature by wire, radio, optical or electromagnetic systems (see Section _____)	Not exceeding the max building height of district	P	P	P	P	P	P	P	P	P	P	P	P	P	
		Greater than the max building height of district	S	S	S	S	S	S	S	S	S	S	S	S	S	

Use Categories.

- A. **Basis for Classifications.** Use categories classify land uses and activities into use categories based on common functional, product, or physical characteristics. Characteristics include the type and amount of activity, the type of customers or residents, how goods or services are sold or delivered, and site conditions. The use categories provide a systematic basis for assigning present and future land uses into appropriate zoning districts.
1. **Principal Uses.** Principal uses are assigned to the category that most closely describes the nature of the principal use. The "characteristics" subsection of each use category describes the common characteristic of each principal use.
 - a. **Development with Multiple Principal Uses.** When all principal uses of a development fall within one use category, the entire development is assigned to that use category. A development that contains a coffee shop, bookstore, and bakery, for example, would be classified in the retail sales and services category because all of the development's principal uses are in that category. When the principal uses of a development fall within different use categories, each principal use is classified in the applicable category and each use is subject to all applicable regulations for that category.
 - b. **Accessory Uses.** Accessory uses are allowed by-right in conjunction with a principle use, unless otherwise stated in the regulations. Also, unless otherwise stated, accessory uses are subject to the same regulations as the principal use. Common accessory uses are listed as examples in the use category descriptions.
 - c. **Use of Examples.** The "examples" subsection of each use category lists common examples of uses included in the respective use category. The names of these sample uses are generic. They are based on common meanings and not on what a specific use may call itself. For example, a use that calls itself "wholesale warehouse," but that sells mostly to consumers, is included in the retail sales and services category rather than the wholesale sales category. This is because the actual activity on the site matched the description of the retail sales and services category.
- B. **Restricted Uses.** The city council may identify unique uses to be regulated separately from their related general use categories. The following uses are identified separately from the general use categories and listed within the use charts:
1. Auto sales and rental; retail sales and service—Commercial uses.
 2. Batting cages, outdoor; recreation and entertainment, outdoor—Commercial uses.
 3. Convalescent home; group living—Residential uses.
 4. Carwash; vehicle, service limited—Commercial uses.
 5. Crematories; retail sales and service—Commercial uses.
 6. Driving range, outdoor; recreation and entertainment, outdoor—Commercial uses.
 7. Farm implement sales and service; retail sales and service—Commercial uses.
 8. Food truck park; retail sales and services—Commercial uses.
 9. Frozen food lockers; warehouse and freight movement—Commerce uses.
 10. Government installations; office or safety services or community services—Institutional uses.
 11. Landfill; waste-related—Industrial uses.
 12. Miniature golf, outdoor; recreation and entertainment, outdoor—Commercial uses.
 13. Office, temporary residential sales; office—Commercial uses.
 14. Printing services; manufacturing and production—Industrial uses.

15. RV camping; retail sales and services—Commercial uses.
 16. RV storage; retail sales and services—Commercial uses.
 17. Sexually oriented business; retail sales and services—Commercial uses.
 18. Skating rinks, outdoor; recreation and entertainment, outdoor—Commercial uses.
- C. Similar Use Interpretation Criteria. The following considerations shall be used in making similar use interpretations:
1. The actual or projected characteristics of the activity in relationship to the stated characteristics of each use category;
 2. The relative amount of site area or floor space and equipment devoted to the activity;
 3. Relative amounts of sales from each activity;
 4. The customer type for each activity (retail or wholesale);
 5. The relative number of employees in each activity;
 6. Hours of operation;
 7. Building and site arrangement;
 8. Vehicles used with the activity;
 9. The relative number of vehicle trips generated by the use; and
 10. How the use advertises itself.
- D. Residential Use Categories.
1. Group Living.
 - a. Characteristics. Group living is characterized by the residential occupancy of a structure by a group of people who do not meet the definition of household living. The size of the group may be larger than the average size of a household. Tenancy is arranged on a monthly or longer basis. Uses where tenancy may be arranged for a shorter period are not considered residential. They are considered to be a form of transient lodging (see retail sales and service and community service categories). Generally, group living structures have a common eating area for residents. The residents may receive care, training, or treatment, as long as the care givers also reside at the site.
 2. Household Living.
 - a. Characteristics. Household living is characterized by the residential occupancy of a dwelling unit by a household. Tenancy is arranged on a month-to-month or longer basis. Uses where tenancy may be arranged for a shorter period are not considered residential. They are considered to be a form of transient lodging (see the retail sales and service and community service categories).
 - b. Accessory Uses. Accessory uses commonly associated with household living are recreational activities, raising of pets, hobbies, and parking of the occupants' vehicles. Home occupations are accessory uses but are subject to additional regulations.
 - c. Examples. Uses include living in single, two, three, and four family dwelling units, or other multi-dwelling structures, retirement center apartments, and manufactured housing.
 - d. Exceptions.
 - (1) Hotels, motels.
 - (2) Nursing homes, etc., are classified as convalescent homes.
- E. Commercial Use Categories.

1. Amusement arcade, indoor.

- a. Characteristics. Indoor amusement arcade is a building or part of a building in which pinball machines, video games, amusement machines, or other similar player-operated amusement devices are present and maintained as a primary use. For the purpose of this definition, "primary use" means fifty-one percent or more of the gross floor area of the portion of the tenant space being used.
- b. Accessory Uses. Accessory uses include retail sales of food and beverage, offices and parking.
- c. Examples. Examples include video game arcades, billiard halls and other amusement centers with coin-operated amusement machines, which means any machine or device of any kind or character that is operated by or with coins, metal slugs, tokens, monetary bills, or checks when such machine dispenses or is used or is capable of being used or operated for amusement or pleasure, or when such machine is operated for the purpose of dispensing or affording skill or pleasure. An amusement machine pursuant to this definition is the same as a skill or pleasure coin-operated machine pursuant to the Texas Revised Civil Statutes, Title 132, Chapter 8, Section 8801(5), as amended. An amusement machine shall also include any billiard table operated for profit, whether operated by or with coins, metal slugs, tokens, monetary bills, or checks inserted into the machine or paid to an attendant.
- d. Exceptions.
 - (1) Does not include a bowling alley, skating rinks, or batting cages.
 - (2) Does not include the dispensing or vending of merchandise or music, or service as defined by Texas Revised Civil Statutes, Title 132, Chapter 8 Section 8801 et seq., as amended.

2. Office.

- a. Characteristics. Office uses are characterized by activities conducted in an office setting and generally focusing on business, professional, medical, or financial services.
- b. Accessory Uses. Accessory uses may include cafeterias, health facilities, parking, or other amenities primarily for the use of employees in the firm or building.
- c. Examples. Examples include professional services such as lawyers, accountants, engineers, or architects; financial businesses such as lenders, brokerage firms, bank headquarters, or real estate agents; data processing; sales offices; TV and radio studios; medical and dental clinics, medical and dental labs; and blood-collection facilities.
- d. Exceptions.
 - (1) Offices that are part of and located with a principal use in another category are considered accessory to the firm's primary activity. Headquarters offices, when in conjunction with or adjacent to a principal use in another category, are considered part of the other category.
 - (2) Contractors and others who perform services off-site are included in the office category if equipment and materials are not stored on the site and fabrication, services, or similar work is not carried on at the site.

3. Parking, Commercial.

- a. Characteristics. Commercial parking facilities provide parking that is not an accessory to a principal use. A fee may or may not be charged. A facility that provides both accessory parking for a principal use and regular fee parking for people not connected to the use is also classified as a commercial parking facility.
- b. Accessory Use. Attendant facilities.

- c. Examples. Examples include short-term and long-term fee parking facilities and mixed parking lots (partially accessory to a principal use, partly for rent to others).
 - d. Exceptions.
 - (1) Parking facilities that are accessory to a use, but that charge the public to park for occasional event nearby, are not considered commercial parking facilities.
 - (2) Parking facilities that are accessory to a principal use are not considered commercial parking uses, even if the operator leases the facility to the principal use or charges a fee to the individuals who park in the facility.
 - (3) Public transit park-and-ride facilities are classified as basic utilities.
4. Recreation and Entertainment, Outdoor.
- a. Characteristics. Outdoor recreation and entertainment uses are large, generally commercial, uses that provide continuous recreation or entertainment-oriented activities. They primarily take place outdoors. They may take place in a number of structures that are arranged together in an outdoor setting.
 - b. Accessory Uses. Accessory uses may include concessions, parking, and maintenance facilities.
 - c. Examples. Examples include amusement parks; theme parks; and zoos.
 - d. Exceptions.
 - (1) Golf courses are classified as parks and open space.
5. Retail Sales and Service.
- a. Characteristics. Retail sales and service firms are involved in the sale, lease or rent of new or used products to the general public. They may also provide personal services or entertainment; or provide product repair or services for consumer and business goods.
 - b. Accessory Uses. Accessory uses may include offices; storage of goods; assembly or repackaging of goods primarily for on-site retail sale; processing of food primarily for the on-site retail sale and parking.
 - c. Examples. Examples include uses from the four following groups:
 - (1) Sales-oriented. Stores selling, leasing, or renting consumer home and business goods including art, art supplies, bicycles, clothing, dry goods, electronic equipment, fabric, furniture, garden supplies, gifts, groceries, hardware, home improvements, household products, jewelry, pets, pet food, pharmaceuticals, plants, printed material, and stationary; food sales, and sales or leasing of consumer vehicles, including passenger vehicles, motorcycles, light and medium trucks and other recreational vehicles.
 - (2) Personal Service-Oriented. Branch banks; emergency medical care; laundry facilities; photographic studios; photocopy and printing services; hair, tanning, and personal care services; martial arts and other trade schools; dance or music classes; taxidermist; mortuaries; veterinarians; and animal grooming.
 - (3) Entertainment-Oriented. Restaurants, cafes, delicatessens, bars and taverns; indoor continuous entertainment activities such as bowling alleys, ice rinks and game arcades; pool halls; dance halls; indoor shooting ranges; theaters, health clubs, gyms, membership clubs and lodges; hotels, motels, recreational vehicle parks and other temporary lodging with the length of stay being less than thirty days.
 - (4) Repair-Oriented. Repair of electronics, bicycles, clocks, watches, shoes, guns, appliances and office equipment; tailor; locksmith; and upholsterer.

- d. Exceptions.
 - (1) Lumber yards and other building material sales that sell primarily to contractors and do not have a retail orientation are classified as Wholesale Sales.
 - (2) Repair and service of consumer motor vehicles, motorcycles and light and medium trucks is classified as vehicle repair. Repair and service of industrial vehicles and equipment and heavy trucks is classified as industrial service.
 - (3) Sales, rental or leasing of heavy trucks and equipment or manufactured housing units are classified as wholesale sales.
 - (4) Hotels, restaurants and other services that are part of a truck stop are considered accessory to the truck stop which is classified as industrial service.
 - (5) In certain situations, hotels and motels may be classified as a community service use, such as short-term housing or mass shelter. See "community services."
- 7. Self-Service Storage.
 - a. Characteristics. Self-service storage uses provide separate storage areas for individual or business uses. The storage areas are designed to allow private access by the tenant for storing or removing personal property.
 - b. Accessory Uses. Accessory uses may include living quarters for a resident manager or security and leasing offices. Uses of the storage areas for sales, service and repair operations, or manufacturing is not considered accessory to the self-service storage use. The rental of trucks or equipment is also not considered accessory to a self-service storage use.
 - c. Examples. Examples include facilities that provide individual storage areas for rent. These uses are also called mini-warehouses.
 - d. Exceptions.
 - (1) A transfer and storage business where there are no individual storage areas or where employees are the primary movers of the goods to be stored or transferred is in the warehouse and freight movement category.
- 8. Vehicle Repair.
 - a. Characteristics. Vehicle repair firms service passenger vehicles, light and medium trucks and other consumer motor vehicles such as motorcycles, boats and recreational vehicles. Generally, the customer does not wait at the site while the service or repair is being performed.
 - b. Accessory Uses. Accessory uses may include offices, sales of parts for on-site installation, and vehicle storage.
 - c. Examples. Examples include vehicle repair; transmission, engine, auto body, alignment, or auto upholstery shops.
 - d. Exceptions. Repair and service of industrial vehicles and equipment and of heavy trucks; towing and vehicle storage; and vehicle wrecking and salvage are classified as industrial service.
- 9. Vehicle Service, Limited.
 - a. Characteristics. Limited vehicle service uses provide direct services to motor vehicles where the driver or passengers generally wait in the car or nearby while the service is performed.
 - b. Accessory Uses. Accessory uses may include auto repair and tire sales.
 - c. Examples. Examples include full-service, mini-service and self-service gas stations; car washes; quick lubrication services; muffler shop; and tire sales and mounting

d. Exceptions.

- (1) Truck stops are classified as industrial service.
- (2) Refueling facilities for vehicles that belong to a specific use (fleet vehicles) are considered accessory uses if they are located on the site of a principal use.

F. Commerce Use Categories.

1. Warehouse and freight movement.

- a. Characteristics. Warehouse and freight movement firms are involved in the storage, or movement of goods for themselves or other firms. Goods are generally delivered to other firms or the final consumer, except for some will-call pickups. There is little on-site sales activity with the customer present.
- b. Accessory Uses. Accessory uses may include offices, truck fleet parking or storage and maintenance areas.
- c. Examples. Examples include separate warehouses used by retail stores such as furniture and appliance stores; household moving and general freight storage; cold storage plants, including frozen food lockers; major wholesale distribution centers; truck, or air freight terminals; bus barns; parcel services; major post offices; and grain terminals.
- d. Exceptions.
 - (1) Uses that involve the transfer or storage of solid or liquid wastes are classified as waste-related uses.
 - (2) Mini-warehouses are classified as self-service storage uses.

2. Wholesale Sales.

- a. Characteristics. Wholesale sales firms are involved in the sale of products directly to retail businesses. The uses emphasize on-site sales or order taking and often include display areas. Business may or may not be open to the general public, but sales to the general public are limited. Products may be picked up on-site or delivered to the customer.
- b. Accessory Uses. Accessory uses may include offices, product repair, warehouses, parking, minor assembly services and repackaging of goods.
- c. Examples. Examples include sale of machinery, equipment, heavy trucks, building materials, special trade tools; welding supplies; machine parts; electrical supplies; janitorial supplies; restaurant equipment and store fixtures; mail order houses; and wholesalers of food, clothing, auto parts, and building hardware.
- d. Exceptions.
 - (1) Firms that engage primarily in sales to the general public or on a membership basis are classified as retail sales and service.
 - (2) Firms that are primarily storing goods with little on-site sales are classified as warehouse and freight movement.

G. Industrial Use Categories.

1. Industrial Service.

- a. Characteristics. Industrial service firms are engaged in the repair or servicing of industrial, business or consumer machinery, equipment, products or by-products. Firms that service consumer goods do so by mainly providing centralized services for separate retail outlets. Contractor and building maintenance services and similar uses perform services off-site. Few customers, especially the general public, come to the site.
- b. Accessory Uses. Accessory activities may include offices, parking and storage.

- c. Examples. Examples include welding shops; machine shops; tool repair; electric motor repair; repair of scientific or professional instruments; sales, repair, storage, salvage or wrecking of heavy machinery, metal and building material; towing and vehicle storage; auto and truck salvage and wrecking; heavy truck servicing and repair; tire retreading or recapping; operations; janitorial and building maintenance services; fuel oil distributors; solid fuel yards; above ground tanks used for the storage or dispensing of petroleum products; research and development laboratories; and photo finishing laboratories; and the stockpiling of sand, gravel, or other aggregate materials.
- d. Exceptions.
 - (1) Contractors and others who perform services off-site are included in the Office category, if major equipment and materials are not stored at the site and fabrication, or similar work is not performed at the site.
 - (2) Hotels, restaurants and other services that are part of a truck stop are considered accessory to the truck stop.

2. Manufacturing and Production.

- a. Characteristics. Manufacturing and production firms are involved in the manufacturing, processing, fabrication, packaging, or assembly of goods. Natural, man-made, raw, secondary, or partially completed materials may be used. Products may be finished or semi-finished and are generally made for the wholesale market, for transfer to other plants, or to order for firms or consumers. Goods are generally not displayed or sold on site, but if so, they are a subordinate part of sales. Relatively few customers come to the manufacturing site.
- b. Accessory Uses. Accessory activities may include offices, cafeterias, parking, employee recreational facilities, warehouses, storage yards, repair facilities, and truck fleets.
- c. Examples. Examples include processing of food and related products for wholesale; slaughter houses and meat packing; weaving or production of textiles or apparel; lumber mills, pulp and paper mills and other wood products manufacturing; woodworking, including cabinet makers; production of chemicals, rubber, leather, clay, bone, plastic, stone, or glass materials or products; printing, publishing and lithography; movie production facilities; production of fabrication of metals or metal products, instruments (including musical instruments), vehicles, appliances, precision items and other electrical items; production of artwork and toys; sign making; and production of prefabricated structures, including mobile homes.
- d. Exceptions.
 - (1) Manufacturing of goods to be sold primarily on-site and to the general public are classified as retail sales and service.
 - (2) Processing of food primarily for on-site retail sales, such as a bakery or butcher within a retail store, is classified as retail sales and services.
 - (3) Manufacturing and production of goods from composting organic material is classified as waste-related uses.

3. Waste-Related.

- a. Characteristics. Characterized by uses that receive solid or liquid wastes from others for disposal on the site or for transfer to another location, uses that collect sanitary wastes, or uses that manufacture or produce goods or energy from the composting of organic material.

H. Institutional and civic use categories.

1. Colleges.

- a. Characteristics. This category includes colleges and other institutions of higher learning that offer courses of general or specialized study leading to a degree. Colleges tend to be in campus-like setting or on multiple blocks.
 - b. Accessory Uses. Accessory uses include offices, housing for students, food service, laboratories, health and sports facilities, theaters, meeting areas, parking, maintenance facilities and supporting commercial activities.
 - c. Examples. Examples include universities, liberal arts colleges, community colleges, nursing and medical schools not accessory to health care facilities and seminaries.
 - d. Exceptions. Trade schools are classified as retail sales and service.
2. Community Services.
- a. Characteristics. Community services are uses of a public, nonprofit, or charitable nature generally providing a local service to people of the community. Generally, they provide the service on-site or have employees at the site on a regular basis. The service is ongoing, not just for special events. Community centers or facilities that have membership provisions are open to the general public to join at any time, (for instance, any senior citizen could join a senior center). The use may provide special counseling, education, or training of a public, nonprofit or charitable nature.
 - b. Accessory Uses. Accessory uses may include offices; meeting areas; food preparation areas; parking; health and therapy areas; and athletic facilities.
 - c. Examples. Examples include libraries, museums, senior centers, community centers, publicly owned swimming pools, youth club facilities, hospices, social services facilities, temporary shelters, vocational training for persons with physical or mental disabilities, park-and-ride facilities for mass transit, cemeteries and mausoleums.
 - d. Exceptions.
 - (1) Private lodges, clubs and private or commercial athletic or health clubs are classified as retail sales and service. Commercial museums are classified as retail sales and service.
 - (2) Parks are classified as parks and open areas.
 - (3) Uses where tenancy is arranged on a month-to-month basis or for a longer period are residential and are classified as household or group living.
 - (4) Bus barns are classified as warehouse and freight movement.
3. Day Care.
- a. Characteristics. Day care uses provide care, protection and supervision for children or adults on a regular basis away from their primary residence for less than twenty-four hours per day.
 - b. Accessory Uses. Accessory uses include offices, recreation areas, and parking.
 - c. Examples. Examples include preschools, child-care centers, nursery schools, latch key programs and adult day-care programs.
 - d. Exceptions.
 - (1) Day care does not include public or private schools or facilities operation in connection with an employment use, shopping center or other principal use, where children are cared for while parents or guardians are occupied on the premises or in the immediate vicinity.
4. Health Care Facilities.
- a. Characteristics. Health care facilities include uses providing medical or surgical care to patients and offering overnight care.

- b. Accessory Uses. Accessory uses include out-patient clinics, offices, and laboratories, teaching facilities, meeting areas, cafeterias, parking, maintenance facilities and housing facilities for staff or trainees.
 - c. Examples. Examples include medical centers and hospitals.
 - d. Exceptions.
 - (1) Uses that provide exclusive care and planned treatment or training for psychiatric, alcohol, or drug problems, where patients are residents of the program, are classified in the group living category
 - (2) Medical clinics or offices that provide care where patients are generally not kept overnight are classified as offices.
- 5. Parks and Open Areas.
 - a. Characteristics. Parks and open areas are uses of land focusing on natural areas, large areas consisting mostly of vegetative landscaping or outdoor recreation, community gardens, or public squares. Lands tend to have few structures.
 - b. Accessory Uses. Accessory uses may include club houses; maintenance facilities and caretaker's quarters; concessions; and parking.
 - c. Examples. Examples include parks, golf courses, public squares, plazas, recreational trails, botanical gardens, nature preserves, and land used for grazing that is not part of a farm or ranch.
 - d. Exceptions.
 - (1) Outdoor driving ranges and outdoor miniature golf courses are classified in the golf driving range, outdoor and miniature golf, outdoor categories.
- 6. Religious Institutions.
 - a. Characteristics. Religious institutions primarily provide meeting areas for religious worship services and activities.
 - b. Accessory Uses. Accessory uses include Sunday school facilities; preschools and day cares for children or adults while parents or guardians are occupied on the premises or in the immediate vicinity, parking, caretaker's housing, and group living facilities such as convents.
 - c. Examples. Examples include churches, temples, synagogues and mosques.
 - d. Exceptions. Schools are classified as schools.
- 7. Safety Services.
 - a. Characteristics. Safety services are uses that provide public safety and emergency response services. They often need to be located in or near the area where the service is provided. Employees are regularly present on-site.
 - b. Accessory Uses. Accessory uses include offices and parking.
 - c. Examples. Examples include fire station, police stations and emergency medical and ambulance stations.
- 8. Schools.
 - a. Characteristics. This category includes public and private schools at the primary, elementary, middle, junior high, or high school level that provide state-mandated basic education.
 - b. Accessory Uses. Accessory uses include play areas, cafeterias, recreational and sport facilities, auditoriums and before or after-school day care.
 - c. Examples. Examples include public and private daytime schools, boarding schools and military academics.

- d. Exceptions.
 - (1) Preschools are classified as day care uses.
 - (2) Trade schools are classified as retail sales and service.
- 9. Utilities, Basic.
 - a. Characteristics. Basic utilities are infrastructure services that need to be located in or near the area where the service is provided. These uses generally do not regularly have employees at the site. Services may be public or privately provided.
 - b. Accessory Uses. Accessory uses may include parking and control, monitoring, data or transmission equipment.
 - c. Examples. Examples include water and sewage pump stations; electrical substations; water towers and reservoirs; stormwater retention and detention facilities; and recycling collection centers.
 - d. Exceptions.
 - (1) Services where people are generally present are classified as community services.
 - (2) Utility offices where employees or customers are generally present are classified as offices.
 - e. Additional Regulations.
 - (1) Concerning minor and major expansions of public utility facilities: Existing public utility facilities in place on the effective date of the ordinance from which this section derives shall be deemed a conforming principle use and will allow for minor expansions only. Minor expansions shall be defined as increases or additions to the size of buildings, structures, driveways, parking areas, or other impervious area, cumulatively, up to thirty percent of the original construction. A new accessory building at an existing public utility facility that does not increase the total existing building footprint of the site by more than thirty percent, cumulatively, shall be allowed, subject to the development requirements of this chapter. Major expansions to installations which are necessary for the furnishing of public utility services shall be considered expansions of existing public utility facilities by more than thirty percent, cumulatively.
- I. Other Use Categories.
 - 1. Agriculture.
 - a. Characteristics. Agriculture includes activities that primarily involve the raising, producing or keeping plants or animals. See Section _____ for performance standards concerning animal lots and stables.
 - b. Accessory Uses. Accessory uses include dwellings for proprietors and employees of the use and animal training.
 - c. Examples. Examples include breeding or raising of fish, fowl or other animals; dairy farms; stables; riding academies; farming, forestry, tree farming; and wholesale plant nurseries.
 - d. Exceptions.
 - (1) Uses involved in the processing of animal or plant products are classified as manufacturing and production.
 - (2) Livestock auctions are classified as wholesale sales.
 - (3) Plant nurseries that are oriented to retail sales are classified as retail sales and service.
 - e. Additional Primary and Accessory Use Regulations.

- (1) Animal lots for pasturing of horses, mules, cattle, sheep, goats, poultry, or rabbits: when more than ten acres are available. Not more than one horse may be kept per acre available for grazing for the first two acres, and one horse per five acres thereafter. No more than one animal unit other than horses may be kept per five acres available for grazing. In calculating the number of animals allowed, horses and other animals shall not be double-counted, i.e. one horse or one cow per five acres. Ratites (emus, ostriches) are prohibited. (See also the requirements in Section _____.)
- (2) Animal lots for pasturing of horses, mules, cattle, sheep, goats, poultry or rabbits, when less than ten acres are available. No more than one horse may be kept per acre, nor one animal unit other than horses per five acres. Ratites (emus, ostriches) are prohibited. (See also the requirements in Section _____.)
- (3) Farms, orchards, truck gardens, nurseries for the growing of plants and similar agrarian activities, involving the growing of plants, provided that no operation shall be conducted which will be obnoxious or offensive.
- (4) Farms, truck gardens, orchards or nurseries for the growing of plants, shrubs and trees, provided no retail or wholesale business sales offices are maintained on the premises, and provided that no obnoxious fertilizer is stored upon the premises, and no obnoxious soil or fertilizer processing is conducted thereon.
- (5) Commercial barn or stable or riding arena, subject to the requirements of Section _____.
- (6) Private barn or stable, subject to the requirements of Section _____.
- (7) Private barn or stable, in accordance with the requirements of Section _____ when more than ten acres are available and the barn/stable is located no closer than one hundred fifty feet from a property line.

2. Detention Facilities.

- a. Characteristics. Detention facilities includes facilities for the judicially required detention or incarceration of people. Inmates and detainees are under twenty-four-hour supervision by sworn officers.

3. Telecommunication Facilities.

- a. Characteristics. Telecommunications facilities includes all devices, equipment, machinery, structures or supporting elements necessary for the transmission of signs, signals, messages, words, writings, images and sounds or information of any nature by wire, radio, optical or electromagnetic systems. Facilities may be self-supporting, guyed, mounted on poles or other structures, light posts, power poles, or buildings. Facilities may also include interconnection translators, connections for over-the-air to cable, fiber optic, or other landline transmission system. See Section _____ for performance standards and other regulations.
- b. Accessory Uses. Accessory uses may include transmitter facility buildings.
- c. Examples. Examples include broadcast towers, attached telecommunications facilities.
- d. Exceptions.
 - (1) Radio and television studios are classified in the office category.
 - (2) Radio and television broadcast facilities that are public safety facilities are classified as basic utilities.
 - (3) Amateur radio facilities that are owned and operation by a federally licensed amateur radio station operator are not included in this category.
- e. Additional Regulations.

- (1) Antennae and towers not exceeding the maximum height allowed in the district, antennae attached to existing structures and not increasing the overall height of the existing structure by more than ten feet, and dish antennae not exceeding one meter in diameter. Except for satellite dish antennae, no antennae or support structure shall be located within the required front, side or rear yard setback. To protect traffic safety and community appearance, no satellite dish antennae or support structure shall be located within the required front or second front yard setback, unless the zoning board of adjustment finds that such an encroachment is necessary to prevent impairment of installation, maintenance or reception and that a traffic sight restriction is not created.
- (2) Antennae and towers exceeding the maximum height in the district and dish antennae exceeding one meter in diameter, in order to protect community appearance from the negative visual effects of proliferation of large antennae. Conditional use permits shall be acted upon within ninety days of receipt of application. Persons aggrieved by a decision on a satellite dish antenna application may appeal to the Federal Communications Commission. Any new towers must also comply with the conditions of Section _____.